



COMMITTEE OF ADJUSTMENT

APPLICANT : 9636650 CANADA LTD.

ADDRESS : 227-229 LANGLOIS AVENUE

N.T.S.



 SUBJECT LANDS

 SEVERED LANDS

CITY OF WINDSOR

File: B-009/25

COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 54 (2) of the Planning Act, the City of Windsor Council has delegated consent authority to the Committee of Adjustment, and further, **PURSUANT** to Section 53 of the Planning Act, a Committee of Adjustment public hearing will be held to consider an application for consent.

You are receiving this letter as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on February 26, 2025

APPLICATION FOR CONSENT

Owner: 9636650 CANADA LTD. **Location:** 227-229 LANGLOIS AVE
Legal Description: PLAN 148; LOT 10 **Zoning:** Residential RD2.2
Official Plan: Residential
Explanation: The severance of the lot by the common interior lot line that separates the semi-detached dwelling units, as shown on the attached drawing.

COMMITTEE OF ADJUSTMENT PUBLIC HEARING - 519-255-6543 ext 6436 or 6450

When: March 13, 2025 at 3:30 pm

Where: VIA VIDEO CONFERENCE

(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

The applicant or agent must attend the meeting. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

If a person or public body that files an appeal of the decision of the Committee of Adjustment, in respect of the proposed consent, does not make oral submissions at a public meeting or does not make written submissions to the Committee of Adjustment before a provisional consent is given or refused, the Ontario Land Tribunal may dismiss the appeal.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson
Secretary-Treasurer, Committee of Adjustment

Dated: February 27, 2025

Suite 210, 350 City Hall Square West
Windsor ON N9A 6S1

Tel: 519-255-6543
Fax: 519-255-6544
Email: jwatson@citywindsor.ca
Web: <http://www.citywindsor.ca>

1	Application Information			
	Name of All Owners (as listed on deed)	Contact No.	Business Telephone No.	
	9636650 CANADA LTD.	778-379-7313		
	Address	Postal Code		
	E-Mail Address: jgolshani@yahoo.com			
	Name of Contact Person/Agent (if different than owner)	Contact No.	Business Telephone No.	
Address	Postal Code	Fax No.		
E-Mail Address:				
PAYMENT CONTACT INFORMATION ONLY:				
Name: JAY GOLSHANI				
Contact No: 778-379-7313				
2	Type and purpose of proposed transaction:			
	Conveyance			
	<input checked="" type="checkbox"/> new lot	<input type="checkbox"/> lot addition		
3	Other (please specify)			
	<input type="checkbox"/> mortgage	<input type="checkbox"/> rights-of-way	See separate application for validation of title/power of sale	
	<input type="checkbox"/> lease in excess of 21 years	<input type="checkbox"/> easement		
The name of the person(s) to whom the land or an interest in land is to be transferred, charged or leased:				
NOT YET DECIDED				
4	Legal Description of the Subject Land (ENTIRE PARCEL – retained and severed)			
	Municipality	Street Name	Street Address	
	WINDSOR, ON	227-229	LANGLOIS AVE.	
	Concession Number(s)	Registered/Reference Plan No.	Lot/Part No.(s)	
	PLAN 148	LOT 10		
Parcel No.				
5	Are there any easements or restrictive covenants affecting the subject land? <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> unknown			
	(If Yes, please describe)			

6	Description of the Subject Land and Servicing Information (to be severed/leased) (in metric units)			
	Description		(A) SEVERED	(B) RETAINED
		Frontage	<i>metres</i>	<i>metres</i>
		47.58 FT (14.51)	7.26 m	7.26 m
		Depth	<i>metres</i>	<i>metres</i>
		146.21 FT (44.57)	22.3 m	22.3 m
		Area	<i>square metres</i>	<i>square metres</i>
		6,956.68 sqft (646.30 sqm)	323.15 sqm	323.15 sqm
	Lot/Part No.(s)			
	PLAN 148; LOT 10			
	Registered/Reference Plan No.			
	Water Lot? Yes <input type="checkbox"/> No <input type="checkbox"/>			
	Use of Property	Existing Use(s)		
RESIDENTIAL - RD 2.2				
Proposed Use(s)				
RESIDENTIAL RD 2.2				
Buildings or Structures	Existing (Date of construction)			
	Proposed			


Access (check appropriate space)	Provincial Highway Municipal road, maintained all year Municipal road, seasonally maintained Other public road Right of way Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road _____	Yes <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	No <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Yes <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	No <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Water Supply	Publicly owned and operated piped water system... Privately owned and operated..... Individual or communal well..... Lake or other water body..... Other _____	Yes <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	No <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Yes <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	No <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Sewage Disposal	Publicly owned and operated piped sewage system..... Privately owned and operated individual or communal septic tank system..... Pit, privy, or other _____	Yes <input checked="" type="checkbox"/> <input type="checkbox"/>	No <input type="checkbox"/> <input type="checkbox"/>	Yes <input checked="" type="checkbox"/> <input type="checkbox"/>	No <input type="checkbox"/> <input type="checkbox"/>
7 The current designation of the subject property in the Official Plan RESIDENTIAL RD 2.2					
History of the Subject Land RESIDENTIAL RD 2.2					
8 Has the subject land ever been the subject of an application for approval of a plan of subdivision or consent under the Planning Act? <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Unknown If yes, please provide the application file number and the decision made on the application. _____ _____ If this application is a re-submission of a previous consent application, describe how it has been changed from the original application. _____ _____					
9 Has any land been severed from the parcel originally acquired by the owner of the subject land: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown					
10 If the answer to item 9 is <u>yes</u>, the date of the transfer, the name of the transferee and the land use on the severed land:					
11 Current Applications If known, whether the subject land is the subject of any other application under the Act, such as an application for an amendment to an Official Plan, a Zoning By-law or Minister's Zoning Order, an application for minor variance or an application for an approval of a plan of subdivision or a consent. _____ _____ If yes, the file number of the application and the status of the application. _____					
12 Whether the application is consistent with policy statements issued under subsection 3(1) of the Planning Act <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown					
13 Whether the subject land is within an area of land designated under any provincial plan or plans. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Applicable					
14 If the answer to section 13 is yes, whether the application conforms to or does not conflict with the applicable provincial plan or plans. <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable					

15	The required sketch map is to indicate the following, in metric units and must be included with application:	Included	Not Applicable
	a) the boundaries and dimensions of any land <u>abutting</u> the subject land that is owned by the owner of the subject land;	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	b) the <u>approximate distance between</u> the subject land and the nearest <u>Lot line or landmark</u> such as a bridge or railway crossing;	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	c) the <u>boundaries</u> and <u>dimensions</u> of the subject land, the part that is intended to be <u>severed</u> and the part that is intended to be <u>retained</u> ;	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	d) the location of all land <u>previously severed</u> from the parcel originally acquired by the <u>current owner</u> of the subject land;	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	e) the approximate location of all <u>natural and artificial features</u> (for example, buildings, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that: (i) are located on the <u>subject land</u> and on land that is <u>adjacent</u> to it, and (ii) in the applicant's opinion, may affect the application;	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	f) the <u>current uses</u> of land that are <u>adjacent</u> to the subject land (for example, residential, agricultural or commercial)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	g) the <u>location, width</u> and <u>name</u> of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right of way (i.e. alley);	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	h) if access to the subject land will be <u>by water only</u> , the location of the parking and boat docking facilities to be used; and	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	i) the location and nature of any easement affecting the subject land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>The required sketch map has been included with this application form. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>			

Administering Oaths Remotely as Per O.R. 431/20

DECLARATION:

I/WE, SAKSHAM SHARMA of the WINDSOR (City/Town)
of CITY OF WINDSOR (name City/Town) in the ESSEX (County) of CANADA (name county) ON
this 7TH FEBRUARY day of FEBRUARY, 2025, **SOLEMNLY DECLARE** that all statements contained in this
application are true and I/WE make this solemn declaration conscientiously believing it to be true, and knowing that it is of the
same force and effect as if made under oath and by virtue of the Canada Evidence Act.

