

Notice of Public Hearing – Committee of Adjustment Application

File # A-059/26 - 11890 RIVERSIDE DR E

Date Mailed: July 1, 2026

Electronic hearing:

By videoconference on July 16, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on July 1, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: CON 1 PT LOT 148;DP 4118 PCL 67

| | |
|----------------------------------|----------------------------------|
| OFFICIAL PLAN DESIGNATION | ZONING OF SUBJECT LAND(S) |
| Waterfront Residential | Residential RD1.6 |

| Applicant/Owner(s) | Authorized Agent(s) | Subject Property |
|--|---------------------|----------------------|
| <p>Owner Name: IYAD AL ASI</p> <p>Applicant Name: IYAD ALASI</p> | | 11890 RIVERSIDE DR E |

PURPOSE OF APPLICATION

Minor Variance - Requesting relief for reduced minimum rear yard depth and increased maximum building height.

| By-Law | Provision | Provision Description | Requirement | Proposed |
|---------------------------|------------|---|-------------|----------|
| Zoning By-law 8600 | 10.6.5.4 | Maximum Main Building Height | 10.0m | 11.8m |
| Zoning By-law 8600 | 10.6.5.6.n | Maximum Rear Yard Depth - Lot Located North of Riverside Drive East | 86.0m | 35.8m |

Type of Consent Application Transaction:

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

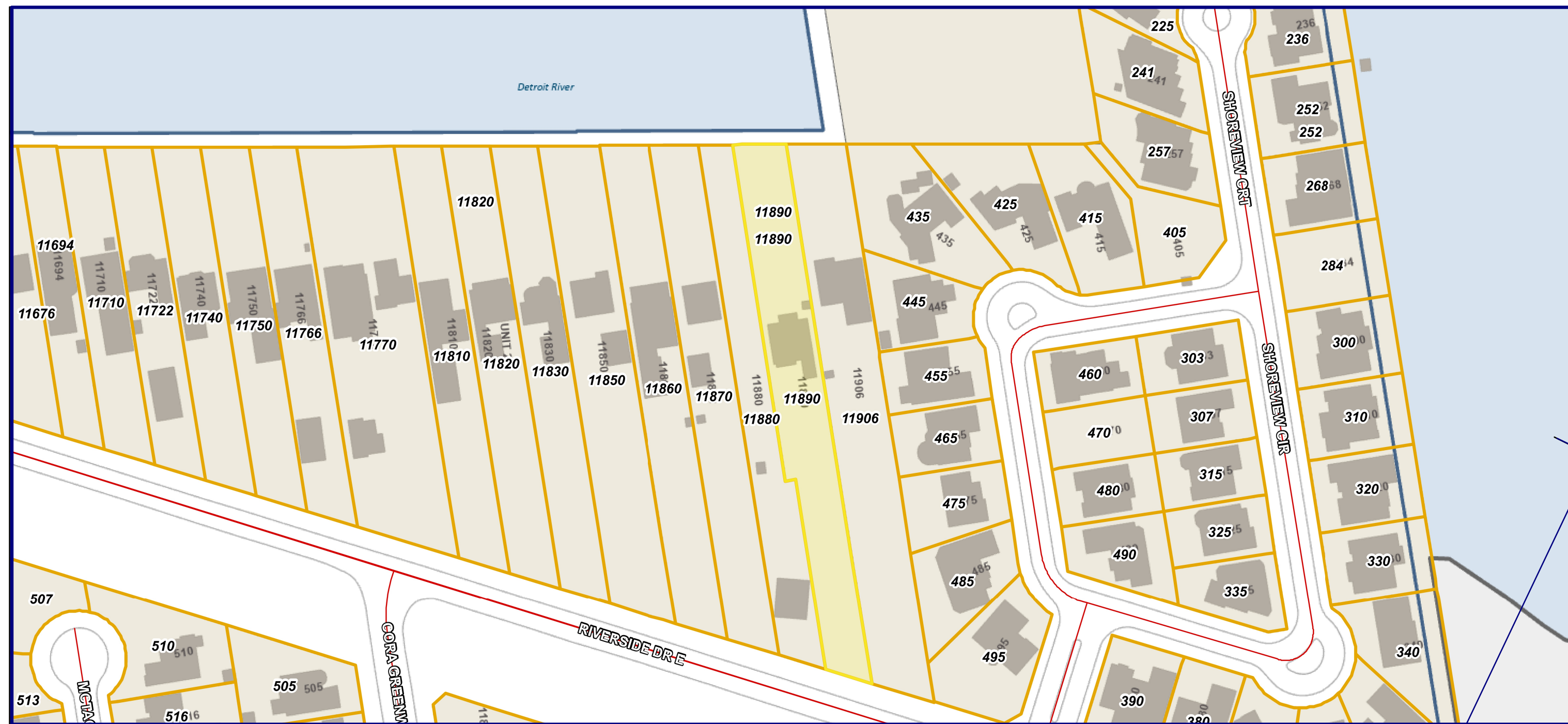
Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.

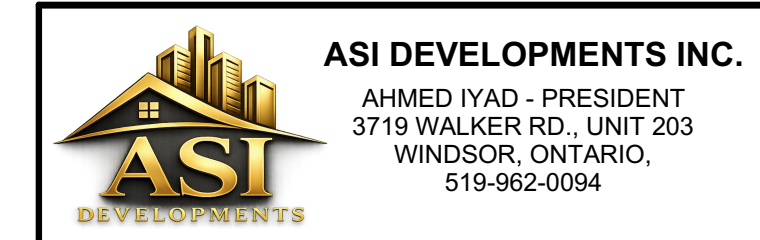
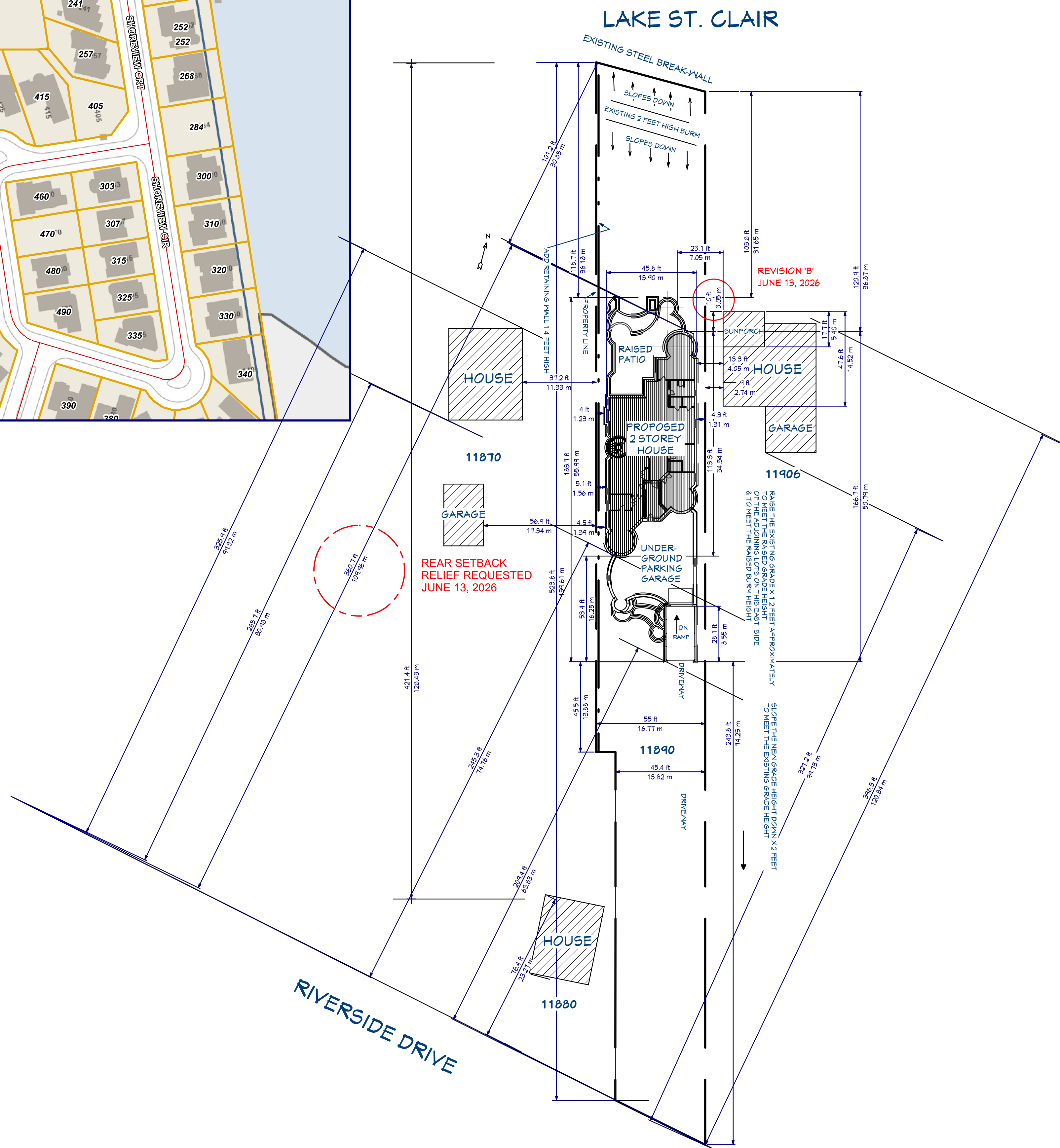


Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca



ZONING: RD1.6
 SEE LEGAL SURVEY BY VERHAEGEN
 PROPERTY: 15.2 M X 170 M = 2,675 SM
 HOUSE: 322.8 SM = 12%
 UNDERGROUND GARAGE: 152.9 SM = 5.7%
 COVERED PATIO: 13.3 SM = .5%
 BUILDING AREA: 489 SM = 18.2%
 GROSS FLOOR AREA: 931.4 SM - NO RESTRICTION
 BUILDING HEIGHT: 10 M
 PARKING: SPACE FOR 4 VEHICLES
 LOT GRADING:
 RAISE THE EXISTING GRADE X 1.2 FEET
 TO MATCH THE GRADE ON THE
 PROPERTY ON THE EAST SIDE &
 ADD A 2.0 FEET HIGH RETAINING WALL ON
 THE WEST SIDE.
 SEE LOT GRADING PLAN
 (COMPLETED BY SURVEYOR)
 THE NEW FINISHED GRADE ELEVATION LEVEL
 TO BE EQUAL TO OR GREATER THAN
 176.00M COVD28.78
 SEE ERCA LETTER OF APPROVAL
 DRIVEWAY - NO CHANGES PLANNED



| | | | |
|---|--|--------------------|----------|
| ASI DEVELOPMENTS INC. AHMED IYAD - PRESIDENT 3719 WALKER RD., UNIT 203 WINDSOR, ONTARIO, 519-962-0094 | | | |
| B | SITE PLAN SET BACK CHANGE NO CHANGES TO ARCHITECTURAL DWGS | 26/04/01 | |
| 01 | A | PERMIT APPLICATION | 26/04/01 |
| NO. LETTER | ISSUED FOR: | DATE Y/M/D | |

PROPERTY OWNER: IYAD AL-ASI
 CURRENT ADDRESS:
 117 REMO CRES.,
 LAKESHORE, ONTARIO, N0R 1A0
 TELEPHONE: 902-999-6049
 asi_metal@yahoo.com
 GENERAL CONTRACTOR: ASI DEVELOPMENTS INC.

