

Notice of Public Hearing – Committee of Adjustment Application

File # A-061/25

Date Mailed: October 29, 2025

Electronic hearing:

By videoconference on November 13, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on October 29, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 369 LOT 98 AND PT CLOSED ALLEY

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential RD1.3

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: VALDORA HOMES INC Applicant Name: Valdora Homes INC.		732 BRIDGE AVE

PURPOSE OF APPLICATION

Minor Variance - Proposed single unit dwelling with attached additional dwelling unit requesting relief for reduced minimum lot width and minimum lot area.

By-Law	Provision	Provision Description	Requirement	Proposed
8600	10.3.5.1	Lot Width - Minimum	9.0 m	7.6 m
8600	10.3.5.2	Lot Area - Minimum	270.0 m ²	243.7 m ²

Type of Consent Application Transaction:

How do I participate if I have comments or concerns?**Submit written comments**

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

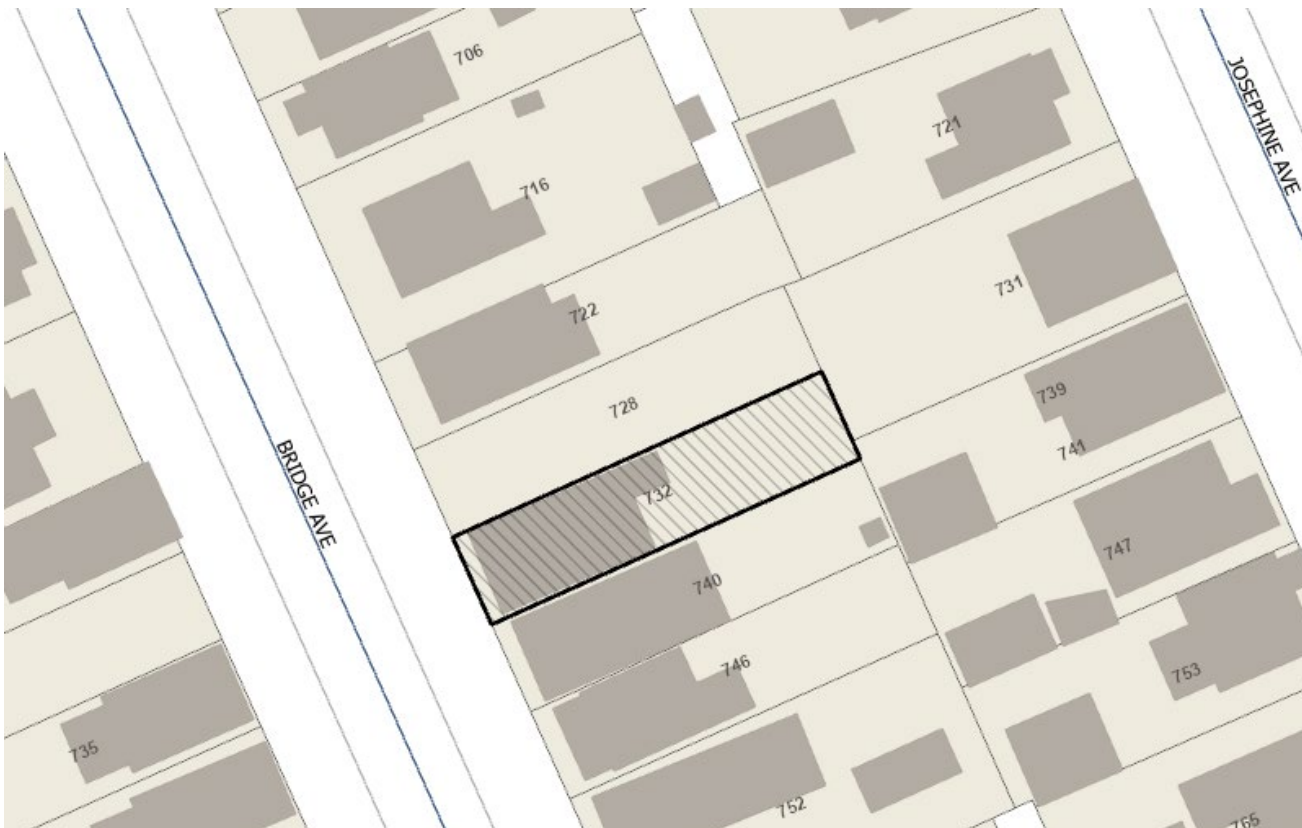
Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.