(Sign) X 
(Sign) X _____

Jessica Lynn Watson, a Commissioner, etc.,
Province of Ontario, for the Corporation of the City of Windsor.
Expires February 7, 2026.

DECLARED BEFORE ME at the PROVINCE of ONTARIO in the
CITY _____ of Type text WINDSOR this 7TH day of JANUARY, 2025.

 A Commissioner etc.

***** THIS SECTION MUST BE COMPLETE**

RECEIPT OF APPLICATION/AUTHORIZATION TO PROCESS

This application has been received and is accepted for processing, as the application is complete.


Secretary-Treasurer (or Designate)

Date: Feb 13/25

Minor variance for new construction: An approved variance is valid and must be acted upon within one (1) year. If a granted variance is not used within required timeline, the application is deemed to be **null and void**. A new Committee of Adjustment application will be required for any expired application. _____ **(Please Initial)**

FOR AGENTS – The owner must complete and sign this authorization if you have been assigned to act on their behalf

AUTHORIZATION:

TO: The Secretary-Treasurer of The Committee of Adjustment for the City of Windsor.

DATE: 7TH FEBRUARY, 2025

I (We) (Owners of the subject lands) JAY GOLSHANI

of the (municipality where you reside) WINDSOR, ON, hereby authorize

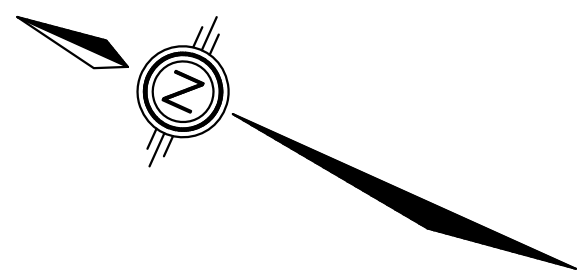
and instruct (agent(s)) SAKSHAM SHARMA to submit an application to the

Committee of Adjustment in respect to (municipal address or legal description) 227-229 LANGLOIS AVE. WINDSOR ON

Which I (we) am (are) the registered owner(s), and this shall be my (our) good and sufficient authority to act on my (our) behalf.

JAY GOLSHANI 02/07/25 **X(Sign)** Note: if the owner is a Corporation, affix seal (if any)

X (Sign)



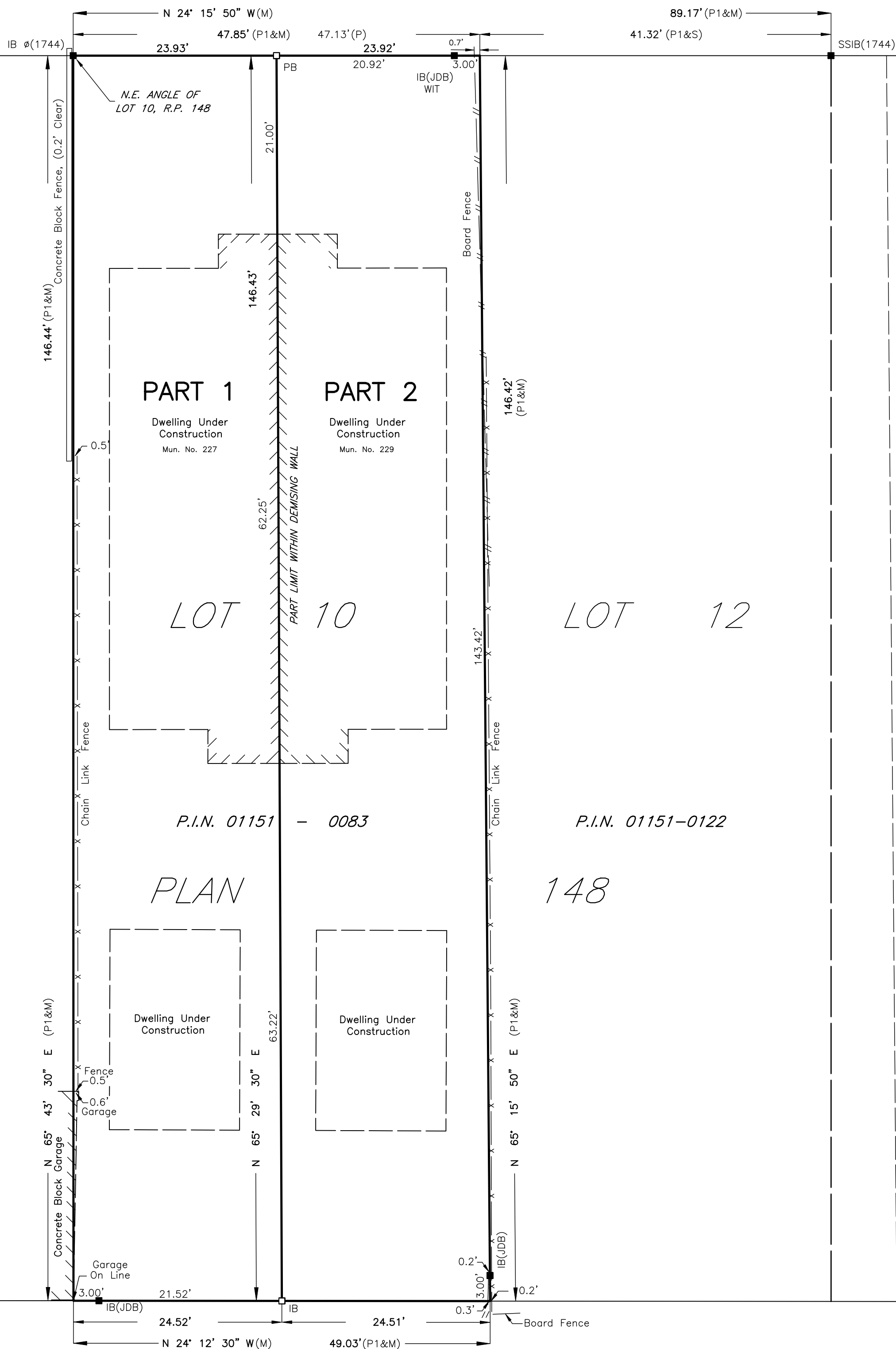
P. I. N. 0 1 1 5 0 - 0 2 0 5

LANGLOIS AVENUE

(66' WIDE - DEDICATED BY REGISTERED PLAN 148)

PARTS SCHEDULE

PART	LOT	CON/PLAN	P.I.N.	AREA
1	LOT 10	REGISTERED PLAN 148	ALL OF 01151-0083	0.081 Acres
2				0.081 Acres



PLAN OF SURVEY OF LOT 10, REGISTERED PLAN 148 IN THE CITY OF WINDSOR COUNTY OF ESSEX VERHAEGEN LAND SURVEYORS, A DIVISION OF J.D. BARNES LTD.