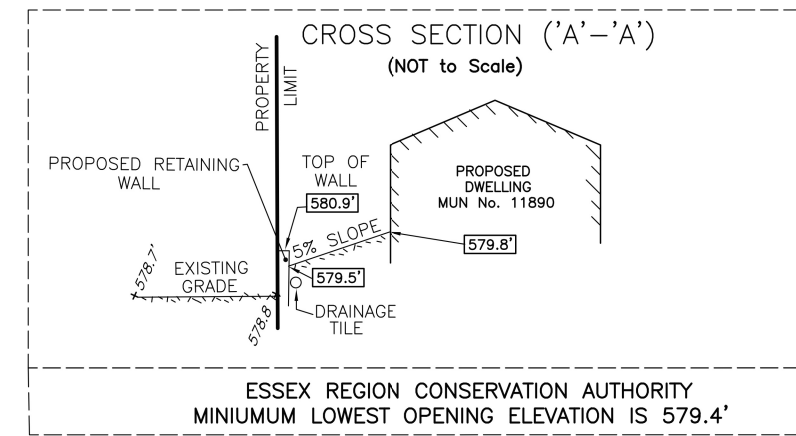
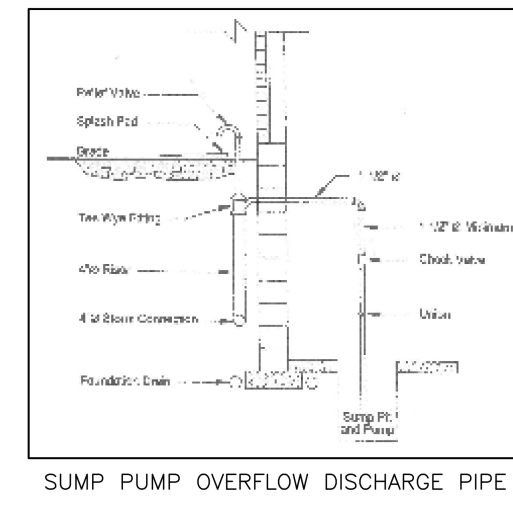
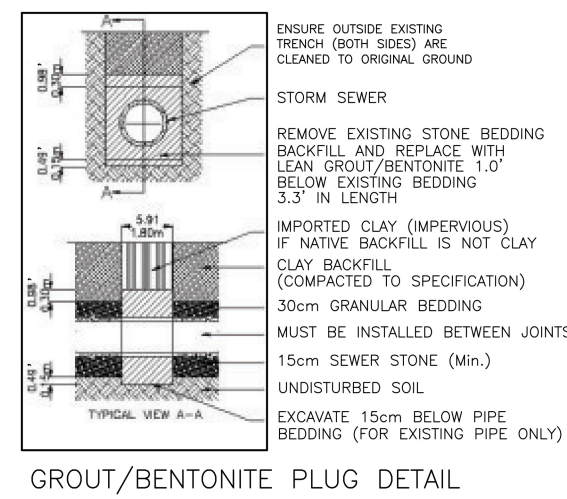
PROJECT DESCRIPTION:
 TO DEMOLISH THE EXISTING HOME & TO
 CONSTRUCT A NEW SINGLE DETACHED HOME
 <600 SM BUILDING AREA WITH AN ATTACHED
 UNDERGROUND GARAGE.

BUILDING SITE:
**11890 RIVERSIDE DRIVE E.,
 WINDSOR, ONTARIO
 N8P 1A6**

DRAWING TITLE:
SITE PLAN
 REVISED JUNE 13, 2026
 SCALE: 1/64" = 1'-0"

NOTE:
 DO NOT SCALE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CHECK &
 ENSURE THAT ALL MEASUREMENTS & DIMENSIONS & CONDITIONS ARE VERIFIED ON THE JOB
 SITE PRIOR TO QUOTING & CONSTRUCTION.
 CONSULT WITH ALL TRADES: SUBVEYOR, FOUNDATION, CARRIENTRY, HEATING & COOLING,
 PLUMBING, ELECTRICAL, WINDOWS & DOORS, ROOFING, CABINET, STAIRCASE TRADES & ANY
 OTHER APPLICABLE TRADE PRIOR TO CONSTRUCTION.
 ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE GENERAL CONTRACTOR AND
 DESIGNER PRIOR TO CONSTRUCTION.
 ALL DRAWINGS REMAIN THE PROPERTY OF THE HOME OWNER, COPYRIGHT.

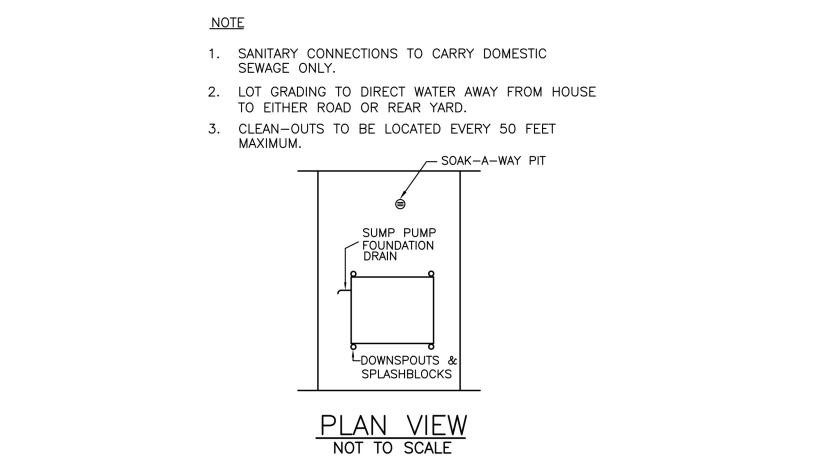
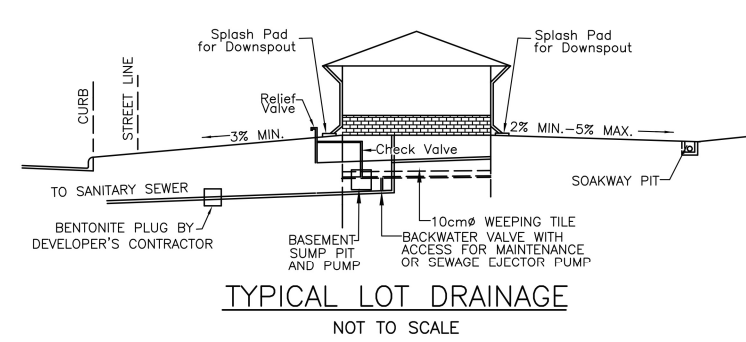
| | | |
|----------------|----------------|--|
| RELEASED DATE: | 26/04/01 | |
| REVISION # | B | |
| TARICION # | B64440 | DESIGNER: PAUL PETERSON BCIN DESIGNER FRM# 12115 BCIN 22417 HOUSE 226-544-0772 WWW.BCIN.Designer.com |
| FILE # | 525 | A. DETAIL NO. B. LOCATION SHEET C. DETAILED ON |
| | B | 23 |
| | REVISION LEVEL | SHEET NUMBER |



IN FILL GRADE PLAN
 OF
NEW PROPOSED DWELLING
RIVERSIDE DRIVE EAST
 MUN. No. 11890
 IN THE
CITY OF WINDSOR
COUNTY OF ESSEX, ONTARIO
 © VERHAEGEN LAND SURVEYORS, A DIVISION OF J.D. BARNES LTD.
 SCALE : 1"=30'

IMPERIAL DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048

CAUTION
 UNDERGROUND UTILITIES AND SERVICES SHOWN ON THIS PLAN ARE APPROXIMATE AND MUST BE VERIFIED BEFORE CONSTRUCTION



ELEVATIONS
 ○ DENOTES EXISTING ELEVATION
 □ DENOTES PROPOSED ELEVATION
 Existing Elevations have been derived on the following Date : AUGUST 17, 2021

