

## Notice of Public Hearing – Committee of Adjustment Application

File # A-060/26 - 7548 RIVERSIDE DR E

Date Mailed: July 1, 2026

### Electronic hearing:

By videoconference on July 16, 2026 at 3:30 PM

### Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on July 1, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

## APPLICANT AND PROPERTY INFORMATION

**LEGAL DESCRIPTION:** CON 1 PT LOT 126 AND; WATER LOT;

<b>OFFICIAL PLAN DESIGNATION</b>	<b>ZONING OF SUBJECT LAND(S)</b>
Waterfront Recreation	Residential District 1.6 (RD1.6)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p><b>Owner Name:</b> BRIAN HENRY SCHWAB</p> <p><b>Applicant Name:</b> Architectural Design Associates Inc., Architect</p>		7548 RIVERSIDE DR E

## PURPOSE OF APPLICATION

**Minor Variance** - Requesting relief for increased maximum accessory building height

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	5.10.9.1	Maximum Accessory Building Height	3.0 m	4.09 m

## How do I participate if I have comments or concerns?

### Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

### Participate in the hearing by videoconference (Microsoft Teams)

**Two ways to register:** 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

**Applicant(s)** – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

### Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer ([jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



#### Contact Information:

Jessica Watson  
Secretary-Treasurer  
Committee of Adjustment  
Suite 320, 350 City Hall Square West  
Windsor, ON N9A6S1  
Phone: 519-255-6543 ext. 6450 or 6436  
[COAdjustment@citywindsor.ca](mailto:COAdjustment@citywindsor.ca)