SCALE : 1"=10'



THE INTENDED PLOT SIZE OF THIS PLAN IS 24" IN WIDTH BY 24" IN HEIGHT WHEN PLOTTED AT A SCALE OF 1"=10'

"IMPERIAL" DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048

LEGEND AND NOTES

BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS 'A' AND 'B' BY REAL TIME NETWORK OBSERVATIONS AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999919

ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11(4) OF O.REG. 525/91.

ALL MONUMENTS SHOWN THUSLY □ ARE IRON BARS (IB) UNLESS OTHERWISE NOTED.

- SSIB DENOTES 25mm X 25mm X 1.22m STANDARD IRON BAR
- SSIB DENOTES 25mm X 25mm X 0.61m SHORT STANDARD IRON BAR
- IB □ DENOTES 16mm X 16mm X 0.61m IRON BAR
- IB φ DENOTES 19mm diameter X 0.61m ROUND IRON BAR
- CC DENOTES CUT-CROSS
- CP DENOTES CONCRETE PIN
- PB DENOTES PLASTIC BAR
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET AND MARKED JDB
- WIT. DENOTES WITNESS I DENOTES PERPENDICULAR
- (S) DENOTES SET (M) DENOTES MEASURED
- ORP DENOTES OBSERVED REFERENCE POINT
- (NI) DENOTES NOT IDENTIFIABLE (OU) DENOTES ORIGIN UNKNOWN
- (PROP) DENOTES PROPORTION (CALC) DENOTES CALCULATED
- (P) DENOTES REGISTERED PLAN 148
- (P1) DENOTES PLAN OF SURVEY BY (1744) Dated: Dec. 30, 1986. Plan File: A-1313.
- (1744) DENOTES VERHAEGEN SURVEYORS INC., O.L.S.
- (JDB) DENOTES J.D. BARNES LIMITED, O.L.S.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THIS SURVEY WAS COMPLETED ON THE 24th. DAY OF JANUARY, 2025.

DATE FEBRUARY 12, 2025.

ANDREW S. MANTHA
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 2220941

INTEGRATION DATA

COORDINATES ARE DERIVED FROM GRID OBSERVATIONS USING THE CAN-NET NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0).
COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) O.REG 216/10

POINT ID	NORTHING	EASTING
ORP-A	9999999.99	9999999.99
ORP-B	9999999.99	9999999.99

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ALLEY (DEDICATED BY REGISTERED PLAN 148)

P. I. N. 0 1 1 5 1 - 0 0 9 1

CHATHAM STREET
(DEDICATED BY REGISTERED PLAN 148)

LOT 8
P.I.N. 01151-0082
REGISTERED PLAN

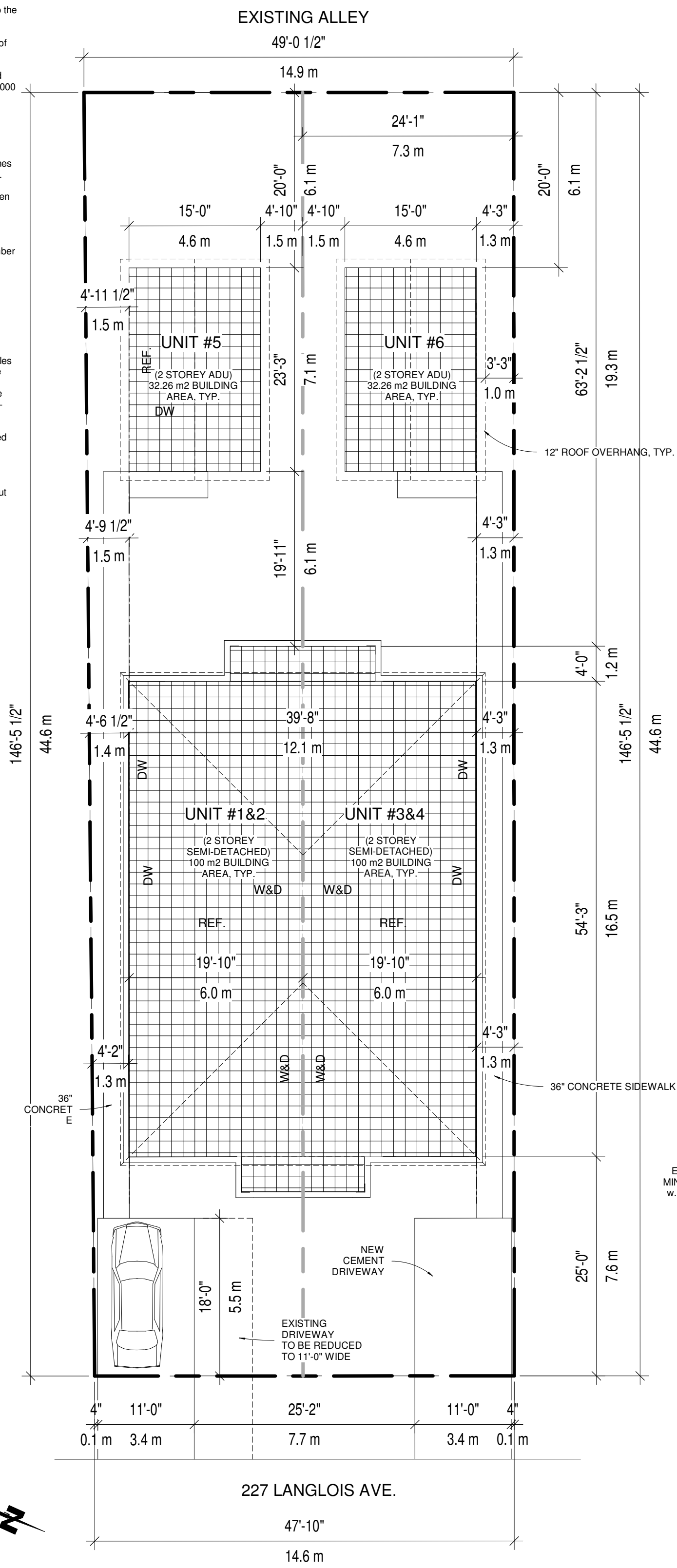
LOT 10
P.I.N. 01151 - 0083
PLAN

LOT 12
P.I.N. 01151-0122
148

VERHAEGEN
LAND SURVEYORS
A DIVISION OF J.D. BARNES LTD.
944 OTTAWA STREET, WINDSOR, ON, N8X 2E1
T: (519) 258-1772 F: (519) 258-1791 www.jdbarnes.com