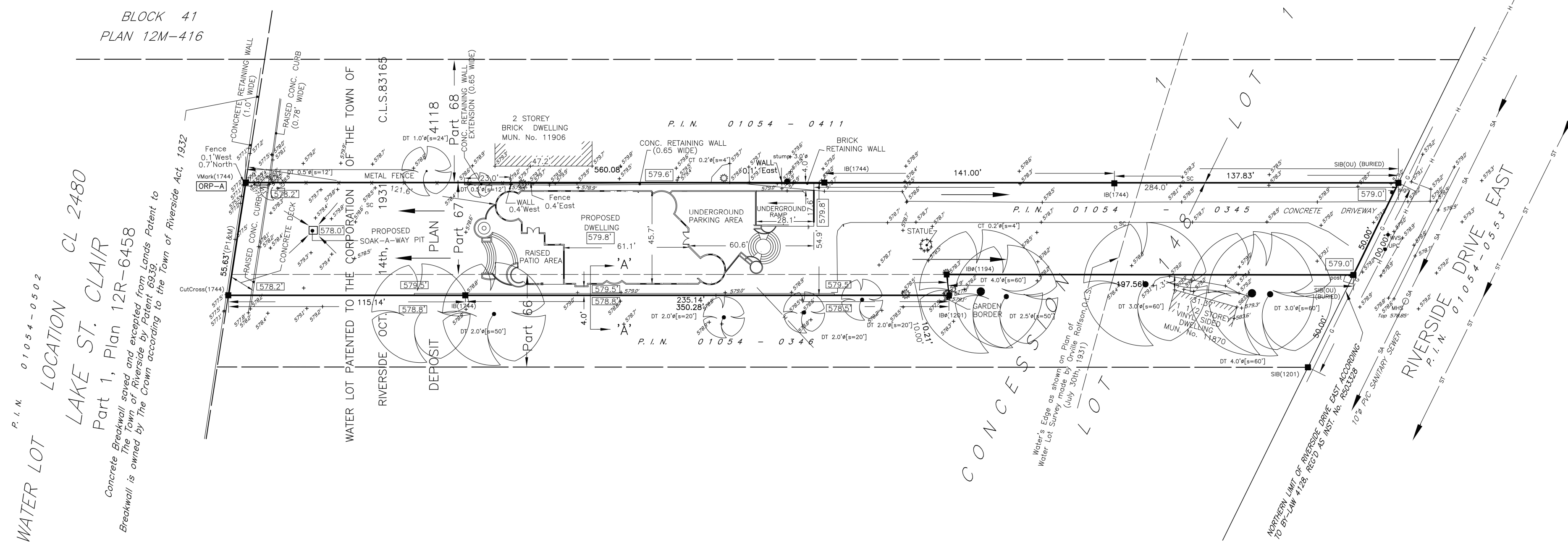
DATE: SEPTEMBER 16, 2025
 REVISED: SEPTEMBER 18, 2025
 RE: BUILDING ADJUSTMENT

SHAFIQ HABIBUR RAHMAN
 ONTARIO LAND SURVEYOR

VERHAEGEN SURVEYING
 LAND SURVEYORS
 A Division of
J. D. Barnes Limited

9440TOWNSHIP STREET, WINDSOR, ON, N8X2E1
 T: 519-255-1772 F: 519-255-1791 www.jdbarnes.com

DRAWN BY: NMG CHECKED BY: RAS REFERENCE NO: 21-47-569-00
 FILE: E-WND-1-148 CAD Date: September 18, 2025 9:32 AM
 CAD File: 21-47-569-01b.dwg

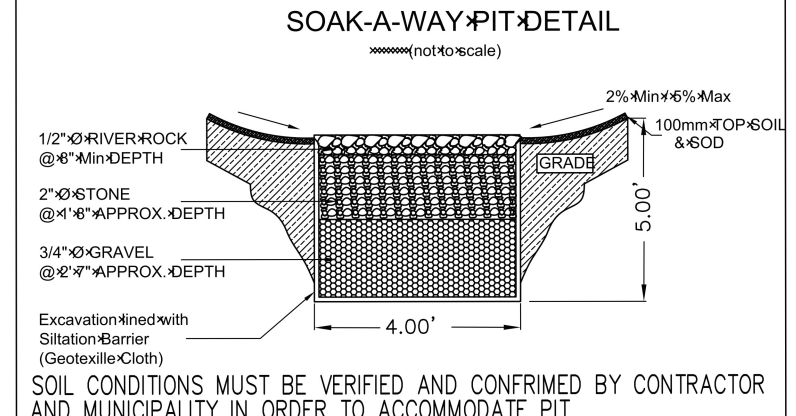


ELEVATIONS
 ELEVATIONS SHOWN ON THIS PLAN ARE IN FEET TO CANADIAN GEODETIC DATUM

BENCH MARK
 BENCH MARK 329 ELEVATION 579.37'
 CONCRETE BOX CULVERT ON RIVERSIDE DRIVE EAST, APPROXIMATELY 150' EAST OF THE FORMER RENOVIOUS TAVERN & MARINA 10224 RIVERSIDE DRIVE EAST; THE PLATE IS LOCATED ON THE SOUTH FACE OF THE SOUTH WING WALL OF THE CULVERT, 1.6' EAST OF THE WEST FACE AND 0.6' BELOW TOP

NOTE
 PER ESSEX REGION CONSERVATION AUTHORITY MINIMUM LOWEST OPENING ELEVATION IS 579.4'

AREA
 0.650 ACRES



SURVEY 11890 Riverside Drive East (1)

ASI DEVELOPMENTS INC.
 AHMED IYAD - PRESIDENT
 3719 WALKER RD., UNIT 203
 WINDSOR, ONTARIO,
 519-962-0094

| | | |
|------------|--|------------|
| B | SITE PLAN SET BACK CHANGE NO CHANGES TO ARCHITECTURAL DWGS | 26/04/01 |
| 01 | A PERMIT APPLICATION | 26/04/01 |
| NO. LETTER | ISSUED FOR: | DATE Y/M/D |

PROPERTY OWNER: IYAD AL-ASI
CURRENT ADDRESS:
 117 REMO CRES.,
 LAKESHORE, ONTARIO, N0R 1A0
TELEPHONE: 902-999-6049
 asi_metal@yahoo.com

GENERAL CONTRACTOR: ASI DEVELOPMENTS INC.

PROJECT DESCRIPTION:
 TO DEMOLISH THE EXISTING HOME & TO
 CONSTRUCT A NEW SINGLE DETACHED HOME
 <600 SM BUILDING AREA WITH AN ATTACHED
 UNDERGROUND GARAGE.

BUILDING SITE:
11890 RIVERSIDE DRIVE E.,
WINDSOR, ONTARIO
N8P 1A6

DRAWING TITLE:

LEGAL SURVEY & LOT GRADING PLAN

NOTE:
 - DO NOT SCALE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CHECK & ENSURE THAT ALL MEASUREMENTS & DIMENSIONS & CONDITIONS ARE VERIFIED ON THE JOB SITE PRIOR TO QUOTING & CONSTRUCTION.
 - CONSULT WITH ALL TRADES: SUBFOUNDER, FOUNDATION, CARPENTRY, HEATING & COOLING, PLUMBING, ELECTRICAL, WINDOWS & DOORS, ROOFING, CABINET, STAIRCASE TRADES & ANY OTHER APPLICABLE TRADE PRIOR TO CONSTRUCTION.
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 - ALL DRAWINGS REMAIN THE PROPERTY OF THE HOME OWNER, COPYRIGHT.

| | |
|----------------|---|
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| TARIION # | B64440 |
| DESIGNER: | PAUL PETERSON BCIN DESIGNER FIRM # 12115 BCIN 22417 - HOUSE 225-544-0772 WWW.BCIN.Designer.com |
| FILE # | 525 |

| | | |
|----------------|-------------------|-------------------|
| A-3 | B-2 | C-5 |
| A. DETAIL NO. | B. LOCATION SHEET | C. DETAILED SHEET |
| REVISION LEVEL | SHEET NUMBER | |

GENERAL NOTES AND CONSTRUCTION GUIDE FOR CONTRACTORS

"CODE" SHALL MEAN ONTARIO BUILDING CODE 2024 WITH ALL UPDATES AND ALL SUPPLEMENTARY GUIDELINES. GENERAL NOTES SHALL BE APPLICABLE TO THIS PROJECT AS A MINIMUM STANDARD UNLESS SPECIFIED OTHERWISE OR IMPROVED FOR GOOD BUILDING PRACTICE. THIS GUIDE IS NOT MEANT TO FORM A CODE OF MANDATORY REQUIREMENTS. THE MANDATORY LANGUAGE THAT IS USED IN THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW TAKES PRECEDENCE. THE DESIGNER DOES NOT ASSUME ANY LIABILITY FOR ANY ERRORS OR OMISSIONS RESULTING FROM THE INFORMATION CONTAINED IN THIS GUIDE. FIELD VERIFY & REPORT ANY DISCREPANCIES BEFORE CONSTRUCTION.

FIRE PROTECTION

FIRE BLOCKS AND BLOCKING: IN ADDITION TO THE FIRE CODE, ALL MATERIALS AND CONSTRUCTION INCLUDING FRAMING SHALL MEET CODE 9.10

SMOKE & CO ALARMS

SMOKE ALARMS TO BE HARD WIRED & HAVE BATTERY BACKUP & BE INTERCONNECTED W/ VISUAL SIGNALLING COMPONENT CONFORMING TO 18.5.3 LIGHT, COLOUR & PULSE CHARACTERISTICS OF NFPA72 NATIONAL FIRE ALARM AND SIGNALLING CODE. TO BE LOCATED ON EACH FLOOR W/ CO DETECTOR, HALLWAYS OUTSIDE OF BEDROOM W/ CO DETECTOR, AND ANY ROOM TO BE USED AS A BEDROOM. INTERLOCK CENTRAL VAC WITH ALARM SYSTEM 9.10.18.7

ELECTRICAL

IN ADDITION TO THE ELECTRICAL SAFETY CODE, APPROPRIATE LIGHTING AT ALL EXITS AND STAIRS. ALL MATERIALS AND WORKMANSHIP AND INSPECTIONS TO COMPLY WITH THE CODE. INSTALLATION BY LICENSED CONTRACTORS.

BATHROOM FIXTURE GRAB BARS

PROVIDE SOLID BLOCKING BEHIND TOILETTE & SHOWER/TUB FOR GRAB BARS. CODE 9.5.2.3.(1)

PLUMBING FACILITIES

IN ADDITION TO THE PLUMBING CODE PART 7, PLUMBING FACILITIES AND PLUMBING SYSTEMS AND PLUMBING FIXTURES SHALL ALSO COMPLY WITH CODE SECTION 9.31. INSTALL BY LIC CONTRACTORS TOILETTES TO BE <= 4.8L/FLUSH. SHOWER HEADS TO BE <= 7.6L/M. SUMP PUMP TO HAVE SEALED COVER PLUMBING DESIGN BY OTHERS

HEATING & COOLING

ADHERE TO THE CODE PART 6, PART 12, & SB-12 HEATING, VENTILATION AND AIR CONDITIONING - NO DUCT WORK ON OUTSIDE WALL GAS FURNACE TO BE >= 96% EFFICIENCY INSTALL HEAT RECOVERY VENTILATOR-> 75% INSTALL A/C UNIT ON STEEL ANGLE BRACKETS MOUNTED TO EXT. WALL @ 6" > GRADE OR CONC PAD HWT >=0.8, MOUNT ABOVE SLAB & STRAP TO WALL.

HVAC CONTRACTOR TO CALCULATE AND EVALUATE THE HOME VENTILATION REQUIREMENTS WITH RESPECT TO THE TOTAL FINISHED SPACE. FOR ADDITIONS, WHEN THE CURRENT SYSTEM DOES NOT MEET OBC REQUIREMENTS THEN CHANGES AND UPGRADING WILL BE REQUIRED. ALL HVAC DESIGN BY A LICENSED CONTRACTOR.

