

Notice of Public Hearing – Committee of Adjustment Application

File # A-057/26 & B-031/26 - 1553 ARMANDA ST

Date Mailed: July 29, 2026

Electronic hearing:

By videoconference on August 13, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on July 29, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 708; LOTS 629 TO 638

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 1.1 (RD1.1)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: 1998308 ONTARIO INC Applicant Name: MOHAMMAD HANASH AVANT DESIGN LTD		1553 ARMANDA ST

PURPOSE OF APPLICATION

Consent (Severance) - Consent to create a new lot, with relief requested from the minimum required lot width and lot area for the severed and retained lots

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning Bylaw 8600	10.1.5.1	Minimum Lot Width-Severed Lot	15.0m	11.9m
Zoning Bylaw 8600	10.1.5.1	Minimum Lot Width-Retained Lot	15.0m	11.9m
Zoning Bylaw 8600	10.1.5.2	Minimum Lot Area-Severed Lot	450.0m ²	398.5m ²
Zoning Bylaw 8600	10.1.5.2	Minimum Lot Area-Retained Lot	450.0m ²	398.5m ²

Type of Consent Application Transaction: New Lot

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.

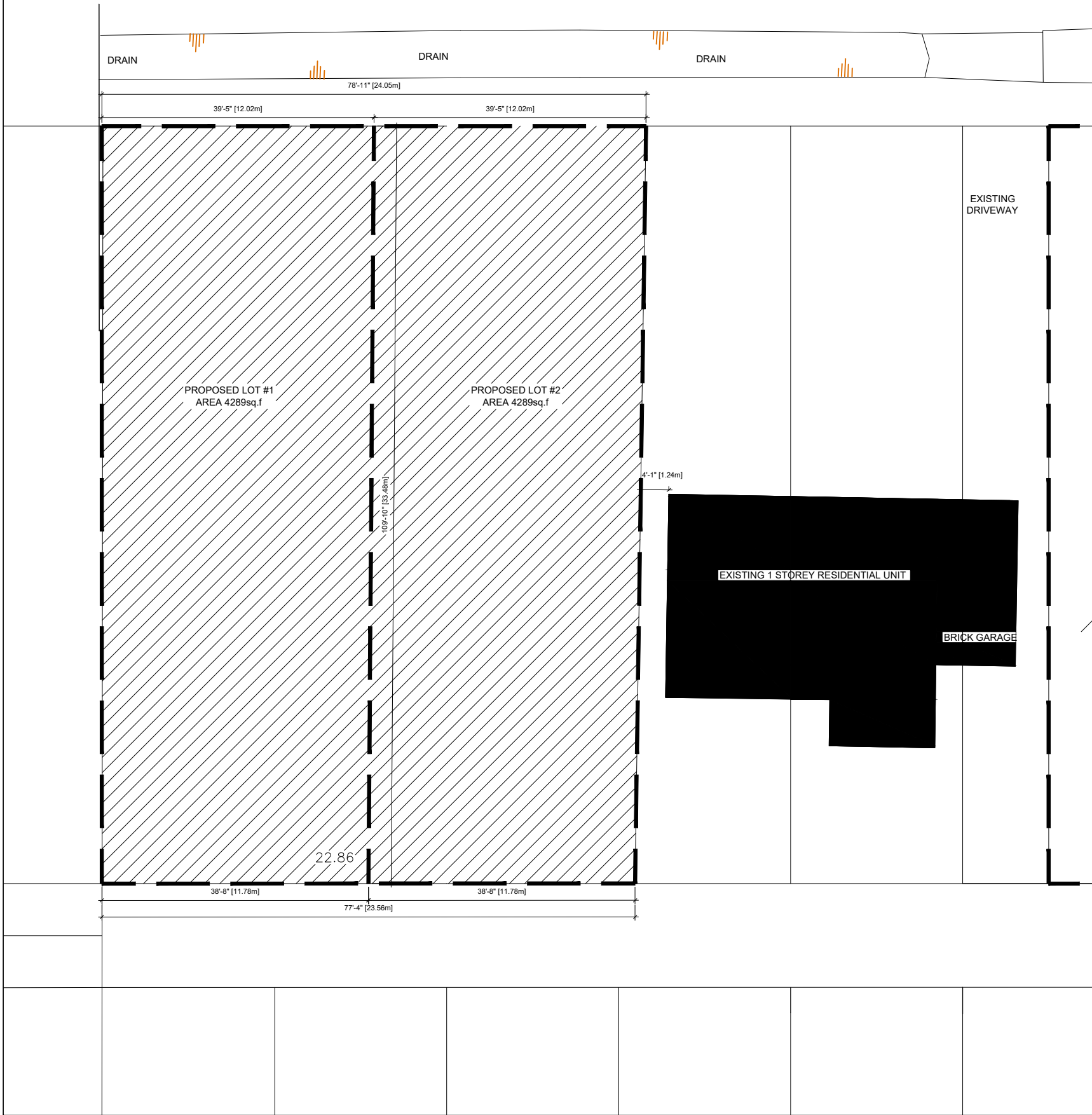


Contact Information:

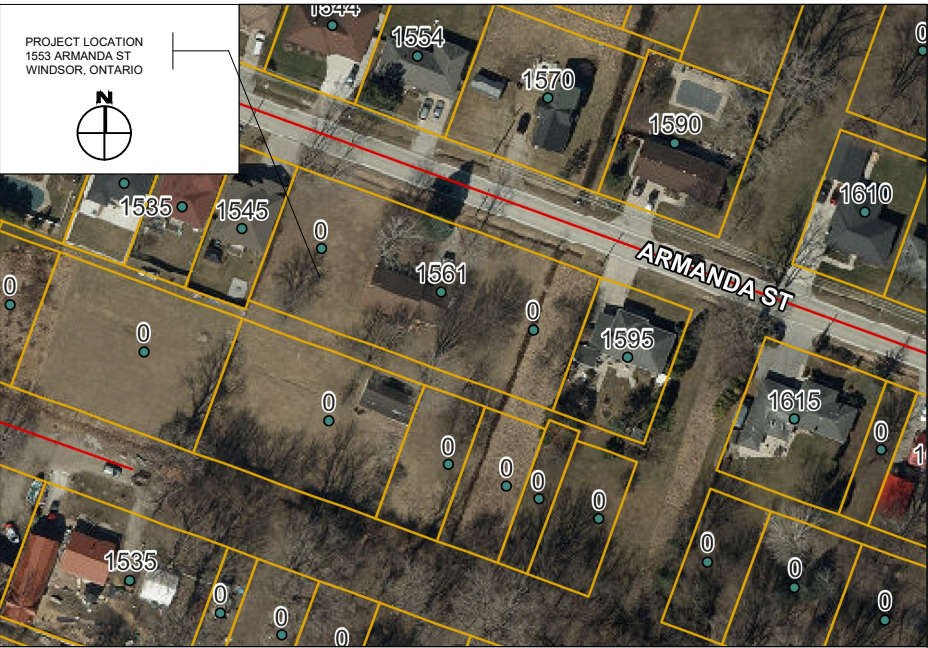
Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

ARMANDA

STREET



1 EXISTING SITE PLAN
SP-1 1/8" = 1'-0"



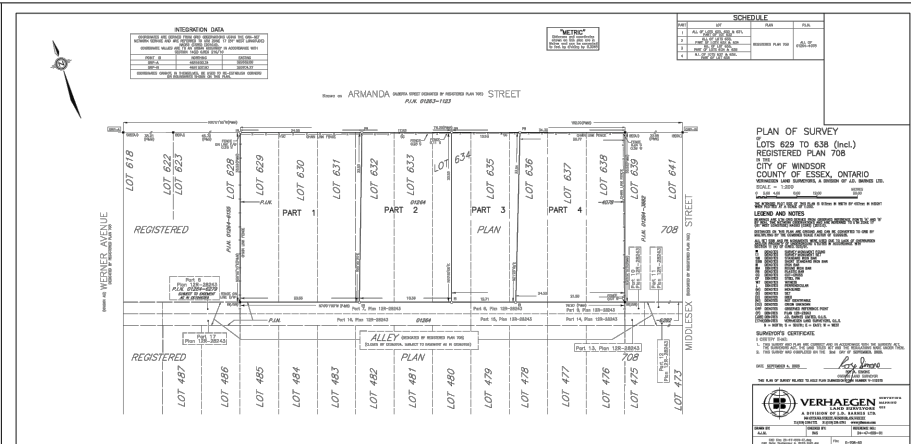
2 AERIAL VIEW
SP-1 INTS

ADDRESS : 1553 ARMANDA ST WINDSOR,
WINDSOR, ONTARIO

ZONING : CURRENT ZONING Current Zoning RD1.1 (Residential District 1.1)