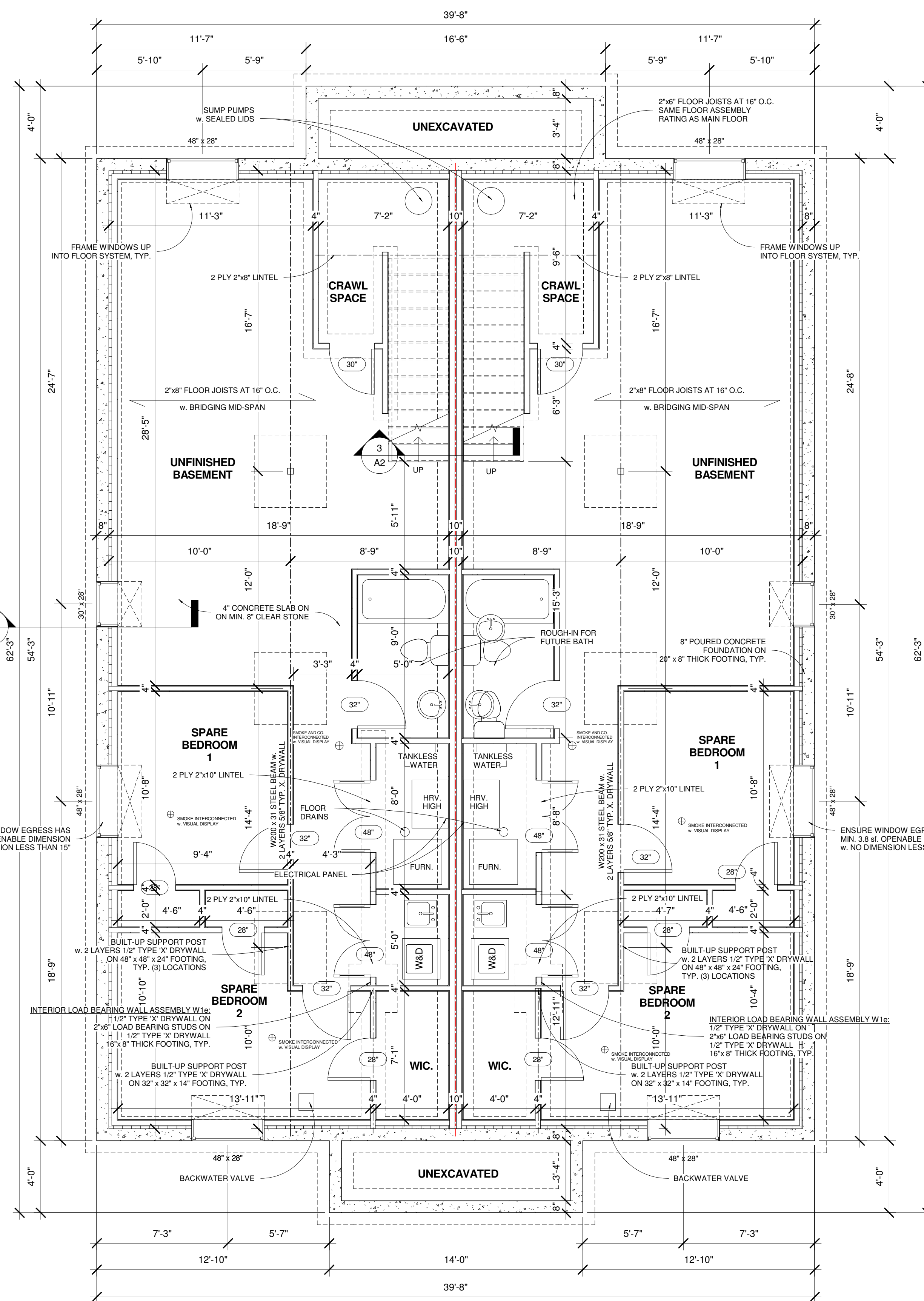
DRAWN BY: CMM	CHECKED BY: A.S.M.	REFERENCE NO.: 25-47-042-00
CAD File: 25-47-042-00.dwg CAD Date: February 13, 2025 11:47 AM		File: E-148-1

- DRAWING NOTES**
- The Ontario Building Code, Latest Edition shall be the basis of design and construction. Any inconsistencies on the drawings must be reported to the designer before proceeding with the work.
 - The contractor or owner shall notify the designer of any discrepancies prior to construction.
 - All footings shall be placed on natural undisturbed soil capable of sustaining an allowable pressure of 3000 psf.
 - Concrete strength to be 20 MPa for footings and walls, 25 MPa for floor slabs, 30 MPa minimum for outside concrete.
 - Concrete cover for reinforcing steel shall be 3 inches for concrete cast against earth and 2 inches for walls.
 - All concrete exposed to weather shall have between 5% to 7% air entrainment.
 - Mechanically vibrate all concrete.
 - Pre-engineered floor system to be certified by lumber provider.
 - TJI blocking to be installed 4'-0" o.c. for rim board support parallel with floor system.
 - Truss supplier/designer to confirm all point loads over windows and doors. Truss or Floor designer to provide LVL shop drawings as required.
 - Windows are representative due to the many styles and sizes available, therefore the contractor and the window supplier are to ensure size, fit and OBC compliance of doors and windows conforming to the energy performance evaluation standard CAN/CSA-A440.2.
 - Dimensions always take precedence over scaled measurements.
 - All interior doors are 32" x 84" UNO.
 - These plans may not be re-used or copied without the written permission in whole or in part from GA Designs.