EXCAVATION

EXCAVATION PRECAUTIONS AND PRACTICES & BACKFILL ARE GOVERNED BY CODE 9.12

DAMP PROOFING, WATER PROOFING AND SOIL GAS CONTROL

HOUSES ARE TO BE BUILT RELATIVELY AIR TIGHT. SEE ALSO RADON GAS ON THIS SHEET. WHEN METHANE GAS IS PRESENT, CONSULT WITH SOIL ENGINEER. CODE 9.13

WATER FEED & DRAINAGE

1" DIA. FEED PIPE WATER SUPPLY, 2" DIA. DRAINAGE PIPE LAUNDRY, ISLAND SINK EXTRA CLEANOUT, INSTALL BACKWATER VALVE TO BOTH SANITARY & STORM CONNECTIONS. INSTALL DRAIN WATER HEAT RECOVERY UNIT PER CSA B55.2 SUB-SURFACE AND SURFACE DRAINAGE MUST COMPLY WITH CODE 9.14 GUTTER DOWNSPOUTS WHEN CONNECTED TO STORM SEWAR TO MEET MUNICIPAL STANDARD.

BUILDING SITE SURFACE DRAINAGE

THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. 2% MINIMUM SLOPE AWAY FROM EXTERIOR WALLS.

ROOF TRUSS DESIGN

ROOF TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER PROVIDE DRAWINGS TO BUILDING DEPARTMENT BEFORE CONSTRUCTION KEEP ONE SET OF ROOF TRUSS DRAWINGS ON SITE

ROOFING

FIBERGLASS & ASPHALT SHINGLES, TAR PAPER ENTIRE ROOF, STARTER STRIPS, (2) ROWS ICE & WATER SHIELD, DRIP EDGE BOTTOM AND SIDES, ROOF VENTING 1/300 OR CONTINUOUS RIDGE VENTING, METAL FLASHING IN VALLEYS AND WHERE APPROPRIATE, ALUMINUM FASCIA, PERFORATED ALUMINUM SOFFIT, PULTRUDED ALUMINUM GUTTERS & ALUMINUM DOWNSPOUTS, EXTEND KICKOUT AT BOTTOM TO 3' AWAY FROM BUILDING, CHIMNEY SADDLES IF APPLICABLE, INSTALLATION BY QUALIFIED INSTALLERS, ROOF SPACES SHALL CONFORM WITH CODE 9.19 ROOFING SHALL COMPLY WITH CODE 9.26

WOOD FRAME CONSTRUCTION

WOOD FRAME MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CODE 9.23

FRAMING SHOULD ONLY BE CONSTRUCTED UNDER THE DIRECT SUPERVISION OF AT LEAST ONE LICENSED CARPENTER IN CHARGE OF THE WORK CREW ON SITE DURING THE FRAMING & CONSTRUCTION OF FLOORS, WALLS AND ROOF ASSEMBLIES.

WALL CLADDING

CLADDING INSTALLED ON WOOD FRAMED WALLS EXPOSED TO PRECIPITATION SHOULD COMPLY WITH CODE SECTION 9.27 SUB-SECTIONS 9.27.2 TO 9.27.13.

INTERIOR WALL AND CEILING FINISHES

INTERIOR WALL AND CEILING FINISHES PROVIDE RESISTANCE FROM WATER PENETRATING INTO WALL ASSEMBLIES AND MOISTURE RELATED DETERIORATION AND THE SPREAD OF FIRE. MATERIALS AND WORKMANSHIP MUST COMPLY WITH CODE 9.29 ALL DRYWALL TO BE TAPED, MUDDERED, SANDED, PRIMED AND PAINTED.

MATERIALS, SYSTEMS, EQUIPMENT

ALL MATERIALS, SYSTEMS AND EQUIPMENT USED IN THE CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE CODE. FRAMING WOOD TO BE SPRUCE #1 OR #2 GRADE. LUMBER AND WOOD PRODUCTS MUST BEAR INDIVIDUAL IDENTIFICATION STAMPS AND HAVE A MOISTURE CONTENT LESS THAN 19%.

BUILDING PERMITS AND ENVIRONMENTAL APPROVALS

NO CONSTRUCTION OR DEMOLITION IS ALLOWED TO COMMENCE WITHOUT FIRST ACQUIRING ALL ENVIRONMENTAL APPROVALS WHERE NECESSARY AND ALL APPLICABLE BUILDING PERMITS FROM THE PROVINCIAL AND MUNICIPAL AUTHORITIES.

INSPECTIONS ARE TO TAKE PLACE AT THE PRESCRIBED MOMENTS REQUESTED BY THE LOCAL BUILDING DEPARTMENT.

NO OCCUPANCY IS ALLOWED WITHOUT FIRST ACQUIRING AN OCCUPANCY PERMIT FROM THE CHIEF BUILDING OFFICIAL FROM THE LOCAL BUILDING DEPARTMENT.



ASI DEVELOPMENTS INC.
AHMED IYAD - PRESIDENT
3719 WALKER RD., UNIT 203
WINDSOR, ONTARIO,
519-962-0094

| | | | |
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| 01 | A | PERMIT APPLICATION | 26/04/01 |
| NO. LETTER | | ISSUED FOR: | DATE Y/M/D |

PROPERTY OWNER: IYAD AL-ASI

CURRENT ADDRESS:
117 REMO CRES.,
LAKESHORE, ONTARIO, N0R 1A0

TELEPHONE: 902-999-6049
asi_metal@yahoo.com

GENERAL CONTRACTOR: ASI DEVELOPMENTS INC.

PROJECT DESCRIPTION:
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BUILDING SITE:
11890 RIVERSIDE DRIVE E.,
WINDSOR, ONTARIO
N8P 1A6

DRAWING TITLE:

KEY PLAN & CONSTRUCTION GUIDE

| | |
|--|---|
| NOTE: | |
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| FILE # | A 1 |

STAIRS, RAMPS, GUARDRAILS AND RAMPS

ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.8

STRUCTURAL REQUIREMENTS

STRUCTURAL MEMBERS AND THEIR CONNECTIONS ARE REQUIRED TO CONFORM TO PART 9 OF THE CODE FOR HOUSES. WHERE THESE SYSTEMS FALL OUTSIDE OF THE SCOPE OF PART 9 OF THE CODE, THEY ARE REQUIRED TO FALL UNDER PART 4 OF THE CODE WITH A PROFESSIONAL STRUCTURAL ENGINEER'S STAMP.

LINTELS & HEADERS

< 49" (2) 2"x6"

< 73" (2) 2"x8"

< 97" (2) 2"x10"

> 97" LVL

TRIMMERS

DOUBLE @ 100"
TRIPLE @ 200"

RATIO OF TOTAL GLASS AREA TO BE <17% REFERENCE TO INSTALLATION STANDARD

MINIMUM WINDOW STANDARDS AND RATINGS CONFORMING TO CAN/CSA STANDARDS A440 AND A440.1 AND OBC

AIR TIGHTNESS A-1 OR 0.775L/s PER SM (1.64 CFM OR 7.79 CUBIC M/HR OF SASH CRACK @ 75 PA AS PER ASTM E283

WATER TIGHTNESS B-2

WIND LOAD RESISTANCE C-3

FORCED ENTRY THROUGH WINDOWS F-10 OR F-20

THERMAL RESISTANCE HEAT TRANSFER OF 2.0 W/SM C OR AN ENERGY RATING OF 17 OPERABLE OR 27 FIXED AND BASEMENT WINDOWS WITH LOAD BEARING FRAME IS DOUBLE GLAZED WITH LOW E COATING

EGRESS WINDOW

MIN. AREA 3.8 SQ. FT. & 15" OPENABLE PORTION SEE CODE 9.7.1.3. & 9.7.1.4.

DOORS

UNLESS SPECIFIED OTHERWISE - INSULATED & SEALED STEEL ENTRY DOORS 32" X 80" MIN. DOOR CLOSURES ON GARAGE ACCESS DOORS. LOCKABLE SECURITY LATCHES.

INTERIOR DOORS 30" X 80" MIN. HOLLOW CORE APPROPRIATE HARDWARE.

MIRRORED GLASS DOORS FOR CLOSETS IF INSTALLED SHALL CONFORM WITH CAN/CGSB-82.6.

GLASS DOORS USED IN SHOWERS SHALL BE LAMINATED OR TEMPERED SAFETY GLASS & CONFORM TO CAN/CGSB-12.1.

FASTENERS

SHEATHING & SUBFLOORING - CODE 9.23.3.5
ROOF NAILING STRUCTURAL - CODE 9.23.3.4
ROOF SHINGLES - CODE 9.26.2 & 3
FRAMING - CODE 9.23.3.4
WALL FRAMING - CODE 9.23.3.4

HEAT TRANSFER, AIR LEAKAGE AND CONDENSATION CONTROL

REFERENCE TO TYPAR TYPE AIR BARRIER AND 6 MIL. POLY VAPOUR BARRIER. COMPLIANCE WITH CODE 9.25 IS MANDATORY

VENTILATION

TO PROVIDE A HEALTHY AIR QUALITY ATMOSPHERE WITHIN THE HOUSE, HOUSES ARE REQUIRED TO BE PROVIDED WITH NATURAL AND MECHANICAL VENTILATION TO BRING FRESH AIR INTO THE HOUSE AND EXHAUSTING STALE AIR OUT. VENTILATION MUST COMPLY WITH CODE 9.32

RADON GAS

INSTALL A LABELED DEPRESSURIZED SYSTEM BENEATH SLAB. TO MEET OBC SB-9

CLOTHES DRYERS & EXHAUST FANS

EXHAUST TO EXTERIOR WITH NON-COMBUSTIBLE DUCT. WHEN VENTING THRU ATTIC INSULATE PIPING TO PREVENT CONDENSATION & WITH INSULATION PROTECTION.