PERMITTED USES
One Single Unit Dwelling

PROVISIONS	REQUIRED	PURPOSED LOT #1	PURPOSED LOT #2
Single Unit Dwelling			
Lot Width – minimum	15.00 m	12.02m	12.02m
Lot Area – minimum	450.0sq.m	398.5sq.m	398.5sq.m
Lot Coverage – maximum	45.0%	VACANT	VACANT
Main Building Height – maximum	9.0 m	VACANT	VACANT
Front Yard Depth – minimum	6.0	VACANT	VACANT
Rear Yard Depth – minimum	7.50 m	VACANT	VACANT
Side Yard Width – minimum	1.20 m	VACANT	VACANT
Gross Floor Area - main building	400sq.m	VACANT	VACANT
- maximum			





SEVERANCE SKETCH

OF
LOTS 629 TO 638 (Incl.)
REGISTERED PLAN 708
IN THE
CITY OF WINDSOR
COUNTY OF ESSEX

© VERHAEGEN LAND SURVEYORS, A DIVISION OF J.D. BARNES LTD.

SCALE = 1:200

0 2.00 4.00 8.00 12.00 20.00 METRES

"METRIC" DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048

INTEGRATION DATA

COORDINATES ARE DERIVED FROM GRID OBSERVATIONS USING THE CAN-NET
NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE)
NAD83 (CSRS) (2010.0).
COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH
SECTION 14(2) O.REG 216/10

POINT	ID	NORTHING	EASTING
ORP-A		4681600.34	329532.80
ORP-B		4681537.80	329704.77

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS
OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND AND NOTES

BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS 'A' AND 'B'
BY REAL TIME NETWORK OBSERVATIONS AND ARE REFERRED TO UTM ZONE 17
(81° WEST LONGITUDE) NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING
BY THE COMBINED SCALE FACTOR OF 0.999934

ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR
PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH
SECTION 11(4) OF O.REG. 525/91.

ALL MONUMENTS SHOWN THUSLY □ ARE IRON BARS (IB) UNLESS OTHERWISE NOTED.

SSIB DENOTES STANDARD IRON BAR
SIB DENOTES SHORT STANDARD IRON BAR
IB □ DENOTES IRON BAR
IB ○ DENOTES ROUND IRON BAR
CC DENOTES CUT-CROSS
CP DENOTES CONCRETE PIN
PB DENOTES PLASTIC BAR
■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT SET AND MARKED JDB
WIT. DENOTES WITNESS I DENOTES PERPENDICULAR
(S) DENOTES SET (M) DENOTES MEASURED (D) DENOTES INST. No.
ORP DENOTES OBSERVED REFERENCE POINT
(NI) DENOTES NOT IDENTIFIABLE (OU) DENOTES ORIGIN UNKNOWN
(PROP) DENOTES PROPORTION (CALC) DENOTES CALCULATED
(P) DENOTES PLAN 12R-28243
(1744) DENOTES VERHAEGEN SURVEYORS INC., O.L.S.
(JDB) DENOTES J.D. BARNES LIMITED, O.L.S.
N = NORTH; S = SOUTH; E = EAST; W = WEST

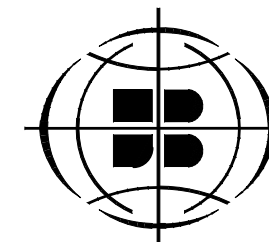
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THIS SURVEY WAS COMPLETED ON THE 16th DAY OF JANUARY, 2025

DATE FEBRUARY 04, 2025

ROY A. SIMONE
ONTARIO LAND SURVEYOR



VERHAEGEN
LAND SURVEYORS

SURVEYING
MAPPING
GIS

A DIVISION OF J.D. BARNES LTD.