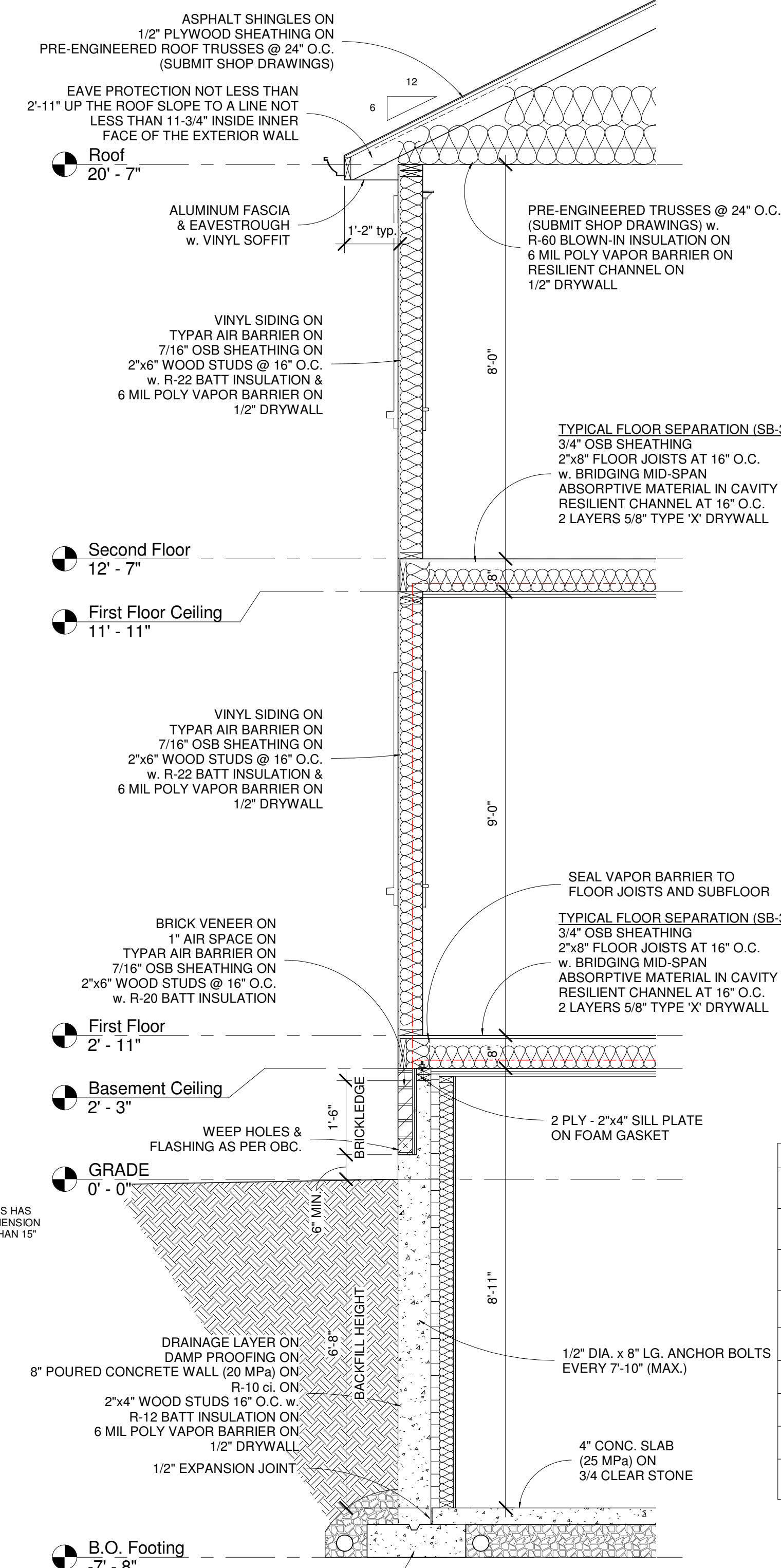


1 Site Plan
3/32" = 1'-0"

SITE DATA			
AREA OF HOUSE (MAIN STRUCTURE)	2 150 SF. (199.75 m ²)		
AREA OF COVERED PORCHES	122 SF. (11.33 m ²)		
AREA OF DETACHED ADUS	696 SF. (64.66 m ²)	10 %	MAX 10%
TOTAL BUILDING AREA	2 968 SF. (295.72 m ²)	42.5 %	MAX 45%
LOT SIZE	6 982 SF. (648.64 m ²)		
TOTAL GFA (NOT INCLUDING CELLAR)	4 300 SF. (399.48 m ²)		MAX 400 m ²



2 Basement
1/4" = 1'-0"



3 Typical Section
1/2" = 1'-0"

TABLE 3.1.1.2.A
ZONE 1 COMPLIANCE PACKAGE
FOR SPACE HEATING EQUIPMENT
WITH AREAS 50% OR GREATER

COMPONENT	A1
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	R-60
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	R-22
HEATED SLAB OR SLAB LESS THAN 2" BELOW GRADE MINIMUM RSI (R) VALUE	R-10
WINDOWS AND SLIDING GLASS DOORS MAXIMUM U VALUE	0.28
DOORWAYS MAXIMUM U VALUE	0.49
SPACE HEATING EQUIPMENT MINIMUM A/E	96%
HRV MINIMUM EFFICIENCY	75%
DOMESTIC HOT WATER HEATER MINIMUM A/P	0.8
AREA OF EXTERIOR WALL - 3 900 ft ² AREA OF WINDOWS & SLIDING DOORS - 339 ft ² RATIO OF EXTERIOR WALLS - 8.6%	