# PROPOSED POOL HOUSE

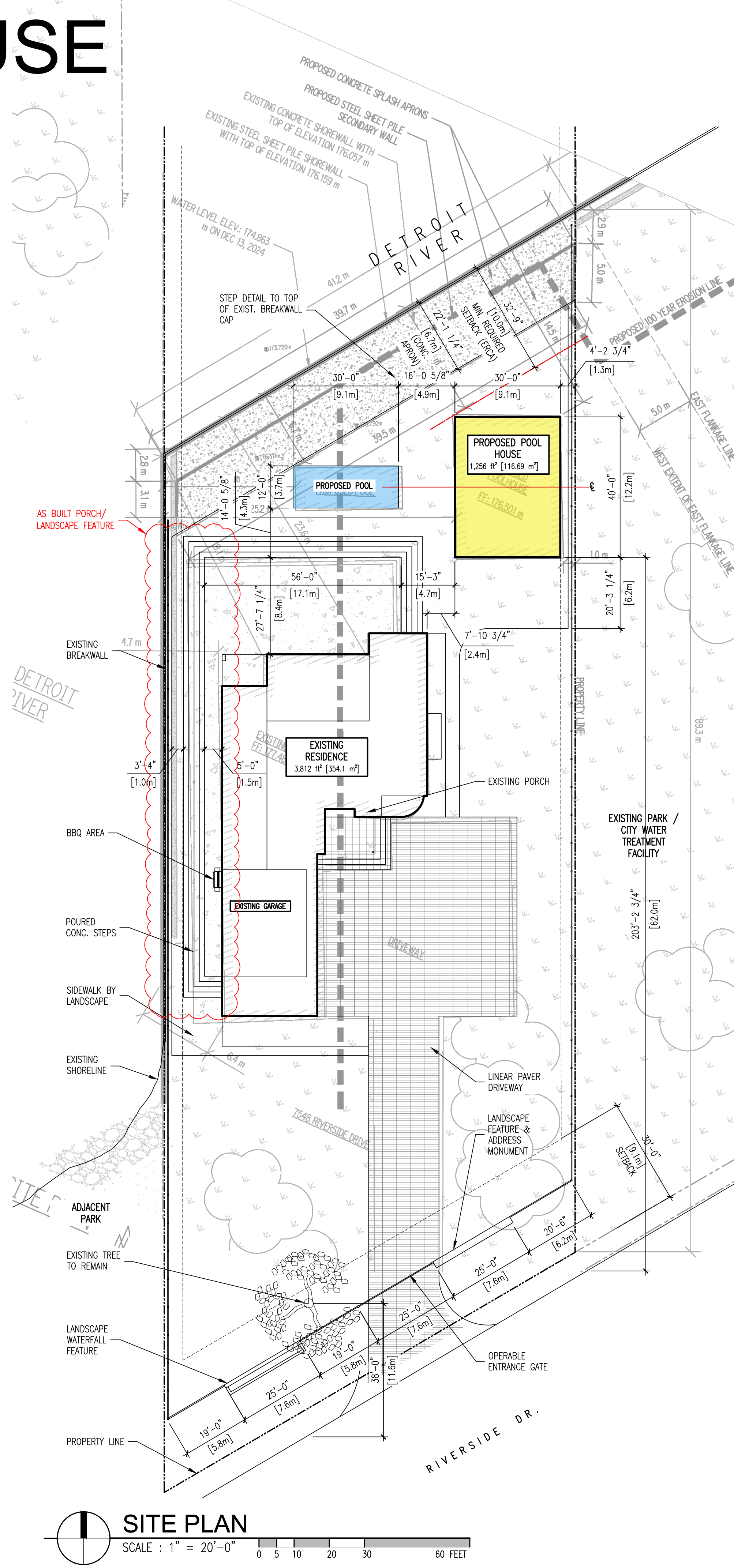
FOR  
**SCHWAB**  
WINDSOR, ONTARIO

Location: 7548 RIVERSIDE DRIVE



## LIST OF DRAWINGS

PROPOSED	
A0.0 COVER SHEET SITE PLAN	A4.1 SECTIONS
A1.1 FOUNDATION PLAN FIRST FLOOR PLAN ROOF PLAN	A5.1 STRUCTURAL SECTIONS & PLAN DETAILS
A3.1 ELEVATIONS	A5.2 STRUCTURAL NOTES



**SITE PLAN**  
SCALE : 1" = 20'-0"

SITE DATA MATRIX		SITE ZONING : RD1.6	
a. LOT AREA	REQUIRED MIN. 450 m <sup>2</sup>	EXISTING 3, 210 m <sup>2</sup>	PROPOSED 3, 210 m <sup>2</sup>
b. EXIST. BUILDING AREA		N/A	111.5 m <sup>2</sup>
c. BUILDING LOT COVERAGE (%)	MAX. 45 %	N/A	3.47 %
d. BUILDING HEIGHT	MAX. 10 m		<10 m

FIRM NAME:  
ARCHITECTURAL DESIGN ASSOCIATES INC. ARCHITECT  
1670 MERCER STREET, WINDSOR, ONTARIO, N8X3P7  
PHONE: 519-254-3430, FAX: 519-254-3642  
CERTIFICATE OF PRACTICE NUMBER : 3339

NAME OF PROJECT:  
PROPOSED NEW POOL HOUSE

LOCATION:  
7548 RIVERSIDE DRIVE, WINDSOR, ON.