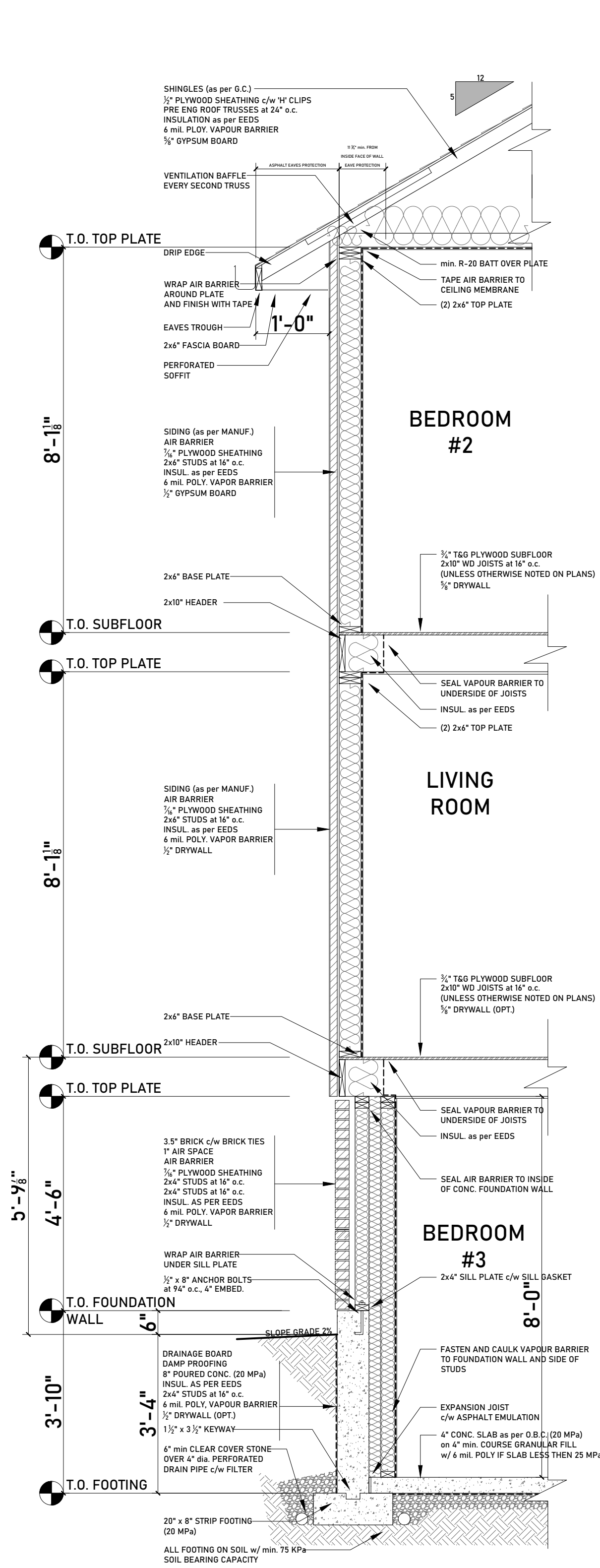
**Contact Information:**

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

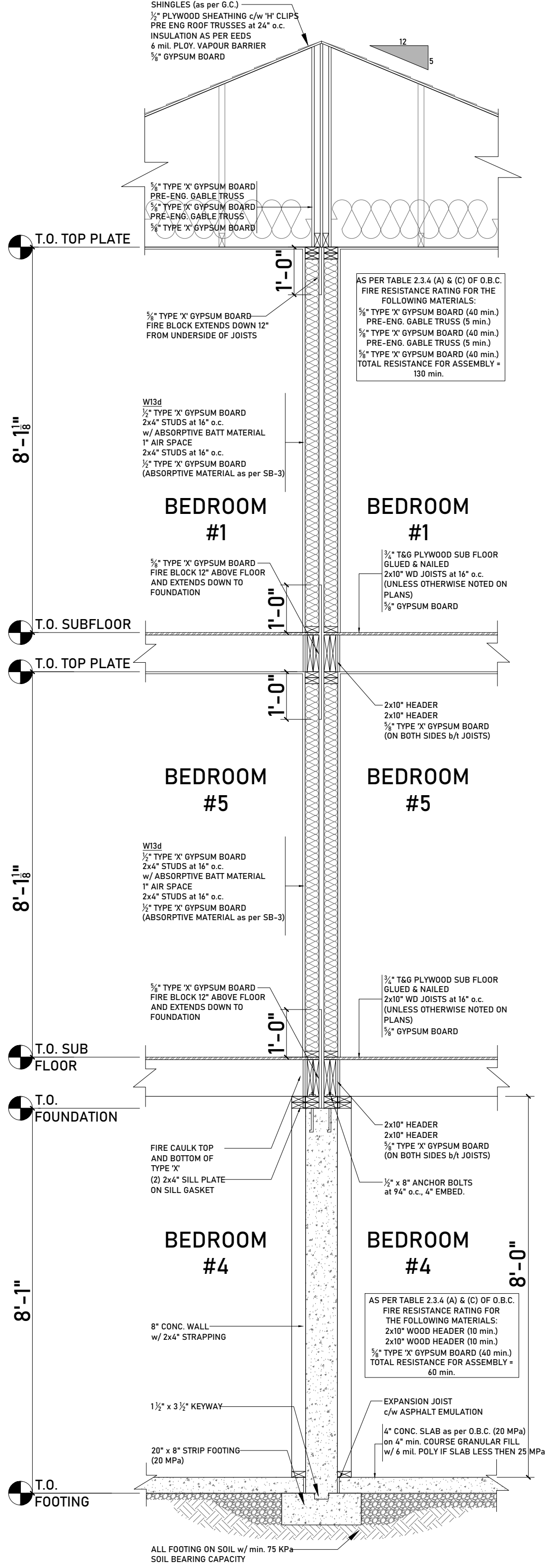
- GENERAL NOTES:
1. ALL CONSTRUCTION TO BE DONE AS PER ONTARIO BUILDING CODE (O.B.C.) AND AS PER ANY LOCAL BY-LAWS
 2. "GENERAL CONTRACTOR" (G.C.) TO BE INTERCHANGEABLE w/ "OWNER" THROUGHOUT THESE DOCUMENTS
 3. WINDOW AND DOOR SIZES ARE FOR REFERENCE ONLY. G.C. TO CONFIRM ALL SIZES w/ MANUF. OR SUPPLIER AND NOTIFY THIS DESIGNER OF ANY SIGNIFICANT CHANGES
 4. G.C. TO SUBMIT ENGINEERED TRUSS AND FLOOR JOIST DATA DESIGN SHEETS WHEN APPLICABLE
 5. A MIN. 2% GRADING TO BE MAINTAINED AROUND THE STRUCTURE
 6. ELECTRICAL BY OTHERS (as per O.B.C.)
 7. MECHANICAL AND HVAC BY OTHERS (as per O.B.C.)
 8. PLUMBING BY OTHERS (as per O.B.C.)
 9. DO NOT SCALE THESE DRAWINGS
 10. G.C. TO CONFIRM "ERCA" REQUIREMENTS AND SITE CONDITIONS PRIOR TO CONSTRUCTION
 11. THIS DESIGNER IS NOT RESPONSIBLE FOR LOCATING THE STRUCTURE ON THE SITE. AN ONTARIO LAND SURVEYOR IS RECOMMENDED TO LOCATE THE STRUCTURE, SET THE GRADE, AND TO PRODUCE LOT GRADING PLANS
 12. IF ANY CHANGES OR MODIFICATIONS ARE MADE ON SITE WITHOUT NOTIFYING THIS DESIGNER THEN THIS DESIGNER TAKES NO RESPONSIBILITY FOR CHANGES AND OR ERRORS MADE DURING CONSTRUCTION
 13. G.C. RESPONSIBLE FOR REVIEWING AND APPROVING ENGINEERED ROOF AND FLOOR TRUSS DESIGNS PRIOR TO MANUFACTURING AND MUST RELAY ANY RELEVANT INFORMATION TO THIS DESIGNER
 14. THESE DRAWINGS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS. G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS. INFO, ENG. STAMPS FOR CONC. REINF. PORCHES OR POINT LOADING DIAGRAMS, LINTEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES
 15. EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION. G.C. MAY USE APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MINIMUM CODE. DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING SYSTEMS
 16. EXTERIOR FINISHES, WINDOWS, DOORS SIZES AND STYLES, KITCHEN LAYOUTS, BATH LAYOUTS, AND BASEMENT DESIGNS ARE THIS DESIGNER'S RENDERING OF WHAT THE HOUSE CAN INCLUDE. GENERAL CONTRACTORS CONTACT SHALL SUPERCEDE IN ALL ABOVE MENTIONED CATEGORIES AS LONG AS THEY MEET O.B.C. G.C. TO INFORM DESIGNER OF ANY DIFFERENCES TO THIS PLAN.
 17. G.C. TO NOTIFY THIS DESIGNER OF ANY DISCREPANCIES BETWEEN THIS DESIGN AND O.B.C. OR OF ANY CHANGES TO BE MADE TO THESE PLANS WITHIN 72 HOURS OR THIS DESIGNER TAKES NO RESPONSIBILITY FOR THE CHANGES OR DISCREPANCIES
 18. INSULATION VALUES AND LOCATIONS MAY VARY FROM WHAT IS NOTED. ONLY INSULATION LOCATIONS REQUIRED BY O.B.C. ARE MANDATORY ALL OTHERS ARE INFERRED TO BE OPTIONAL. IF SB-12 PERFORMANCE PACKAGE IS USED THEN THOSE VALUES SHALL SUPERCEDE NOTED VALUES.
 19. IF CERTAIN ITEMS NOTED ON THESE PLANS DIFFER FROM G.C.'s CONTRACT WITH CLIENT THEN THE CONTRACT SHALL TAKE PRECEDENT AS LONG AS THE CONTRACTS NOTED DIFFERENCE MEETS O.B.C.

ADDRESS: 728
Bridge Ave.
Windsor, ON
ZONE: RD1.3
SITE AREA: 2623 sf
APPROX. HEIGHT: 24' - 10"
COVERAGE ALLOWANCE: 45% (1180) sf
PROPOSED COVERAGE: 39% (1028) sf
SETBACKS: as shown
AREA: (MAIN / ADU)
GROUND FLOOR: 514 / 514 sf
SECOND FLOOR: 479 / 479 sf
BASEMENT: 514 / 514 sf

NOTE: EEDS BY OTHERS, PLEASE SEE EEDS FOR PROPER INSULATION VALUES, METHODS OF INSULATION, AND EFFICIENCY VALUES.