GA DESIGNS
BCIN: 112721
gregoryamaral@yahoo.com

Golshani Development

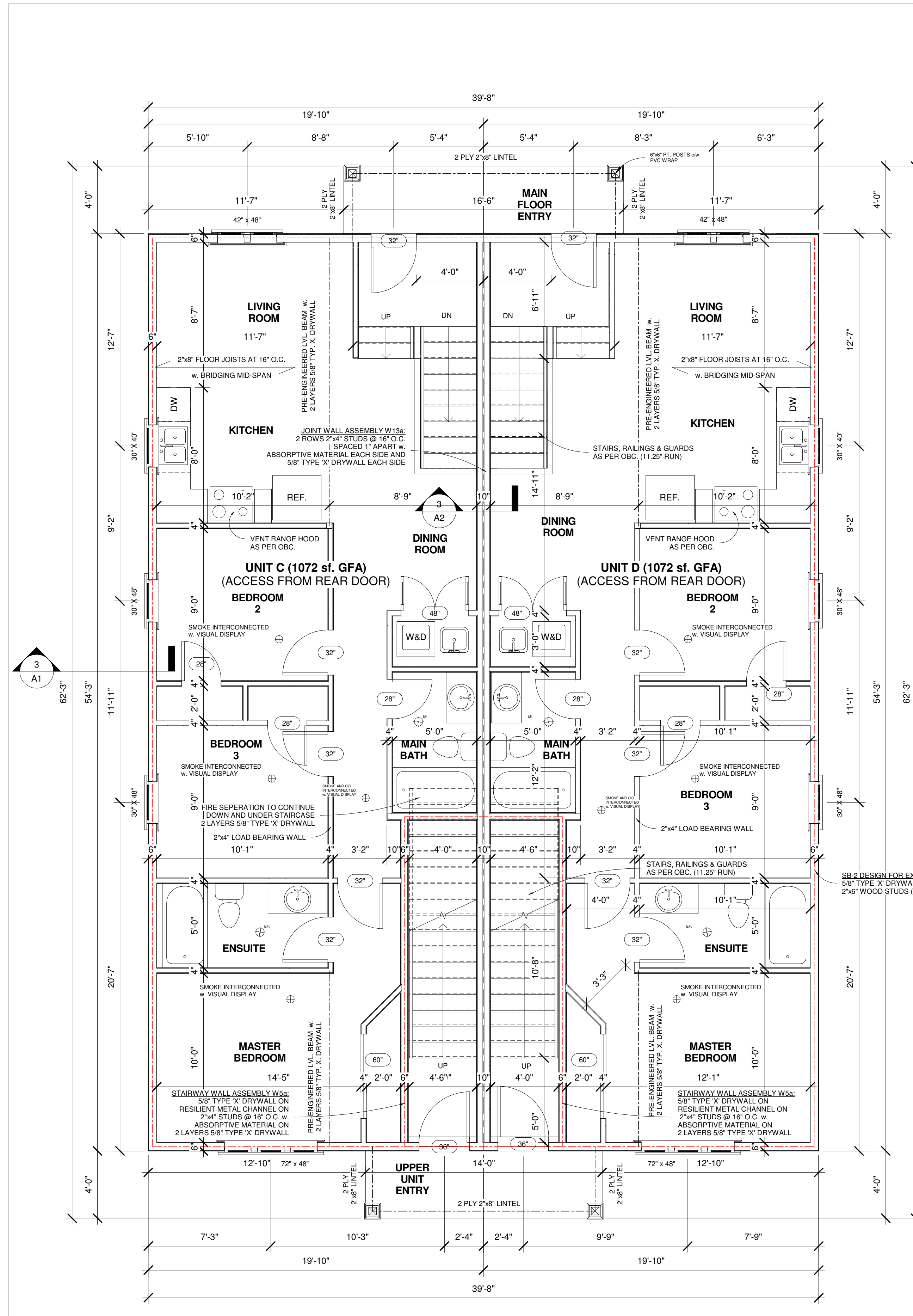
227 Langlois, Windsor

Site Plan

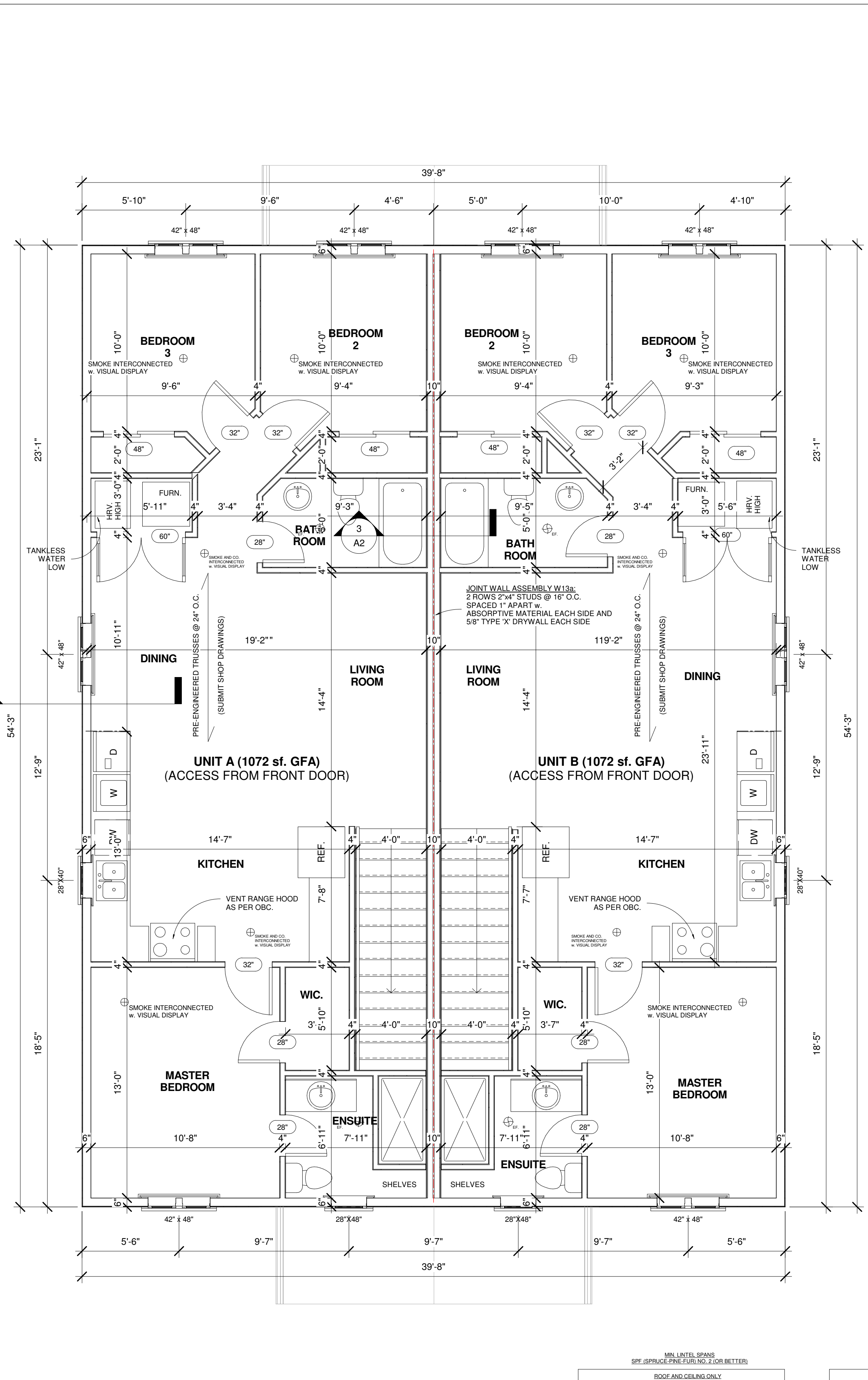
Project number	24
Date	2024-08-13
Drawn by	GA
Checked by	GA

A1

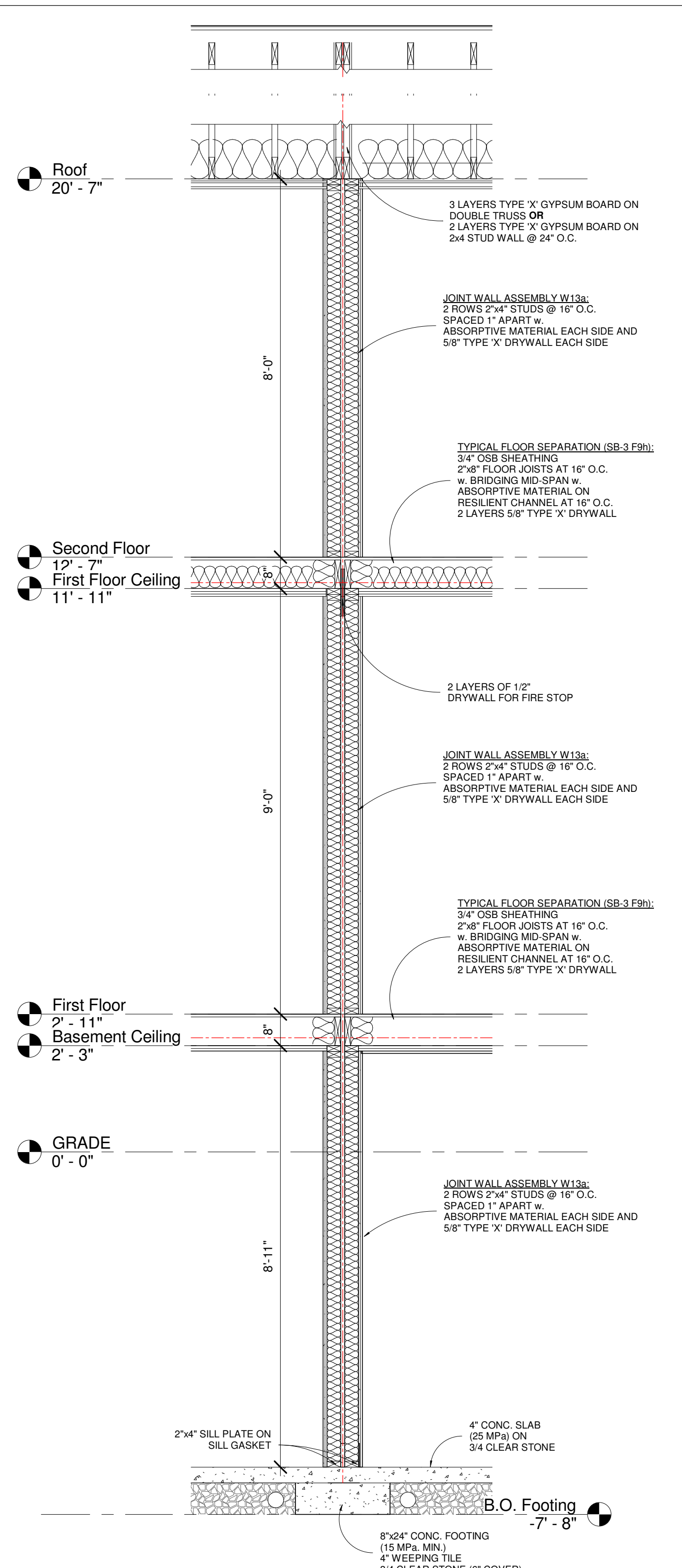
Scale As indicated



1 First Floor
1/4" = 1'-0"



2 Second Floor
1/4" = 1'-0"



3 Fire Separation
1/2" = 1'-0"

MIN LINTEL SPANS
SPE. (SPRUCE/PINE/FURF. NO. 2 OR BETTER)