FLOORING

FINISHED FLOORING IS REQUIRED IN ALL RESIDENTIAL OCCUPANCIES AND MUST BE INSTALLED WITH MATERIALS AND WORKMANSHIP TO SUPPORT THE PROTECTION OF THE SUB-FLOOR FROM WATER. FINISHED FLOORING MUST FACILITATE CLEANING. FINISHED FLOORING IN BATHROOMS, KITCHENS, LAUNDRY, AND GENERAL STORAGE AREAS SHOULD CONSIST OF EITHER RESILIENT FLOORING, FELTED-SYNTHETIC-FIBRE FLOOR COVERINGS, CONCRETE, TERRAZZO, CERAMIC TILE, MASTIC OR OTHER TYPES OF FLOORING THAT WILL PROVIDE WATER RESISTANCE. FLOORING SHALL COMPLY WITH CODE 9.30

ICF CONSTRUCTION

WHEN ICF CONSTRUCTION IS USED THEN AT LEAST ONE PERSON ON THE CONTRACTORS CREW MUST HAVE A CERTIFICATION TICKET FROM THE ICF MANUFACTURER AND TO BE ON SITE FOR THE DURATION OF THE ICF CONSTRUCTION. AN INSPECTION IS REQUIRED BEFORE CONCRETE IS POURED TO VERIFY PROPER STEEL REINFORCING TO CODE 9.20.17

MASONRY VENEER MAXIMUM SPANS FOR STEEL LINTELS

EXTEND BY 6" AT EACH END

| MIN ANGLE SIZE | | | 2 3/4" BRICK | 3 1/2" BRICK | 4" STONE |
|----------------|------------|-----------|--------------|--------------|----------|
| VERT. LEG | HORIZ. LEG | THICKNESS | | | |
| 3 1/2" | 3" | 1 1/4" | 8'-5" | | |
| 3 1/2" | 3 1/2" | 1 1/4" | 8'-6" | 8'-11" | 7'-9" |
| 4" | 3 1/2" | 1 1/4" | 9'-2" | 8'-9" | 8'-2" |
| 4 7/8" | 3 1/2" | 5/16" | 11'-5" | 10'-10" | 10'-1" |
| 4 7/8" | 3 1/2" | 3/8" | 11'-11" | 11'-5" | 10'-8" |
| 4 7/8" | 3 1/2" | 1/2" | 12'-7" | 11'-9" | 10'-11" |
| 5 7/8" | 3 1/2" | 3/8" | 13'-4" | 12'-7" | 11'-8" |
| 5 7/8" | 3 1/2" | 1/2" | 14'-2" | 13'-5" | 12'-5" |
| 5 7/8" | 4" | 1/2" | 14'-4" | 13'-6" | 12'-7" |
| 7 7/8" | 4" | 3/8" | 15'-0" | 14'-1" | 13'-1" |
| 7 7/8" | 4" | 1/2" | 16'-0" | 15'-1" | 14'-0" |

MINIMUM THERMAL PERFORMANCE REQUIREMENTS. OBC SB-12 ZONE 1 PACKAGE A-2

| COMPONENT | ZONE 1 - WINDSOR < 5000 DEGREE DAYS |
|-------------------------------|-------------------------------------|
| CEILING WITH ATTIC SPACE | R-60 |
| CEILING WITHOUT ATTIC SPACE | R-31 |
| EXPOSED FLOOR | R-31 |
| WALLS ABOVE GRADE | R-19+R-5 |
| THERMAL BRIDGING PROTECTION | R-5 |
| BASEMENT OR CRAWL SPACE WALLS | R-12 + R-10 |
| EDGE OF BELOW GRADE SLAB | N/A |
| BASEMENT SLAB | R-20 |
| WINDOWS & SLIDING GLASS DOORS | 0.28 |
| SYLIGHTS | .49 |
| SPACE HEATING EQUIPMENT | 96% |
| HRV | 75% |
| DOMESTIC WATER HEATER | 0.7 |

SUMP PITS

9.14.5.2 & 9.25.3.3.(16)
TO BE DESIGNED TO RESIST REMOVAL BY CHILDREN, & PIT COVERS SHALL BE SEALED TO MAINTAIN CONTINUITY OF THE AIR BARRIER SYSTEM.

SEWAGE

WHERE MUNICIPAL SEWAGE IS NOT PROVIDED FOR CONSTRUCTION OR ALTERATION OF AN OCCUPANCY, A SEPTIC SYSTEM REVIEW MUST TAKE PLACE BY A PERSON OF QUALIFICATION AND INSTALLED ACCORDING TO ALL APPLICABLE PERMITS AND INSPECTIONS BY THE MUNICIPAL AUTHORITY.

FOOTINGS AND FOUNDATIONS

ALL FOOTINGS AND FOUNDATIONS, FLOORS ON GRADES, COLUMNS, AND CRAWL SPACES MUST COMPLY WITH CODE 9.15, 9.16, 9.17, & 9.18. CONSULT WITH SOIL ENGINEER FOR BEARING CAPACITY AND CONDITION OF SOIL. ALLOWABLE BEARING PRESSURE TO AT LEAST 75KPA

BEAM SUPPORT

PROVIDE FOR 8" MIN CONC. SUPPORT UNDER BEAMS & 3 1/2" MIN BEARING. WHERE STEEL BEAMS ARE USED THEN ALSO USE STEEL COLUMNS & PRIMED STEEL SHIMS & BOLT OR FIELD WELD. WHERE WOOD BEAMS ARE USED PROVIDE 6 MIL POLY MOISTURE PROTECTION AT BEARING.

KEY PLAN

| DRAWING LIST | |
|--------------|--|
| 01 | CONSTRUCTION NOTES & KEY PLAN |
| 02 | 3D RENDERINGS |
| 03 | CROSS SECTION FRONT ELEVATION |
| 04 | FRONT & LEFT SIDE ELEVATIONS 3D RENDERINGS |
| 05 | REAR & RIGHT SIDE ELEVATIONS 3D RENDERINGS |
| 06 | ROOF PLAN |
| 07 | MAIN FLOOR PLAN - 1/8 SCALE |
| 08 | 2ND FLOOR PLAN 1/8 SCALE |
| 09 | BASEMENT & FOUNDATION PLAN 1/8 SCALE |
| 10 | MAIN FLOOR PLAN - 3/16 SCALE |
| 11 | MAIN FLOOR COURTYARD - 3/16 SCALE |
| 12 | 2ND FLOOR PLAN - 3/16 SCALE |
| 13 | BASEMENT & FOUNDATION - 3/16 SCALE |
| 14 | UNDERGROUND GARAGE |
| 15 | DOOR SCHEDULE |
| 16 | WINDOW SCHEDULE |
| 17 | WALL SECTIONS |
| 18 | CROSS SECTION GARAGE RAMP |
| 19 | P.ENG. STRUCTURAL DETAILS |

KEY PLAN

| | |
|-------------------------|--|
| 20 | P.ENG. STRUCTURAL DETAILS |
| 21 | P.ENG. STRUCTURAL DETAILS |
| 22 | SITE PLAN |
| DESIGN BY OTHERS | |
| | ENGINEERED ROOF TRUSSES |
| | ENGINEERED FLOOR JOISTS |
| | CIRCULAR STAIRCASE & LANDINGS |
| | ELEVATOR |
| | STRUCTURAL DETAILS - P. ENGINEER CHRIS PATTERSON |
| | PLUMBING |
| | ELECTRICAL |
| | SURVEY |
| | LOT GRADING PLAN |
| | HEATING, VENTILATION, AIR CONDITIONING |
| | CABINETS |
| | FINISHED FLOORING |
| | WALL FINISHES & MILLWORK |
| | FIRE SPRINKLER SYSTEM |
| | SECURITY SYSTEM |
| | CUSTOM MILLWORK |

GENERAL CONTRACTOR'S GUIDE FOR BUILDING SITE RESPONSIBILITIES

- (1) THE GENERAL CONTRACTOR IS TO CONTACT ALL UTILITY COMPANIES: HYDRO, GAS, WATER, TELEPHONE, CABLE & ANY OTHERS PRIOR TO EXCAVATION, TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES. (ONTARIO ONE CALL: 800-400-2255 GAS, WATER, HYDRO)
- (2) THE GENERAL CONTRACTOR IS TO CONTACT THE LOCAL CONSERVATION AUTHORITY FOR ANY APPROVALS OR CONDITIONS THAT MAY BE REQUIRED PRIOR TO MUNICIPAL BUILDING PERMIT APPLICATION. FOR WINDSOR & ESSEX COUNTY CONTACT ERCA (ESSEX REGIONAL CONSERVATION AUTHORITY) 519-776-5209
- (3) THE GENERAL CONTRACTOR IS TO COORDINATE THE SEWAGE INSTALLATION & SEWER TAPS WITH THE MUNICIPAL AUTHORITY & APPROVED CONTRACTOR AND/OR APPROVED SEPTIC INSTALLER PRIOR TO EXCAVATION FOR PERMITS.
- (4) THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE LICENSED ELECTRICIAN & THE ELECTRICAL SAFETY AUTHORITY (ESA) 877-372-7233 PRIOR TO CONSTRUCTION FOR ELECTRICAL POWER SUPPLY AND PERMITS.
- (5) THE GENERAL CONTRACTOR IS TO MAINTAIN APPROVAL FROM THE MUNICIPAL AUTHORITY FOR DRIVEWAY CLEARANCE, CURB-CUTS AND/OR CULVERT INSTALLATION IF NECESSARY.
- (6) THE GENERAL CONTRACTOR IS TO ASSURE THAT ALL SUB-TRADES ARE QUALIFIED & SUPERVISED.
- (7) THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE A SAFE WORKPLACE ENVIRONMENT DURING CONSTRUCTION AND IS TO ASSURE THAT ALL SUB-TRADES AND WORKERS ARE PROTECTED WITH ADEQUATE WSIB INSURANCE.
- (8) THE GENERAL CONTRACTOR IS TO MAINTAIN SUFFICIENT LIABILITY INSURANCE COVERAGE AND IS TO ENSURE THAT ALL SUB-TRADES AND WORKERS OBEY THE OCCUPATIONAL HEALTH & SAFETY ACT AND ALL APPLICABLE LABOUR LAWS AND TO ADVISE THE LABOUR BOARD WITH NOTICE OF PROJECT COMMENCEMENT.
- (9) THE GENERAL CONTRACTOR IS TO BUILD ALL CONSTRUCTION ACCORDING TO THE ONTARIO BUILDING CODE AND IF DISCREPANCIES EXIST BETWEEN THE DESIGN AND THE BUILDING CODE THAT THE BUILDING CODE SHALL PREVAIL AND THE DESIGNER IS TO BE NOTIFIED.
- (10) THE GENERAL CONTRACTOR IS TO DETERMINE IF A SURVEY IS REQUIRED AND TO HAVE THE PROPERTY OWNER PROVIDE A SURVEY BEFORE CONSTRUCTION.
- (11) THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING DURING CONSTRUCTION TO PROVIDE A BARRIER TO THE EXCAVATION AND THE BUILDING SITE FOR SAFETY AND FOR THE CONTAINMENT OF DEBRIS.
- (12) THE GENERAL CONTRACTOR IS TO MAINTAIN DRAWING CONTROL DURING THE CONSTRUCTION TERM AND PURGE ALL AND ANY OBSOLETE DRAWINGS THAT HAVE BEEN SUPERCEDED BY REVISIONS.
- (13) THE GENERAL CONTRACTOR IS TO MAKE AVAILABLE FOR REVIEW ANY STAMPED ENGINEERED DRAWINGS SUCH AS ROOF TRUSSES AND/OR SPECIALLY DESIGNED BEAMS & DESIGNS OR DRAWINGS FALLING UNDER PART 4 OF THE BUILDING CODE ETC. PRIOR TO ERECTION.
- (14) THE GENERAL CONTRACTOR IS TO EVALUATE THE SOIL CONDITION AND REQUEST A SOIL ENGINEER'S REPORT IF THE SOIL BEARING CAPACITY IS LESS THAN ADEQUATE.
- (15) THE GENERAL CONTRACTOR IS TO PROVIDE FOR A LOT GRADING PLAN BY A SURVEYOR WHEN REQUESTED TO MEET THE APPROVAL OF THE LOCAL AUTHORITY.
- (16) THE GENERAL CONTRACTOR IS TO REQUEST AN OCCUPANCY PERMIT AFTER THE COMPLETION OF THE CONSTRUCTION PROJECT.