ONTARIO 2024 BUILDING CODE DATA MATRIX PART 9 - HOUSING AND SMALL BUILDINGS										
9.00 BUILDING CODE VERSION:	0. REG. 163/24	LAST AMENDMENT:	0. REG. 447/24	IBC Reference						
9.01 PROJECT TYPE:	<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ADDITION & RENOVATION	<input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> RENOVATION	[A] 1.3.3.3.						
9.02 MAJOR OCCUPANCY CLASSIFICATION:	OCCUPANCY GROUP C	USE RESIDENTIAL		9.10.2.						
9.03 SUPERIMPOSED MAJOR OCCUPANCIES:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> N/A <input type="checkbox"/> N/A		9.10.2.3.						
9.04 BUILDING AREA (m <sup>2</sup> ):	DESCRIPTION: PROPOSED NEW POOL HOUSE	EXISTING N/A	NEW 116.69	TOTAL 116.69	[A] 1.4.1.2.					
9.05 GROSS AREA (m <sup>2</sup> ):	DESCRIPTION: PROPOSED NEW POOL HOUSE	EXISTING N/A	NEW 116.69	TOTAL 116.69	[A] 1.4.1.2.					
9.06 MEZZANINE AREA (m <sup>2</sup> ):	DESCRIPTION: N/A	EXISTING N/A	NEW N/A	TOTAL N/A	9.10.4.1.					
9.07 BUILDING HEIGHT:	STOREYS ABOVE GRADE 1	STOREYS BELOW GRADE 0			[A] 1.4.1.2. & 9.10.4.					
9.08 NUMBER OF STREETS FIREFIGHTER ACCESS:	STREETS STREETS FACING 1-STREET				9.10.20.					
9.09 SPRINKLER SYSTEM:	<input type="checkbox"/> REQUIRED PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> IN LIEU OF ROOF RATING	<input checked="" type="checkbox"/> NOT REQUIRED <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> BASEMENT <input type="checkbox"/> NONE			9.10.8.2.-4. & 3.2.4.7.(4)					
9.10 FIRE ALARM SYSTEM:	<input type="checkbox"/> REQUIRED PROPOSED: <input checked="" type="checkbox"/> SINGLE STAGE	<input checked="" type="checkbox"/> NOT REQUIRED <input type="checkbox"/> TWO STAGE <input type="checkbox"/> NONE			9.10.18.					
9.11 WATER SERVICE / SUPPLY IS ADEQUATE:	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO			9.31.3.					
9.12 CONSTRUCTION TYPE:	RESTRICTION: <input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> COMBUSTIBLE	<input checked="" type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> NON-COMBUSTIBLE			9.10.6., 3.1.5., & 3.1.4.7.					
9.13 POST DISASTER BUILDING:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				[A] 1.3.3.2. & PART 4					
9.14 OCCUPANT LOAD:	<input type="checkbox"/> m <sup>2</sup> PER PERSON FLOOR LEVEL / AREA N/A	<input checked="" type="checkbox"/> DESIGN OF BUILDING OCCUPANCY TYPE N/A	BASED ON N/A	OCCUPANT LOAD POSTED LIMIT (PERSONS) N/A	REQUIRED N/A	9.9.1.3. & TABLE 3.1.17.1.				
9.15 BARRIER FREE DESIGN:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	EXPLANATION: (PER 9.5.2.)			9.5.2. & 3.8.					
9.16 HAZARDOUS SUBSTANCES:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				9.10.1.3.					
9.17 REQUIRED FIRE RESISTANCE RATING:	HORIZONTAL ASSEMBLIES	RATING (HOURS)	SUPPORTING ASSEMBLY (H)	NONCOMBUSTIBLE IN LIEU OF RATING?		9.10.8. & 9.10.11.				
	FLOORS OVER BSMT	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A						
	FLOORS	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A						
	MEZZANINE	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A						
	ROOF	N/A	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A						
9.18 SPATIAL SEPARATION:	WALL	EBF AREA (m <sup>2</sup> )	L/D (m)	L/H or L/H	PERMITTED MAX. % of OPENINGS	PROVIDED % of OPENINGS	FRR (HOURS)	CONSTRUCTION TYPE	CLADDING TYPE	
	NORTH	27.87	10	N/A	>100%	N/A	N/A	N/A	<input type="checkbox"/> NONCOMBUSTIBLE	
	SOUTH	27.87	66.3	N/A	>100%	N/A	N/A	N/A	<input type="checkbox"/> NONCOMBUSTIBLE	
	EAST	37.16	1.6	N/A	8.9%	5.8%	N/A	N/A	<input type="checkbox"/> NONCOMBUSTIBLE	
	WEST	37.16	24.9	N/A	>100%	N/A	N/A	N/A	<input type="checkbox"/> NONCOMBUSTIBLE	
9.22 BRACING TO RESIST LATERAL LOADS DUE	5% SEISMIC SPECTRAL ACCELERATION, S <sub>s</sub> (0.2)		0.150		1-IN-50 HOURLY WIND PRESSURE (HWP)(kPa)		0.36		SB-1, TABLE 3 SB-1, TABLE 2 T A-9.23.13, 9.23.16.2., 9.27 & 9.29	
	APPLICABLE REQUIREMENTS:		DESIGN IN ACCORDANCE WITH:		AISC 360 & CSA S16		STEEL STRUCTURE DESIGNED AS AN INDEPENDENT RIGID FRAME		9.23.13.4. TO 9.23.13.7.	
	BRACING IN ACCORDANCE WITH:		N/A		N/A		N/A		PART 4 GOOD ENG. PRACTICE	
	CONSTRUCTION TYPE BY FLOOR LEVEL		LOWEST EXTERIOR FRAME WALL SUPPORTS:		N/A		N/A		N/A	
	2ND LEVEL:		N/A		N/A		N/A		N/A	
	3RD LEVEL:		N/A		N/A		N/A		N/A	
	NOTES:		N/A		N/A		N/A		N/A	