ROOF AND CEILING ONLY		
LINTEL SIZE	MAX OPENING	MAX OPENING (INTERIOR WALL)
2' 2" x 4"	3'-7"	3'-0"
2' 2" x 6"	5'-4"	4'-4"
2' 2" x 8"	6'-7"	5'-4"
2' 2" x 10"	8'-1"	6'-7"
2' 2" x 12"	9'-3"	7'-6"

SPECIFIED SNOW LOAD 1.5 kPa
MAXIMUM SUPPORTED JOIST OR RAFTER LENGTH 16'-0"
MAXIMUM SUPPORTED TRUSS LENGTH 32'-4"

MIN LINTEL SPANS
SPE. (SPRUCE/PINE/FURF. NO. 2 OR BETTER)

FLOOR, ROOF AND CEILING ONLY		
LINTEL SIZE	MAX OPENING	MAX OPENING (INTERIOR WALL)
2' 2" x 4"	3'-2"	2'-9"
2' 2" x 6"	4'-9"	3'-4"
2' 2" x 8"	6'-4"	3'-11"
2' 2" x 10"	7'-8"	4'-9"
2' 2" x 12"	9'-3"	5'-9"

SPECIFIED SNOW LOAD 1.5 kPa
MAXIMUM SUPPORTED JOIST OR RAFTER LENGTH 16'-0"
MAXIMUM SUPPORTED TRUSS LENGTH 32'-4"

GA DESIGNS
BCIN: 112721
gregoryamaral@yahoo.com

Golshani Development

227 Langlois, Windsor
First and Second Floor

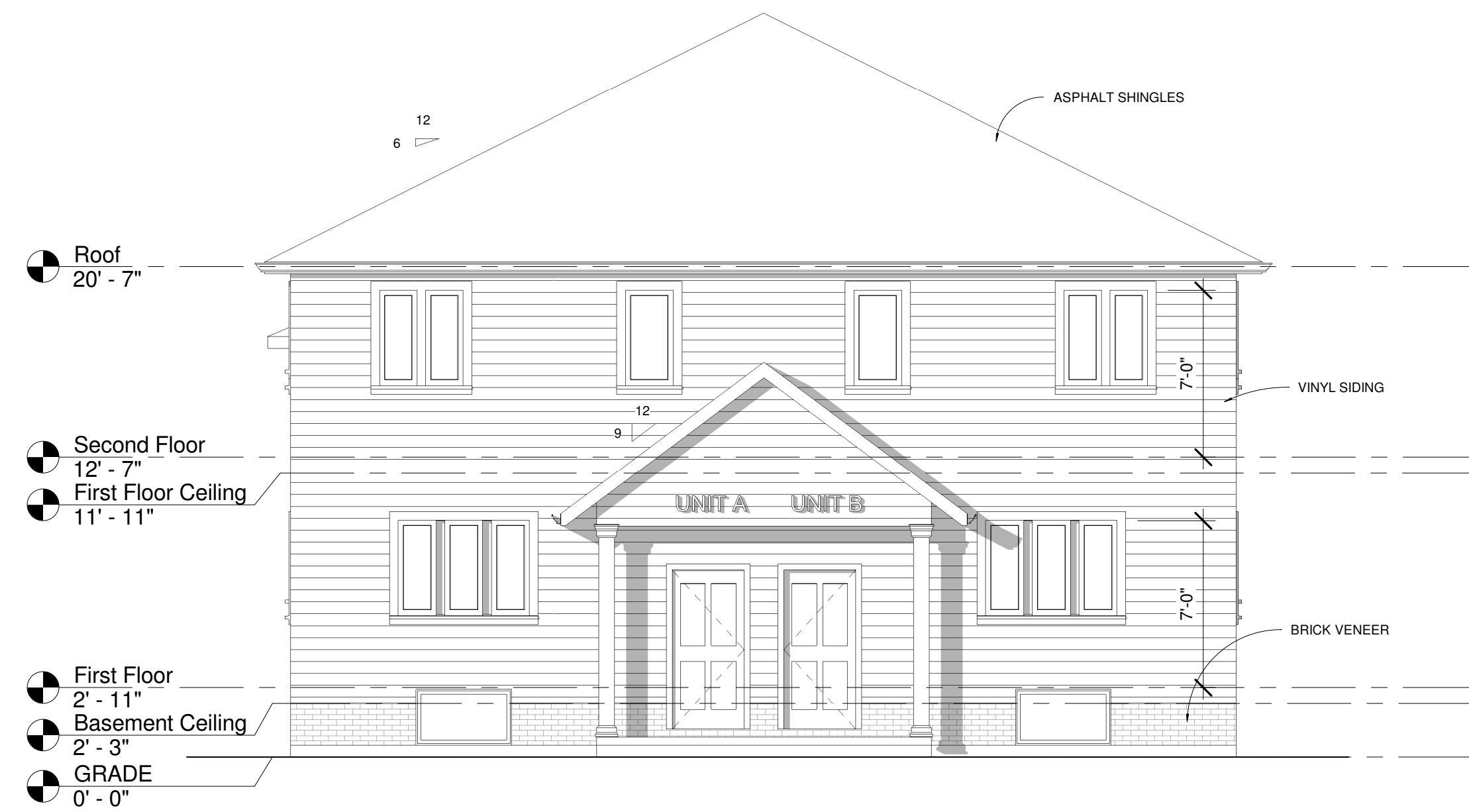
Project number 24
Date 2024-08-13
Drawn by GA
Checked by GA