FRONT ELEVATION - 3D RENDERING



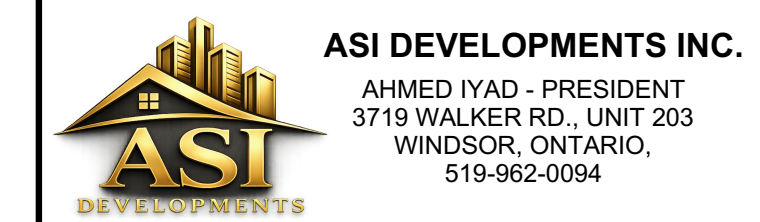
FRONT/ RIGHT SIDE ELEVATION - 3D RENDERING



REAR/ LEFT SIDE ELEVATION - 3D RENDERING



LEFT SIDE/ REAR ELEVATION - 3D RENDERING



| | | | |
|-----|--------|--------------------|---------------|
| 01 | A | PERMIT APPLICATION | 26/04/01 |
| NO. | LETTER | ISSUED FOR: | DATE Y/M/D |

PROPERTY OWNER: IYAD AL-ASI
CURRENT ADDRESS:
 117 REMO CRES.,
 LAKESHORE, ONTARIO, N0R 1A0
TELEPHONE: 902-999-6049
 asi_metal@yahoo.com

GENERAL CONTRACTOR: ASI DEVELOPMENTS INC.

PROJECT DESCRIPTION:
 TO DEMOLISH THE EXISTING HOME & TO
 CONSTRUCT A NEW SINGLE DETACHED HOME
 <600 SM BUILDING AREA WITH AN ATTACHED
 UNDERGROUND GARAGE.

BUILDING SITE:
11890 RIVERSIDE DRIVE E.,
WINDSOR, ONTARIO
N8P 1A6

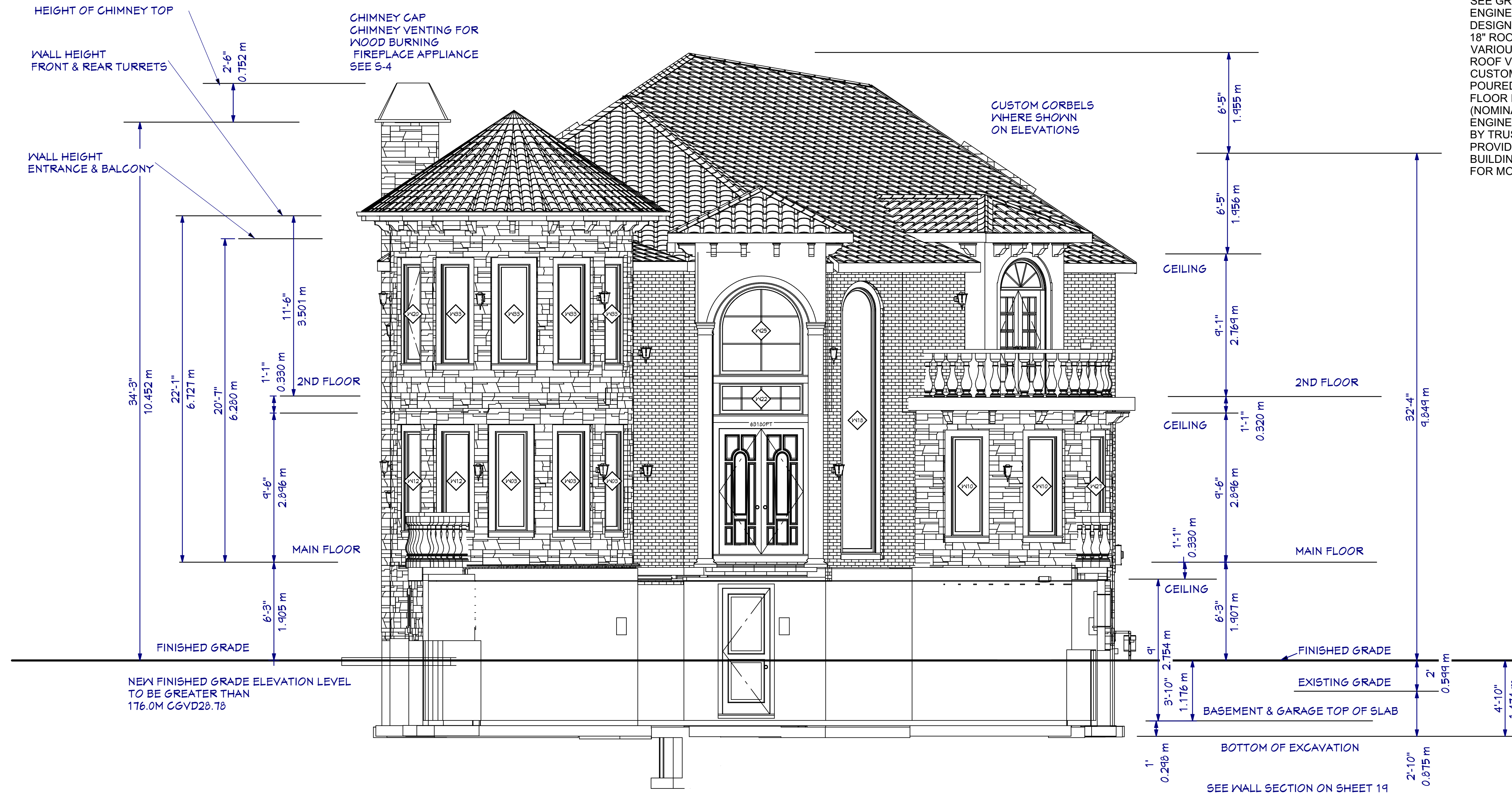
DRAWING TITLE:

3D RENDERINGS

NOTE:
 - DO NOT SCALE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CHECK &
 ENSURE THAT ALL MEASUREMENTS & DIMENSIONS & CONDITIONS ARE VERIFIED ON THE JOB
 SITE PRIOR TO QUOTING & CONSTRUCTION.
 - CONSULT WITH ALL TRADES (SUBJECTS) FOR FOUNDATION, CARPENTRY, HEATING & COOLING,
 PLUMBING, ELECTRICAL, WINDOWS & DOORS, ROOFING, CABINET, STAIRCASE TRADES & ANY
 OTHER APPLICABLE TRADE PRIOR TO CONSTRUCTION.
 - ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE GENERAL CONTRACTOR AND
 DESIGNER PRIOR TO CONSTRUCTION.
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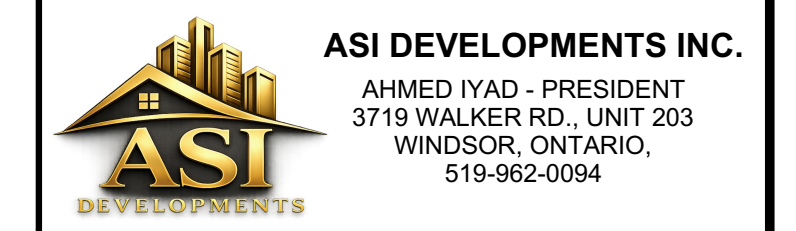
| | | |
|----------------|----------|---|
| RELEASED DATE: | 26/04/01 | |
| REVISION # | A | |
| TARICION # | B64440 | DESIGNER: PAUL PETERSON BCIN DESIGNER PERM # 12115 BCIN 22417 - HOUSE 226-54-0772 WWW.BCIN.Designer.com |
| FILE # | 525 | A. DETAIL NO. B. LOCATION SHEET C. DETAILED ON |
| | | REVISION LEVEL SHEET NUMBER A 2 |

TREATED METAL EMBOSSED OR MOLDED VINYL ROOFING SHINGLES, STUCCO EXTERIOR WALL FINISHES WHERE SHOWN ON FRONT ELEVATION ONLY, 3" STONE WHERE SHOWN, 3" BRICK WHERE SHOWN, ALUMINUM SOFFITS, FASCIA, GUTTERS, EXTEND KICK-OUTS TO 3' AWAY FROM WALLS TO OVER PLASTIC SPLASH TRAYS TO LEACH OVER SOIL, DOUBLE WALL INSULATED GARAGE ROLL-UP DOOR, SOLID HARDWOOD FRONT ENTRY DOOR ASSEMBLY, METAL FLASHING, CAULKING, APPROPRIATE LIGHTING, CONCRETE EXTERIOR RAILINGS OBC 9.8 VINYL WINDOWS & SKYLIGHTS 0.28, CONCRETE DRIVEWAY & WALKWAYS, RETAINING WALLS TO SUIT GRADE TO ABOVE ERCA HIGH WATER ELEVATION MARKERS SEE GRADING PLAN BY SURVEYOR, ENGINEERED ROOF TRUSSES - DESIGN BY TRUSS MANUFACTURER, 18" ROOF OVERHANGS, 8" RAISED HEEL, VARIOUS ROOF PITCHES - SEE ROOFING PLAN, ROOF VENTING 1/300, CUSTOM ROOF GUSSETS EXTERIOR TRIM WHERE SHOWN, POURED CONCRETE FOUNDATION WALLS, FLOOR HEIGHTS 9'-6" MAIN, 9' 2ND, 9' BASEMENT (NOMINAL SIZES) ENGINEERED FLOOR JOISTS - DESIGN BY TRUSS MANUFACTURER. PROVIDE ALL ENGINEERED DRAWINGS TO THE BUILDING DEPARTMENT BEFORE ERECTION. FOR MORE ROOFING NOTES SEE SHEET 1



S-1 CROSS SECTION THRU FRONT RAISED PATIO

SCALE: 1/4" = 1'-0"



ASI DEVELOPMENTS INC.
 AHMED IYAD - PRESIDENT
 3719 WALKER RD., UNIT 203
 WINDSOR, ONTARIO,
 519-962-0094

| | | | |
|-----|--------|--------------------|--------------|
| 01 | A | PERMIT APPLICATION | 26/04/01 |
| NO. | LETTER | ISSUED FOR: | DATE (Y/M/D) |

PROPERTY OWNER: IYAD AL-ASI
CURRENT ADDRESS:
 117 REMO CRES.,
 LAKESHORE, ONTARIO, N0R 1A0
TELEPHONE: 902-999-6049
 asi_metal@yahoo.com

GENERAL CONTRACTOR: ASI DEVELOPMENTS INC.