1650 SHAWNEE RD.  
TECUMSEH, ON N8N 1S5  
CELL: (519) 564-7765  
EMAIL:  
josh@kingengineeringanddesign.com

2025/06/12	MINOR VARIANCE
2025/08/22	CONSTRUCTION
2025/04/11	BUILDING PERMIT

general notes:  
1. THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ARCHITECT.  
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**A** architectural  
**D** design  
**A** associates inc. architect

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email - info@ada-architect.ca www.ada-architect.ca

project:  
PROPOSED POOL HOUSE

7548 RIVERSIDE DRIVE  
WINDSOR, ONTARIO

client:  
SCHWAB

title:  
SITE PLAN,  
BUILDING MATRIX

scale: AS SHOWN

drawn by: SA / CS

checked by: JK

date: FEBRUARY 2025

comm. no.: R-2022-006

sheet no.:

**A0.0**



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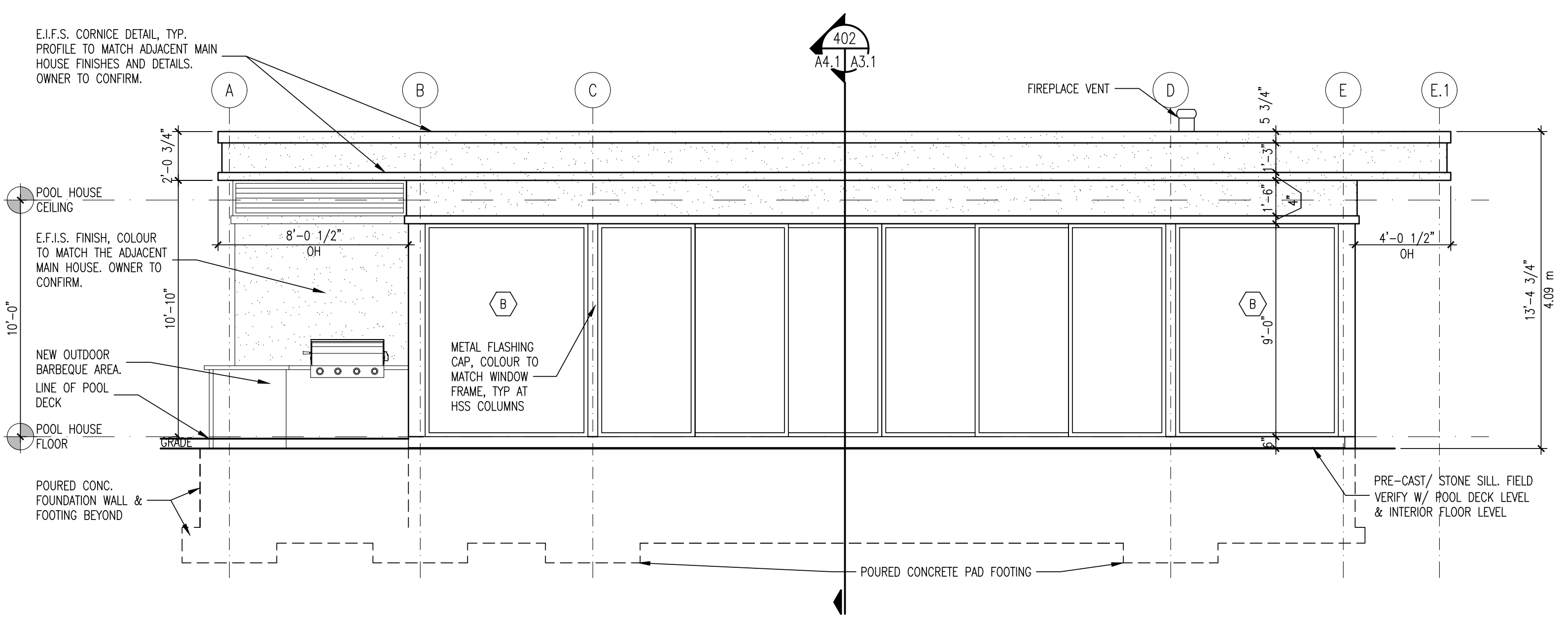
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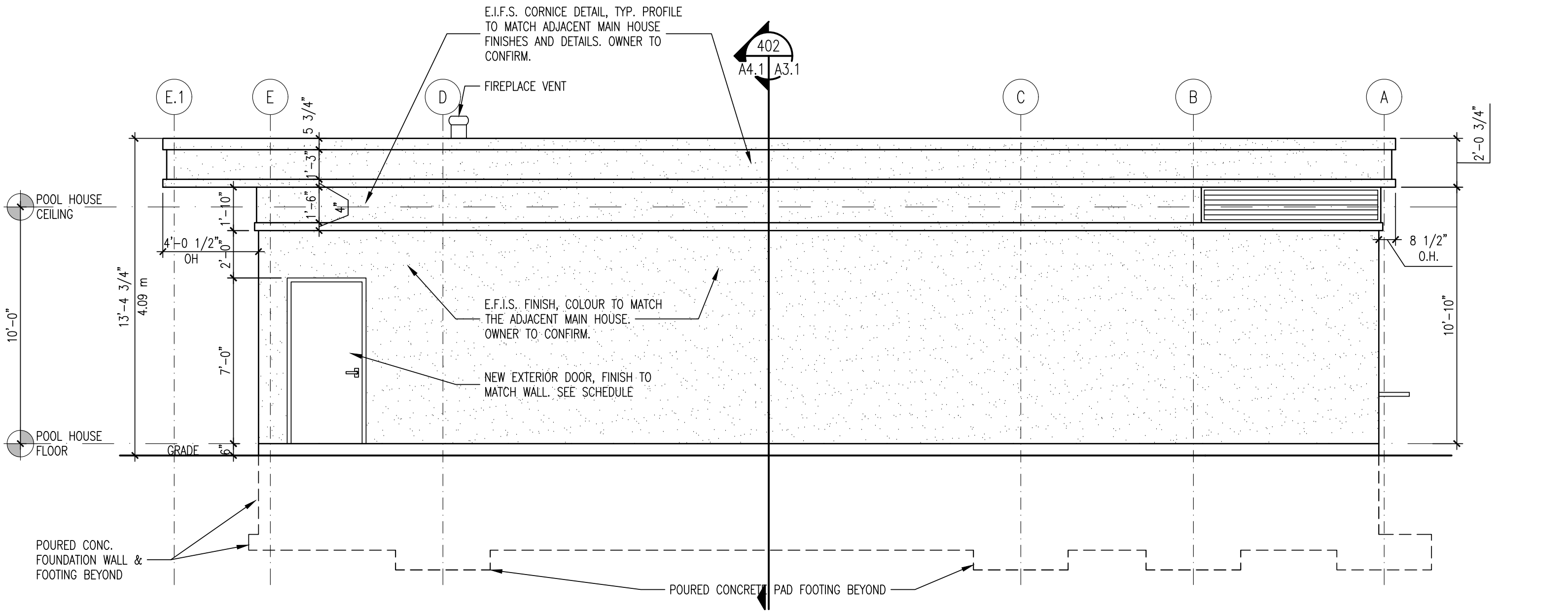
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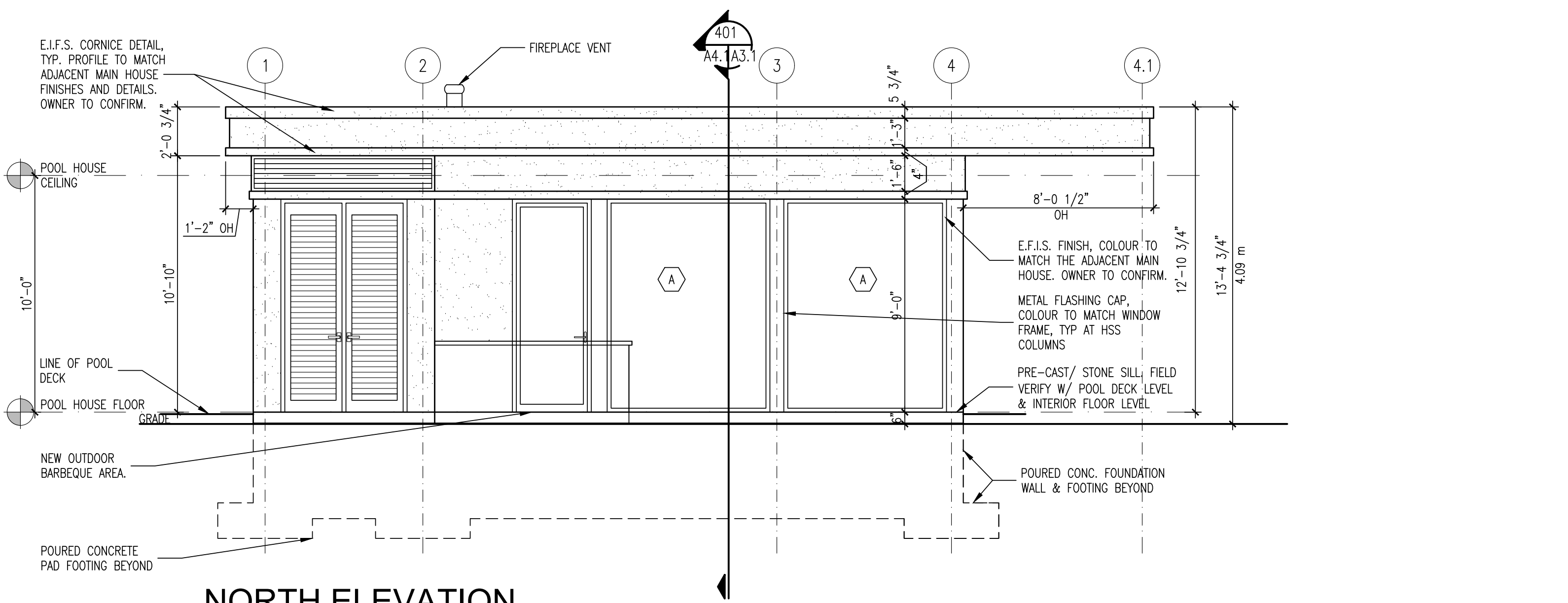
**WEST ELEVATION**