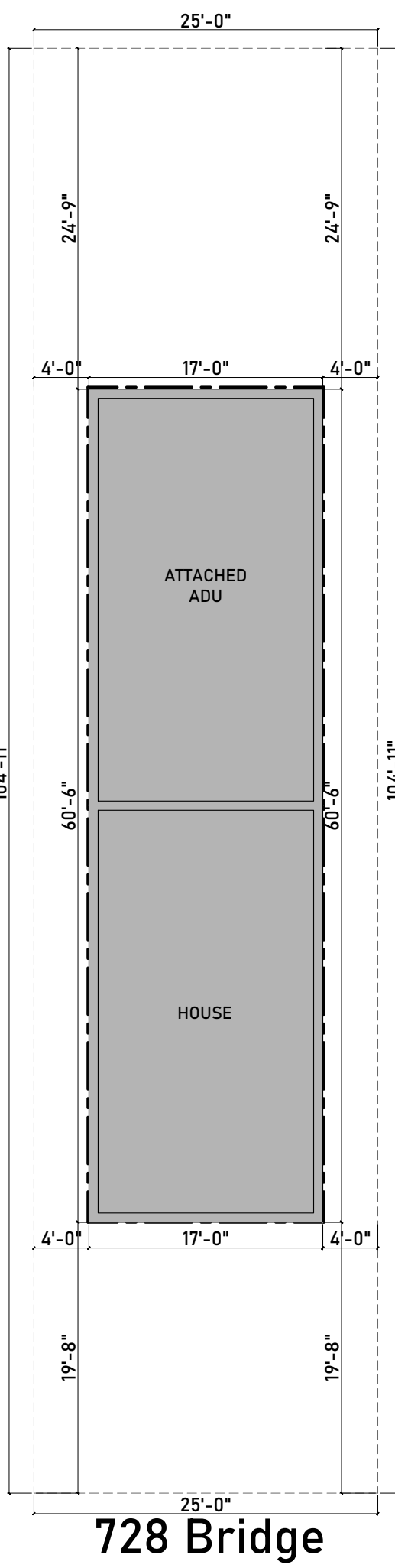


1 TYP. WALL SECTION - HOUSE
ADD. 1/2" = 1'



2 TYP. WALL SECTION - PARTY WALL
ADD. 1/2" = 1'

3 PROPERTY PLAN
ADD. 1/8" = 1'



728 Bridge

NOTE: THESE PRINTS ARE THE PROPERTY AND DESIGN OF THIS DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REPRODUCE THE SAME HOUSE AT NO BENEFIT TO THE PURCHASER OF THIS HOME.

NOTE: THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.

58" DIG DEPTH

JMD DESIGN & DRAFTING INC.

Email: jmdesignanddrafting@gmail.com
Cell: (519) - 818 - 0619

PROJECT NOTES:

Dec. 9, 2024.

24159 - 728 Bridge

728 Bridge Ave. Windsor ON.

APPROVED FINAL DRAWINGS FOR CONSTRUCTION. APPROVED FINAL DRAWINGS FOR CONSTRUCTION.

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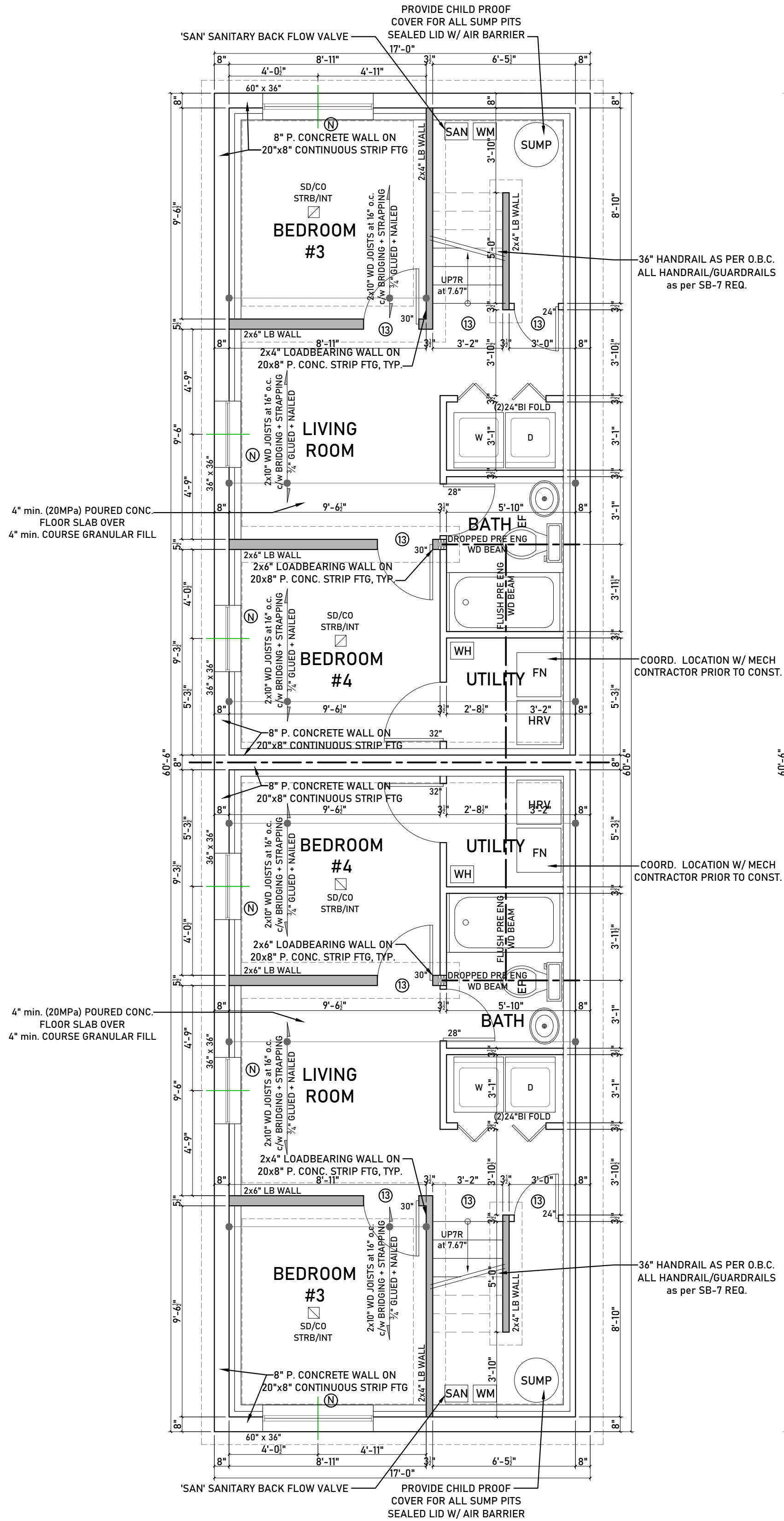
NOTE: G.C. TO CONFIRM THE LOCATION OF ALL PLUMBING, HVAC, and MECH. PRIOR TO CONSTRUCTION