944 OTTAWA STREET, WINDSOR, ON, N8X 2E1

T: (519) 258-1772 F: (519) 258-1791 www.jdbarnes.com

DRAWN BY:
BJ

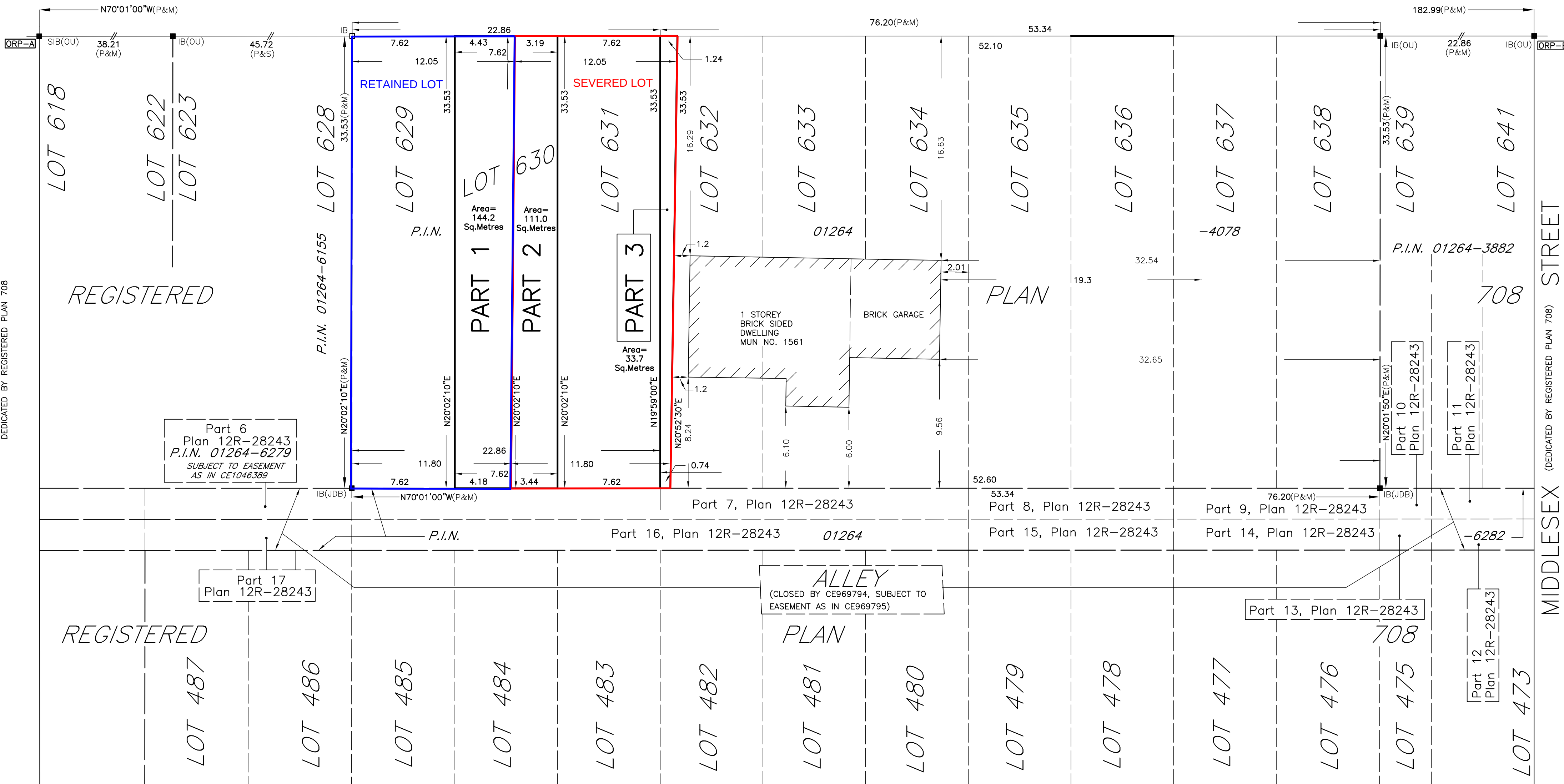
CHECKED BY:
KH/RAS

REFERENCE NO.:
24-47-659-00A

CAD File: 24-47-659-00C.dwg
CAD Date: April 3, 2025 12:05 PM

File: E-708-63

Known as ARMANDA (ALBERTA STREET DEDICATED BY REGISTERED PLAN 708) STREET
P.I.N. 01263-1123



(KNOWN AS) WERNER AVENUE
DEDICATED BY REGISTERED PLAN 708

MIDDLESEX STREET (DEDICATED BY REGISTERED PLAN 708)