SCALE : 1/4" = 1'-0" 0 1 2 4 6 12 FEET



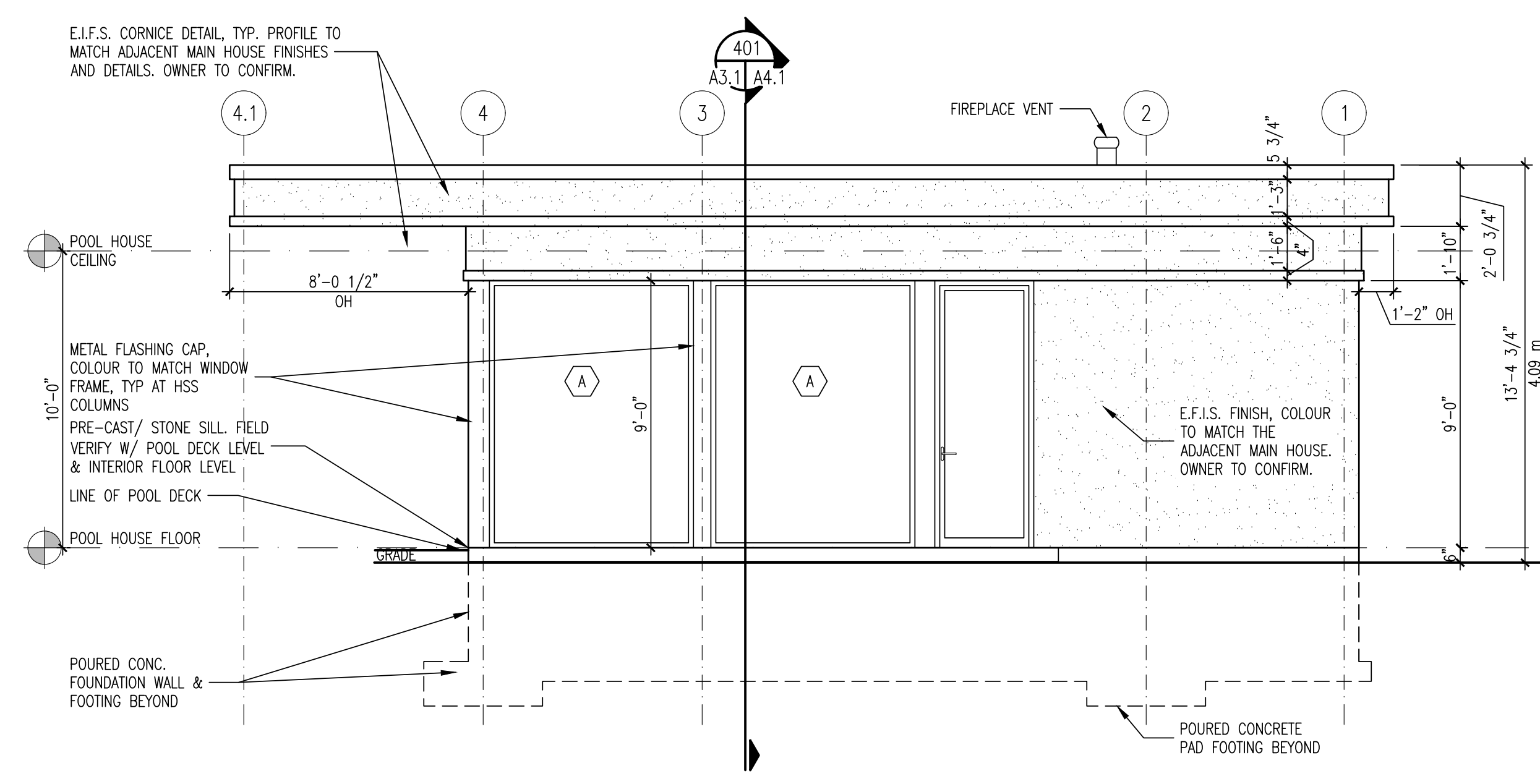
**EAST ELEVATION**

SCALE : 1/4" = 1'-0" 0 1 2 4 6 12 FEET



**NORTH ELEVATION**

SCALE : 1/4" = 1'-0" 0 1 2 4 6 12 FEET