NOTE: THE OWNER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF CONC. STAIRS, CONC. PORCH, HANDRAILS, AND GRADING ASSOCIATED WITH REAR COVERED PORCH. THE CONTRACTOR IS NOT RESPONSIBLE UNLESS EXPLICITLY STATED IN THE CONTRACT

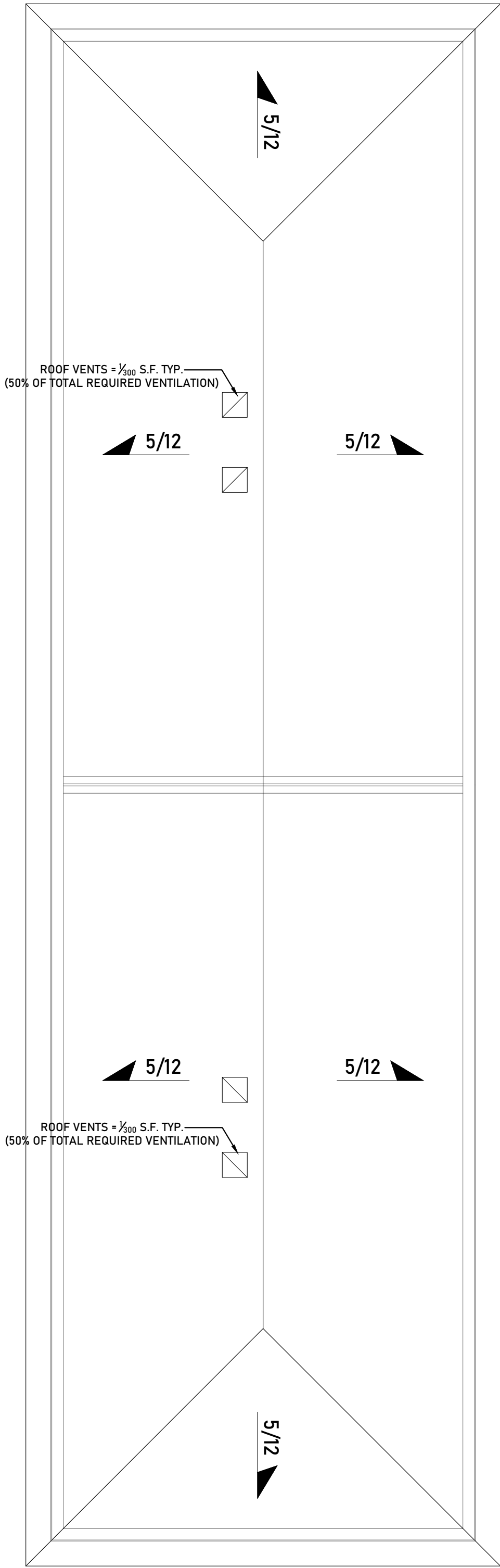
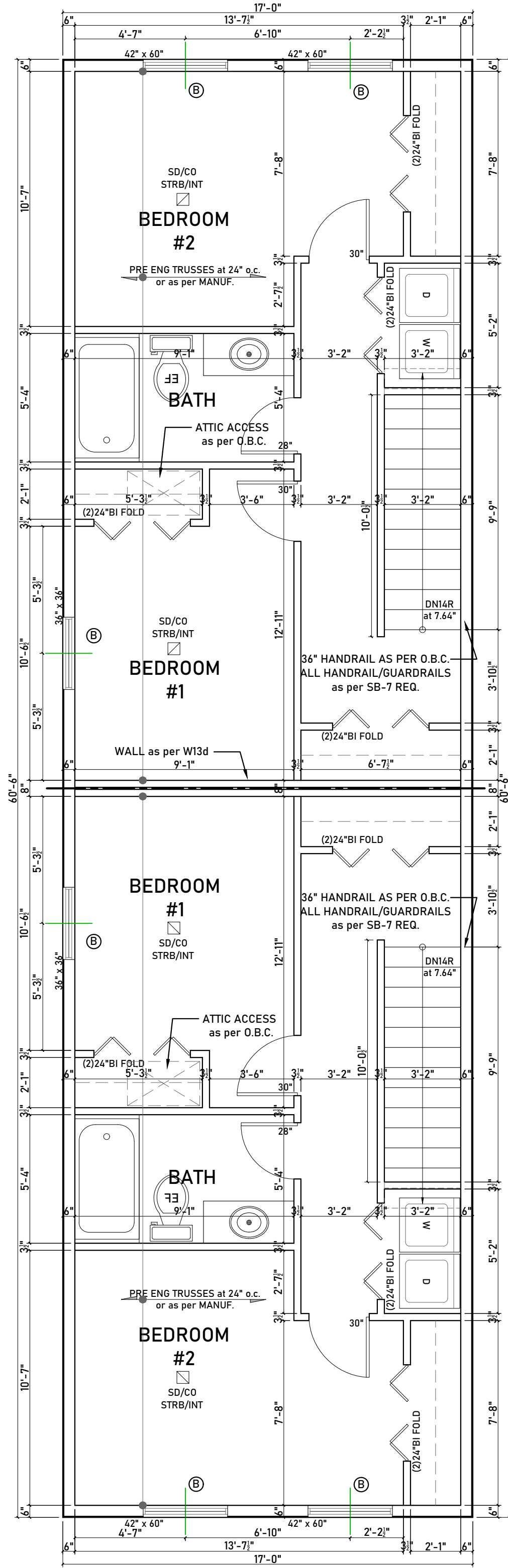