PROJECT DESCRIPTION:
 TO DEMOLISH THE EXISTING HOME & TO CONSTRUCT A NEW SINGLE DETACHED HOME <600 SM BUILDING AREA WITH AN ATTACHED UNDERGROUND GARAGE.

BUILDING SITE:
11890 RIVERSIDE DRIVE E.,
WINDSOR, ONTARIO
N8P 1A6

DRAWING TITLE:

CROSS SECTION FRONT ELEVATION

NOTE:
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| | | |
|----------------|-----------------------------|---|
| RELEASED DATE: | 26/04/01 | |
| REVISION # | A | |
| TARICION # | B64440 | A. DETAIL NO. B. LOCATION SHEET C. DETAILED ON |
| DESIGNER: | PAUL PETERSON BCIN DESIGNER | |
| FILE # | 525 | A 3 <small>REVISION LEVEL SHEET NUMBER</small> |



E-6 FRONT ELEVATION - FACING SOUTH

SCALE: 3/16" = 1'-0"

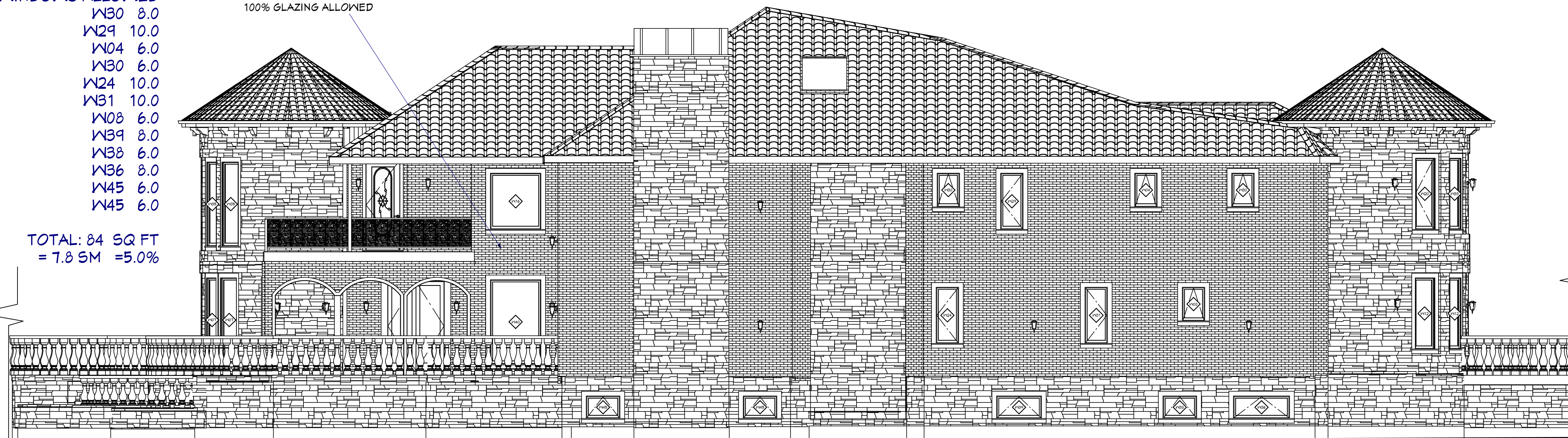
SPATIAL SEPARATION
EXPOSED WALL 155 SM
LIMITING DISTANCE - 1.53 M
7% WINDOWS ALLOWED

- W30 8.0
- W29 10.0
- W04 6.0
- W30 6.0
- W24 10.0
- W31 10.0
- W08 6.0
- W39 8.0
- W38 6.0
- W36 8.0
- W45 6.0
- W45 6.0

TOTAL: 84 SQ FT
= 7.8 SM = 5.0%

EXPOSED BUILDING FACE 16.4 SM
LIMITING DISTANCE 7M
100% GLAZING ALLOWED

EXPOSED BUILDING FACE 155 SM



E-1 LEFT SIDE ELEVATION FACING WEST

SCALE: 3/16" = 1'-0"



ASI DEVELOPMENTS INC.
AHMED IYAD - PRESIDENT
3719 WALKER RD., UNIT 203
WINDSOR, ONTARIO,
519-962-0094

| | | | |
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| 01 | A | PERMIT APPLICATION | 26/04/01 |
| NO. | LETTER | ISSUED FOR: | DATE Y/M/D |

PROPERTY OWNER: IYAD AL-ASI
CURRENT ADDRESS:
117 REMO CRES.,
LAKESHORE, ONTARIO, N0R 1A0
TELEPHONE: 902-999-6049
asi_metal@yahoo.com

GENERAL CONTRACTOR: ASI DEVELOPMENTS INC.

PROJECT DESCRIPTION:
TO DEMOLISH THE EXISTING HOME & TO
CONSTRUCT A NEW SINGLE DETACHED HOME
<600 SM BUILDING AREA WITH AN ATTACHED
UNDERGROUND GARAGE.

BUILDING SITE:
**11890 RIVERSIDE DRIVE E.,
WINDSOR, ONTARIO
N8P 1A6**

DRAWING TITLE:

**FRONT & LEFT SIDE
ELEVATIONS 2D**

NOTE:
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RELEASED DATE: 26/04/01

REVISION # A 26/04/01

TARICION # B64440

DESIGNER:
PAUL PETERSON BCIN DESIGNER
FRM # 12115
BCIN 22417 - HOUSE
226-544-0772 WWW.BCIN.Designer.com

FILE #

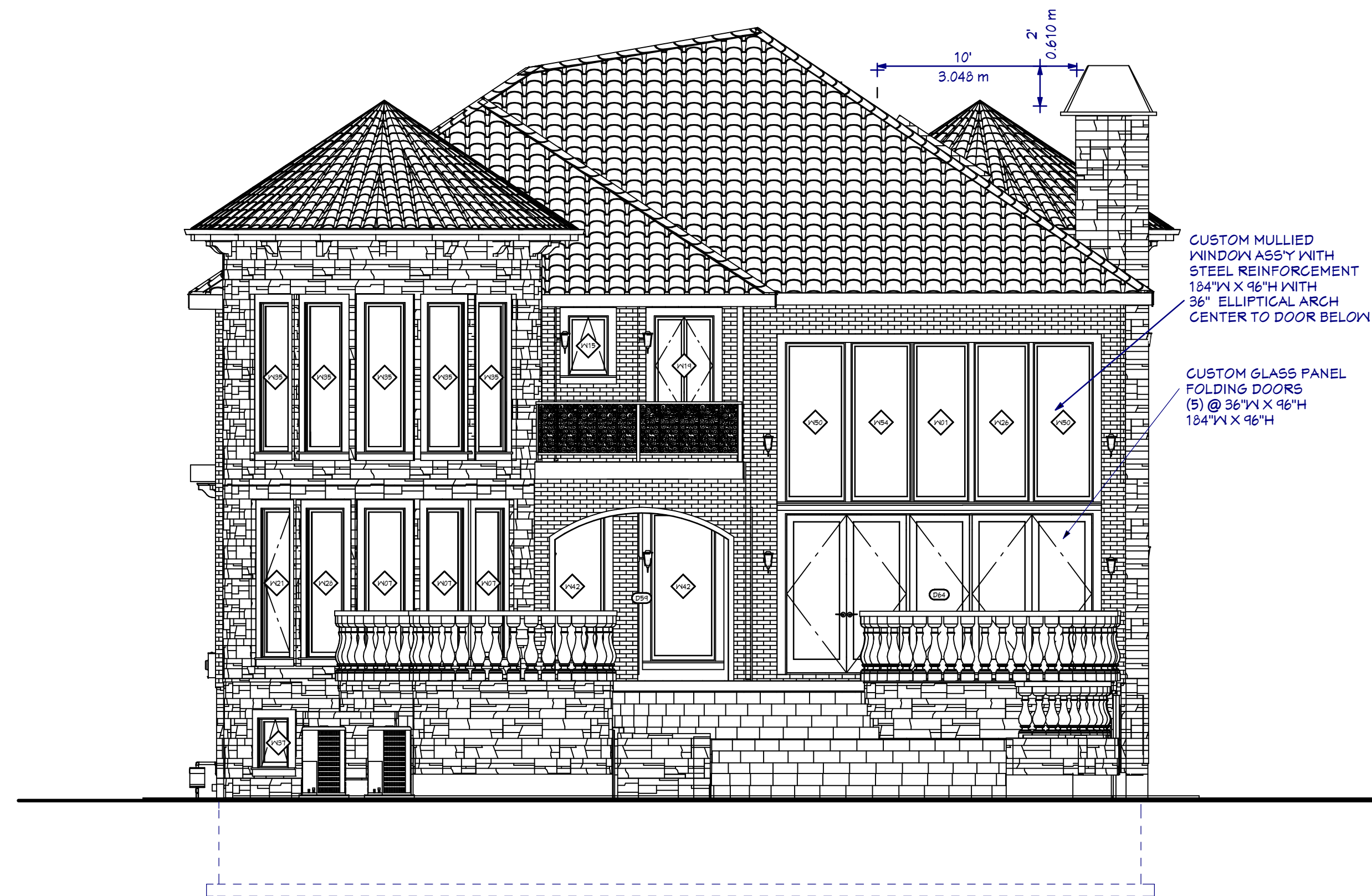
525

A-3
B-2 C-5

A. DETAIL NO.
B. LOCATION SHEET
C. DETAILED ON

A 4

REVISION LEVEL SHEET NUMBER



S-4 REAR ELEVATION - FACING LAKE ST. CLAIR

SCALE: 3/16" = 1'-0"