A2

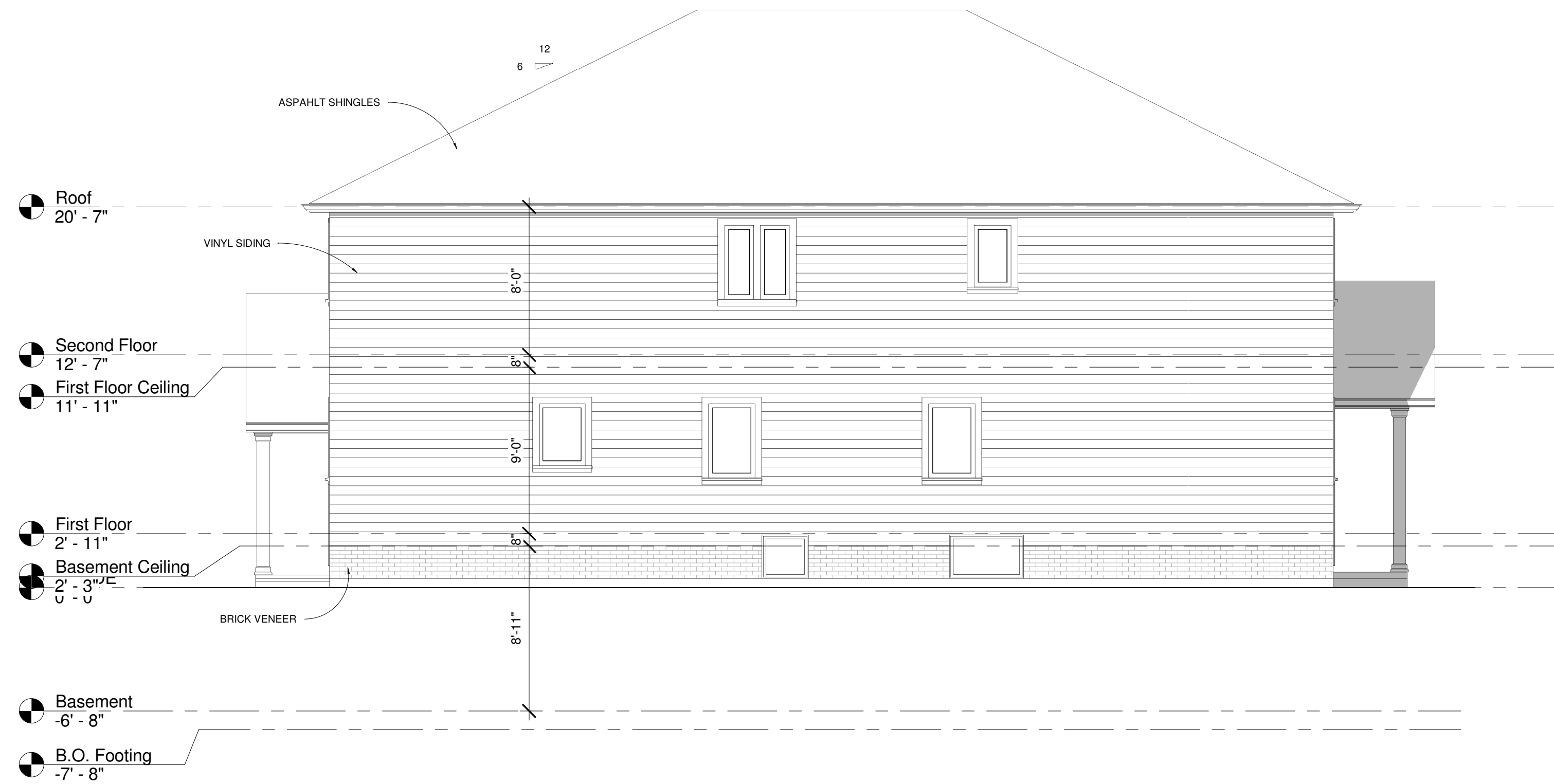
Scale As indicated

REV. 1- 2024-11-05 - FINISHED BASEMENT

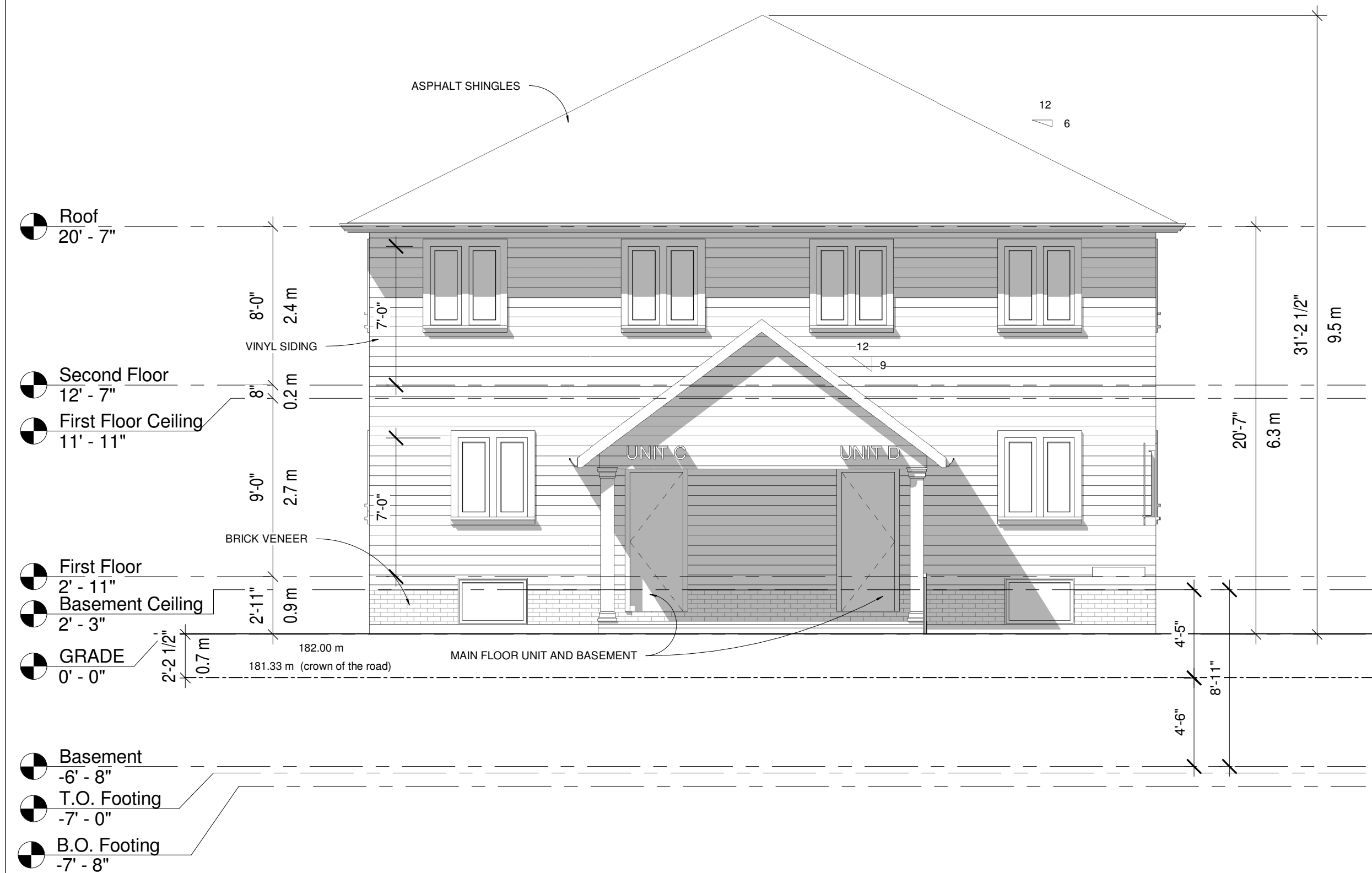
2024-11-06 12:06:05 PM



1 Front Elevation
3/16" = 1'-0"



3 Left Side Elevation
3/16" = 1'-0"



2 Rear Elevation
3/16" = 1'-0"



4 Right Side Elevation
3/16" = 1'-0"

GA DESIGNS
BCIN: 112721
gregoryamaral@yahoo.com

Golshani Development

227 Langlois, Windsor

Elevations

Project number	24
Date	2024-08-13
Drawn by	GA
Checked by	GA

A3

Scale	3/16" = 1'-0"
-------	---------------

REV. 1- 2024-11-05 - FINISHED BASEMENT

2024-11-06 12:06:10 PM