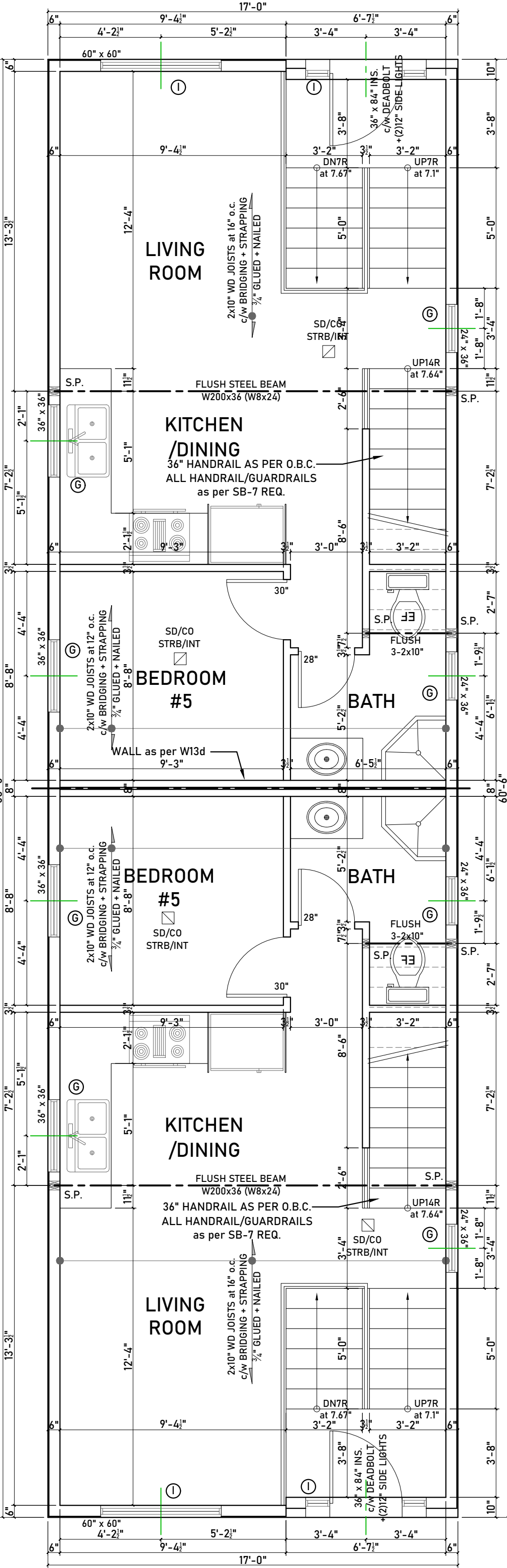
NOTE: G.C. TO CONFIRM FOUNDATION CUTS AND BRICK LEDGES w/ LOT GRADING PLAN PRIOR TO CONSTRUCTION

STRAP WALLS 3" OFF FOUNDATION WITH 2x6" BOTTOM PLATE TO HOLD INSULATION OFF CONC. FLOOR WITH TYVEK BEHIND - AGAINST FOUNDATION

NOTE: BASEMENT NOT TO BE USED OR INTENDED TO BE USED AS SECONDARY UNIT.