SPATIAL SEPARATION
EXPOSED WALL 152 SM
LIMITING DISTANCE - 1.34 M
7% WINDOWS ALLOWED

- W46 10.0
- W30 6.0
- W30 6.0
- W02 10.0
- W44 10.0
- W14 24.0
- W05 8.0
- W14 6.0
- W09 4.08
- W06 6.0
- W32 8.0
- W11 8.0
- W43 5.0

TOTAL: 97.08 SQ FT
= 9.0 SM = 6%

EXPOSED BUILDING FACE 152 SM



S-5 RIGHT SIDE ELEVATION - FACING EAST

SCALE: 3/16" = 1'-0"



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AHMED IYAD - PRESIDENT
3719 WALKER RD., UNIT 203
WINDSOR, ONTARIO,
519-962-0094

| | | | |
|-----|--------|--------------------|---------------|
| 01 | A | PERMIT APPLICATION | 26/04/01 |
| NO. | LETTER | ISSUED FOR: | DATE Y/M/D |

PROPERTY OWNER: IYAD AL-ASI
CURRENT ADDRESS:
117 REMO CRES.,
LAKESHORE, ONTARIO, N0R 1A0
TELEPHONE: 902-999-6049
asi_metal@yahoo.com

GENERAL CONTRACTOR: ASI DEVELOPMENTS INC.

PROJECT DESCRIPTION:
TO DEMOLISH THE EXISTING HOME & TO
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<600 SM BUILDING AREA WITH AN ATTACHED
UNDERGROUND GARAGE.

BUILDING SITE:
**11890 RIVERSIDE DRIVE E.,
WINDSOR, ONTARIO
N8P 1A6**

DRAWING TITLE:

**REAR & RIGHT SIDE
ELEVATIONS 2D**

NOTE:
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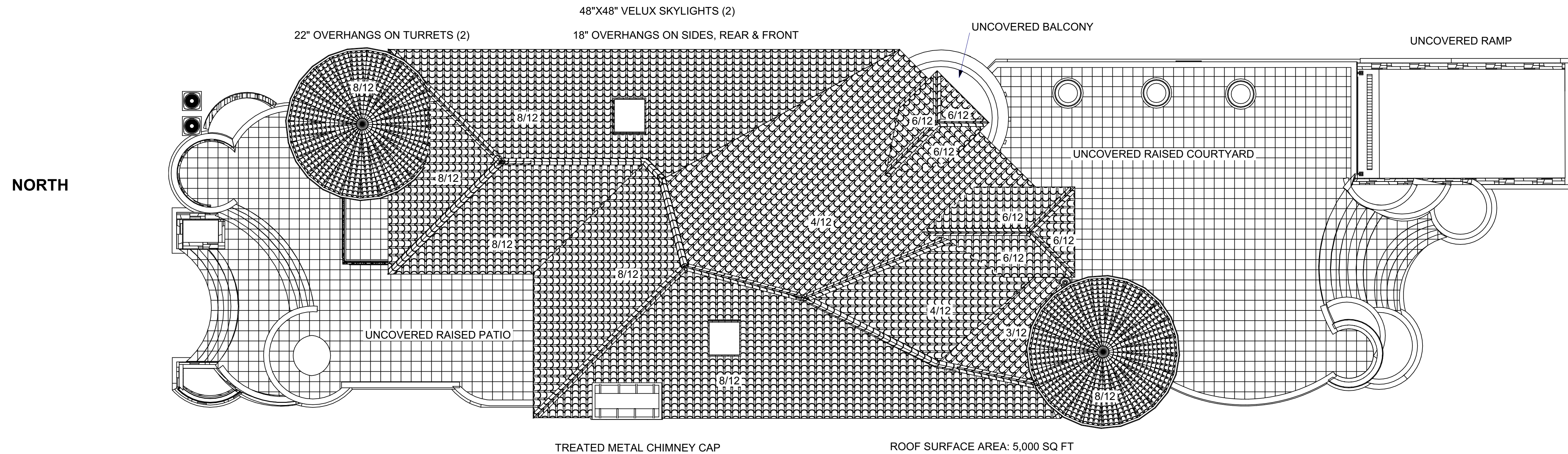
| | | |
|----------------|--|----------------|
| RELEASED DATE: | 26/04/01 | A-3 B-2 C-5 |
| REVISION # | 26/04/01 | |
| TARIION # | B64440 | |
| DESIGNER: | PAUL PETERSON BCIN DESIGNER FIRM # 12115 BCIN 22417 - HOUSE 226-544-0772 WWW.BCINDESIGNER.COM | |
| FILE # | 525 | A 5 |

A. DETAIL NO.
B. LOCATION SHEET
C. DETAILED ON

REVISION LEVEL SHEET NUMBER

ENGINEERED ROOF TRUSSES @ 24" OC,
 DESIGN BY TRUSS MFG.,
 8" RAISED HEEL, OVERHANGS AS SHOWN,
 TAR PAPER MEMBRANE TO ENTIRE SHEATHING,
 TREATED METAL ROOFING SHINGLES OR
 MOLDED VINYL ROOF SHINGLES
 TO SIMULATE CLAY TILE ROOFING,
 ROOF VENTING 1/300,
 METAL VALLEYS,
 METAL FLASHING, CAULKING,
 ALUMINUM SOFFITS, FASCIA, GUTTERS,
 EXTEND KICK-OUTS TO 3' AWAY FROM WALLS,
 MATCH TOP OF FASCIAS WHERE SHOWN,
 SEE SHEET 1 FOR MORE ROOFING NOTES

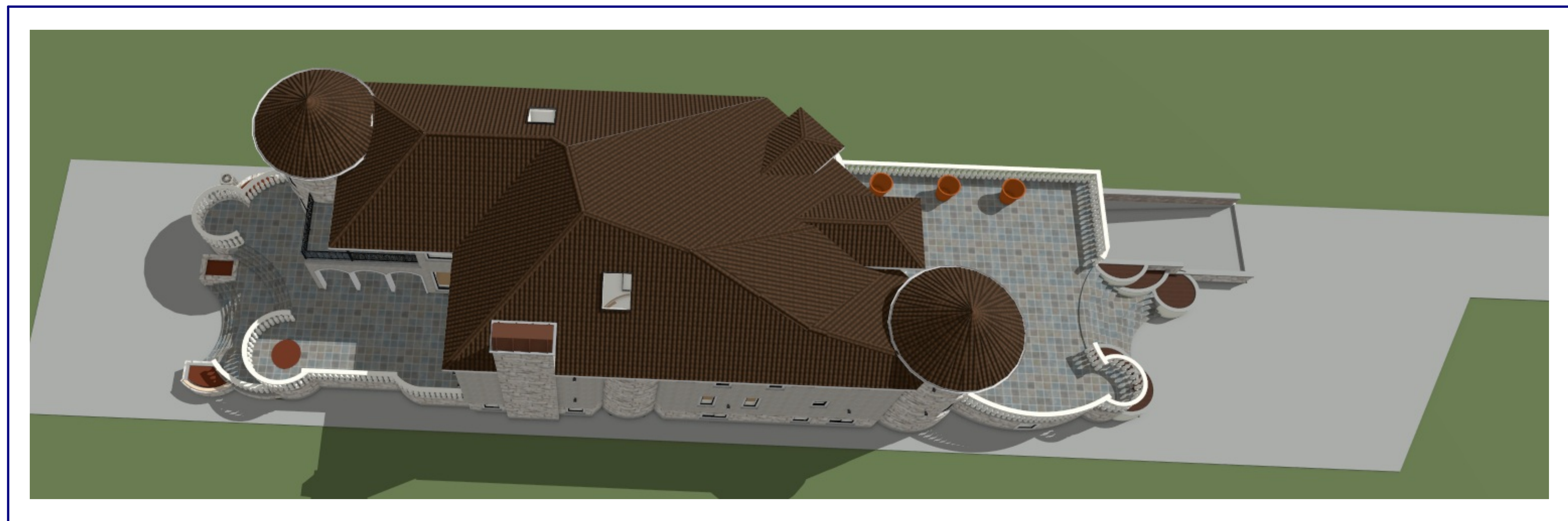
ENGINEERED ROOF TRUSSES
 DESIGN BY TRUSS MFG.



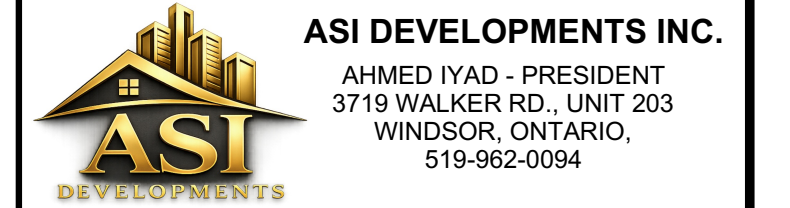
NORTH

ROOF PLAN

SCALE: 1/8" = 1'-0"



3D ROOF RENDERING



| | | | |
|-----|--------|--------------------|---------------|
| 01 | A | PERMIT APPLICATION | 26/04/01 |
| NO. | LETTER | ISSUED FOR: | DATE Y/M/D |

PROPERTY OWNER: IYAD AL-ASI
 CURRENT ADDRESS:
 117 REMO CRES.,
 LAKESHORE, ONTARIO, N0R 1A0
 TELEPHONE: 902-999-6049
 asi_metal@yahoo.com

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BUILDING SITE:
**11890 RIVERSIDE DRIVE E.,
 WINDSOR, ONTARIO
 N8P 1A6**

DRAWING TITLE:

ROOF PLAN

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| RELEASED DATE: | 26/04/01 | |
| REVISION # | A | |
| TARICION # | B64440 | DESIGNER: PAUL PETERSON BCIN DESIGNER FIRM # 12115 BCIN 22417 - HOUSE 226-544-0772 WWW.BCIN.Designer.com |
| FILE # | 525 | A. DETAIL NO. B. LOCATION SHEET C. DETAILED ON A 6 <small>REVISION LEVEL SHEET NUMBER</small> |