**SOUTH ELEVATION**

SCALE : 1/4" = 1'-0" 0 1 2 4 6 12 FEET



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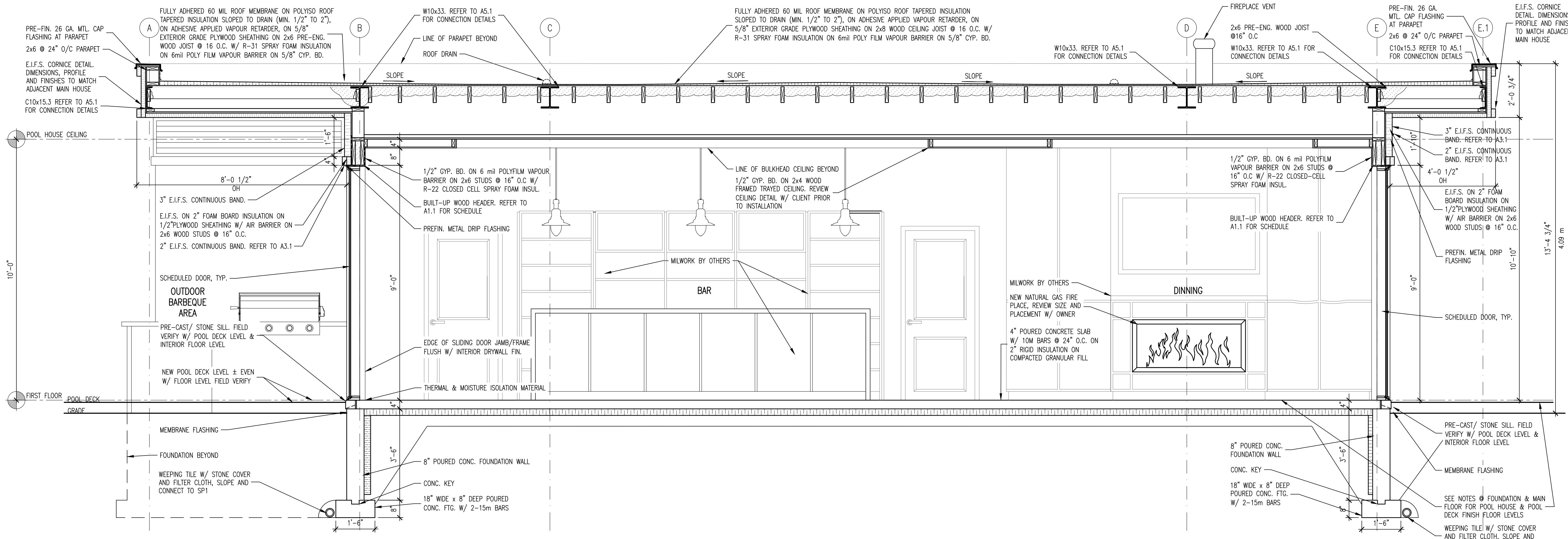
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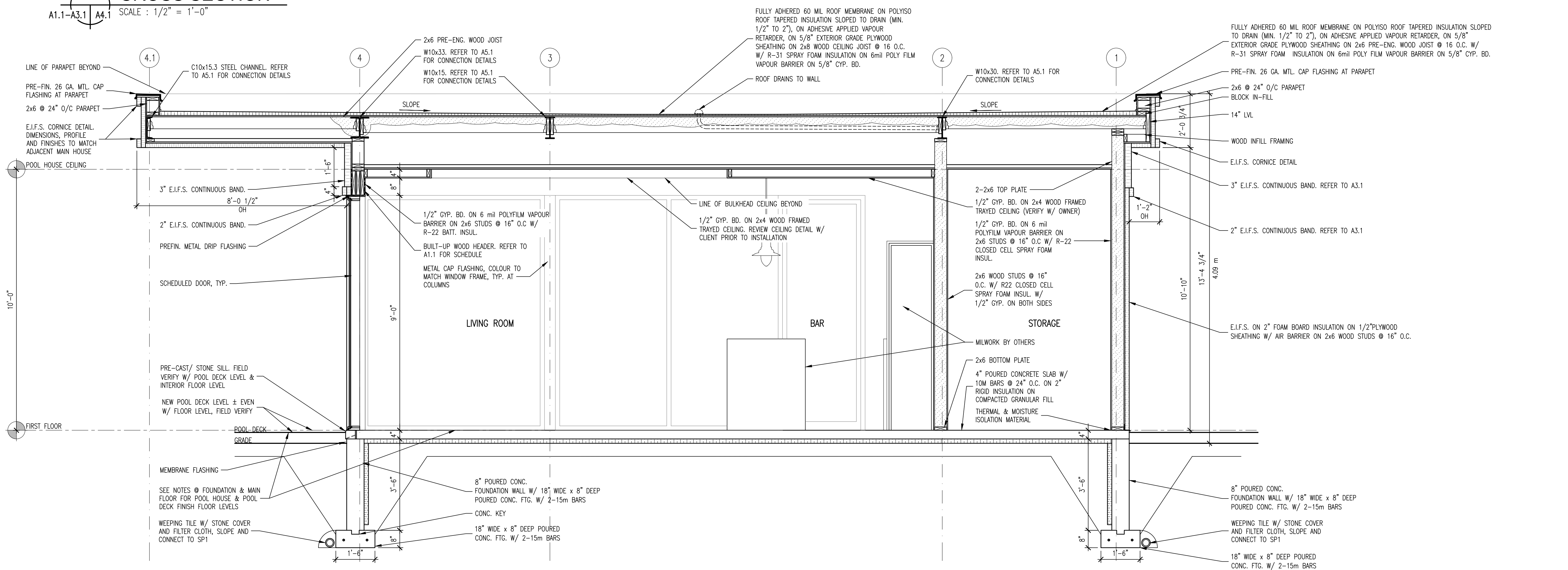
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sheet no.:

**A4.1**



**A402 CROSS SECTION**  
A1.1-A3.1 A4.1 SCALE: 1/2" = 1'-0"



**401 CROSS SECTION**  
A1.1-A3.1 A4.1 SCALE: 1/2" = 1'-0"