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ROOF AREA = 1187 SF = 4 VENTS

LEGEND:
S.P. SUPPORT POST (BUILT UP WD OR STEEL)
E.F. EXHAUST FAN w/ NON-COMBUSTIBLE DUCTWORK

LINTEL SCHEDULE (INTERIOR)				
LINTEL SIZE	ROOF - CEILING	ROOF - CEILING AND CHIMNEY	ROOF - CEILING AND CHIMNEY	ROOF - CEILING AND CHIMNEY
2-2"x4"	3'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	4'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	5'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	6'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	7'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	8'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	9'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	10'-0"	2'-0"	2'-0"	2'-0"
LINTEL SCHEDULE (EXTERIOR)				
LINTEL SIZE	ROOF - CEILING	ROOF - CEILING AND CHIMNEY	ROOF - CEILING AND CHIMNEY	ROOF - CEILING AND CHIMNEY
2-2"x4"	3'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	4'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	5'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	6'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	7'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	8'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	9'-0"	2'-0"	2'-0"	2'-0"
2-2"x4"	10'-0"	2'-0"	2'-0"	2'-0"

EXT. WALL STUDS			
WALL TYPE	STUD SIZE	SPACING	NOTES
1/2" MIN. (20MPa) POURED CONC. FLOOR SLAB OVER 4" MIN. COURSE GRANULAR FILL	2x4"	16"	1/2" MIN. (20MPa) POURED CONC. FLOOR SLAB OVER 4" MIN. COURSE GRANULAR FILL
2x4" LB WALL	2x4"	16"	2x4" LB WALL
2x4" LOADBEARING WALL ON 20"x8" P. CONC. STRIP FTG, TYP.	2x4"	16"	2x4" LOADBEARING WALL ON 20"x8" P. CONC. STRIP FTG, TYP.
8" P. CONCRETE WALL ON 20"x8" CONTINUOUS STRIP FTG	8"	16"	8" P. CONCRETE WALL ON 20"x8" CONTINUOUS STRIP FTG

STEEL LINTEL SCHEDULE	
LINTEL SIZE	MAX. CLEAR SPAN
2-2"x4"	3'-0"
2-2"x4"	4'-0"
2-2"x4"	5'-0"
2-2"x4"	6'-0"
2-2"x4"	7'-0"
2-2"x4"	8'-0"
2-2"x4"	9'-0"
2-2"x4"	10'-0"

1 FOUNDATION PLAN
A01.1 1/4" = 1"

2 GROUND FLOOR PLAN
A01.1 1/4" = 1"

3 SECOND FLOOR PLAN
A01.1 1/4" = 1"

4 ROOF PLAN
A01.1 1/4" = 1"

APPROVED FINAL DRAWINGS FOR CONSTRUCTION. APPROVED FINAL DRAWINGS FOR CONSTRUCTION. APPROVED FINAL DRAWINGS FOR CONSTRUCTION.

A01.1

PROJECT NOTES:

Dec. 9, 2024.

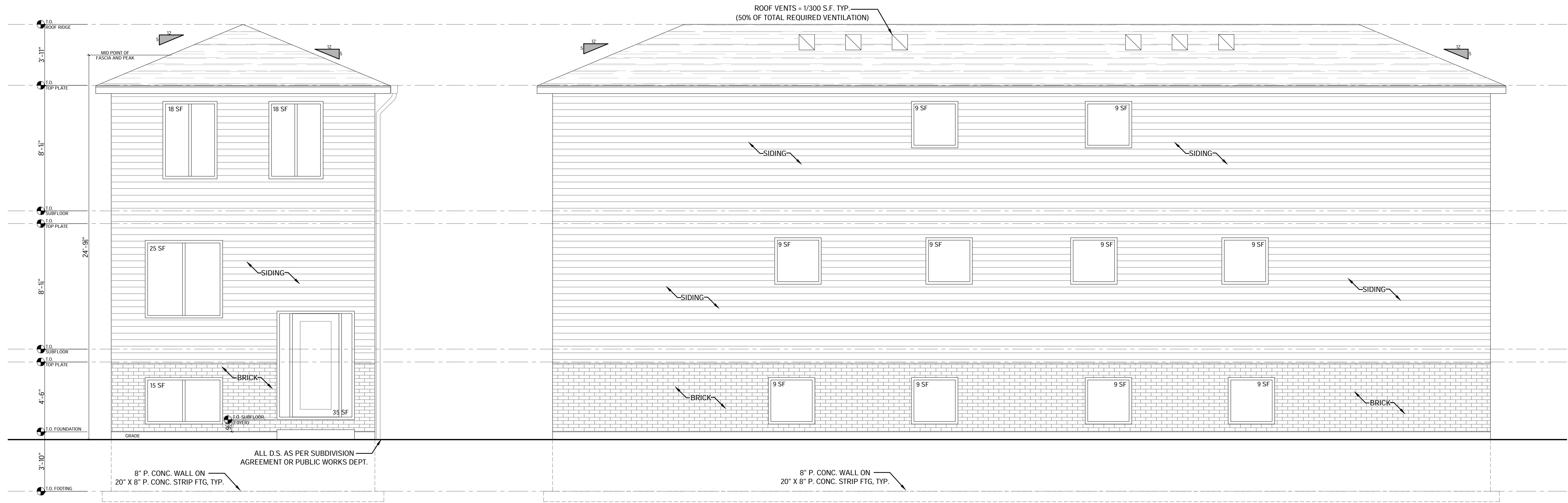
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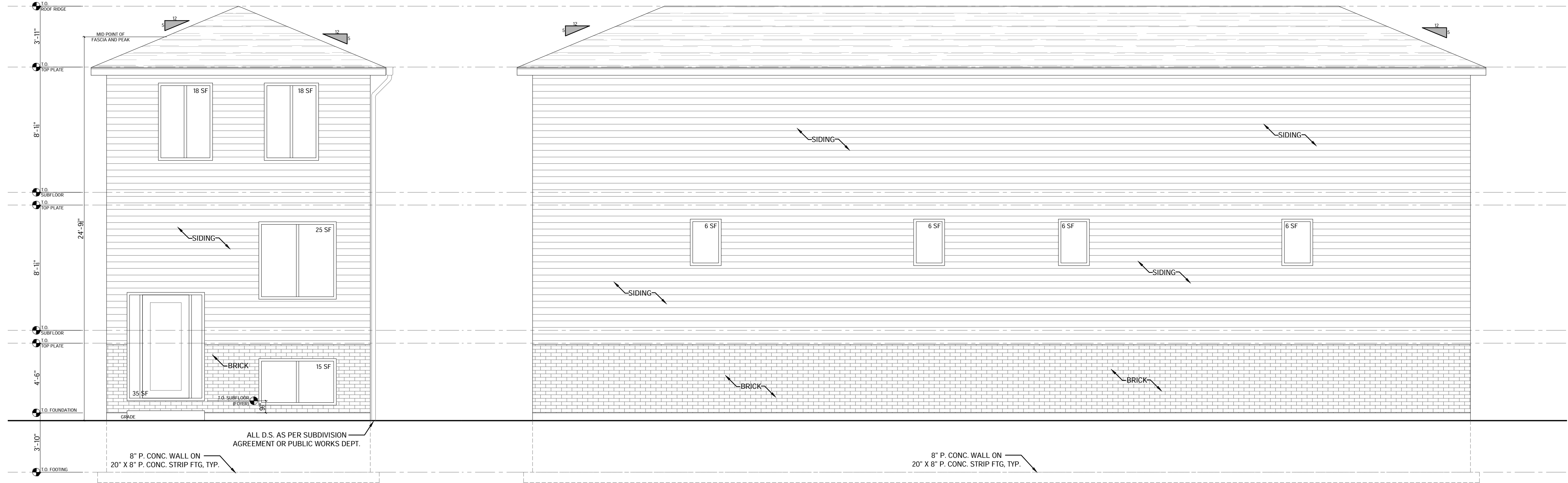
Email: jmdesigndrafting@gmail.com

Cell: (519) - 818 - 0619



1 WEST ELEVATION
A02.1 1/4" = 1'

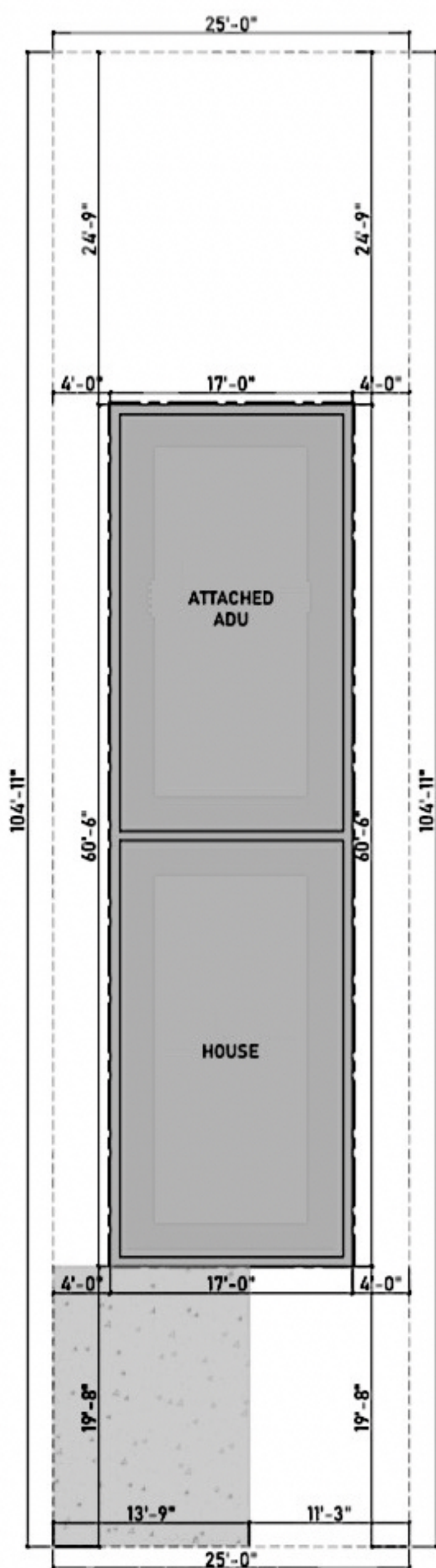
2 NORTH ELEVATION
A02.1 1/4" = 1'



3 EAST ELEVATION
A02.1 1/4" = 1'

4 SOUTH ELEVATION
A02.1 1/4" = 1'

WINDOW COVERAGE		
	WALL	WINDOW
NORTH	1349 sq ft	90 sq ft
EAST	1349 sq ft	111 sq ft
SOUTH	1349 sq ft	24 sq ft
WEST	1349 sq ft	111 sq ft
TOTAL WALL AREA: 5450 sq ft		
TOTAL WINDOW AREA: 336 sq ft		
TOTAL WINDOW COVERAGE: 9.7 %		



732 Bridge