

Notice of Public Hearing – Committee of Adjustment Application

File # A-049/26 - 2578 LAUZON RD

Date Mailed: July 1, 2026

Electronic hearing:

By videoconference on July 16, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on July 1, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: CON 2 PT LOT 128;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 2.4 (RD2.4)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p>Owner Name: MANJEET JAPRA</p> <p>Applicant Name: 10511625 Canada Corp</p>		2578 LAUZON RD

PURPOSE OF APPLICATION

Minor Variance - Proposed semi-detached dwelling requesting increased maximum gross floor area for a main building.

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	11.4.5.10	Maximum Gross Floor Area - Main Building	400m2	464m2

Type of Consent Application Transaction: N/A

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

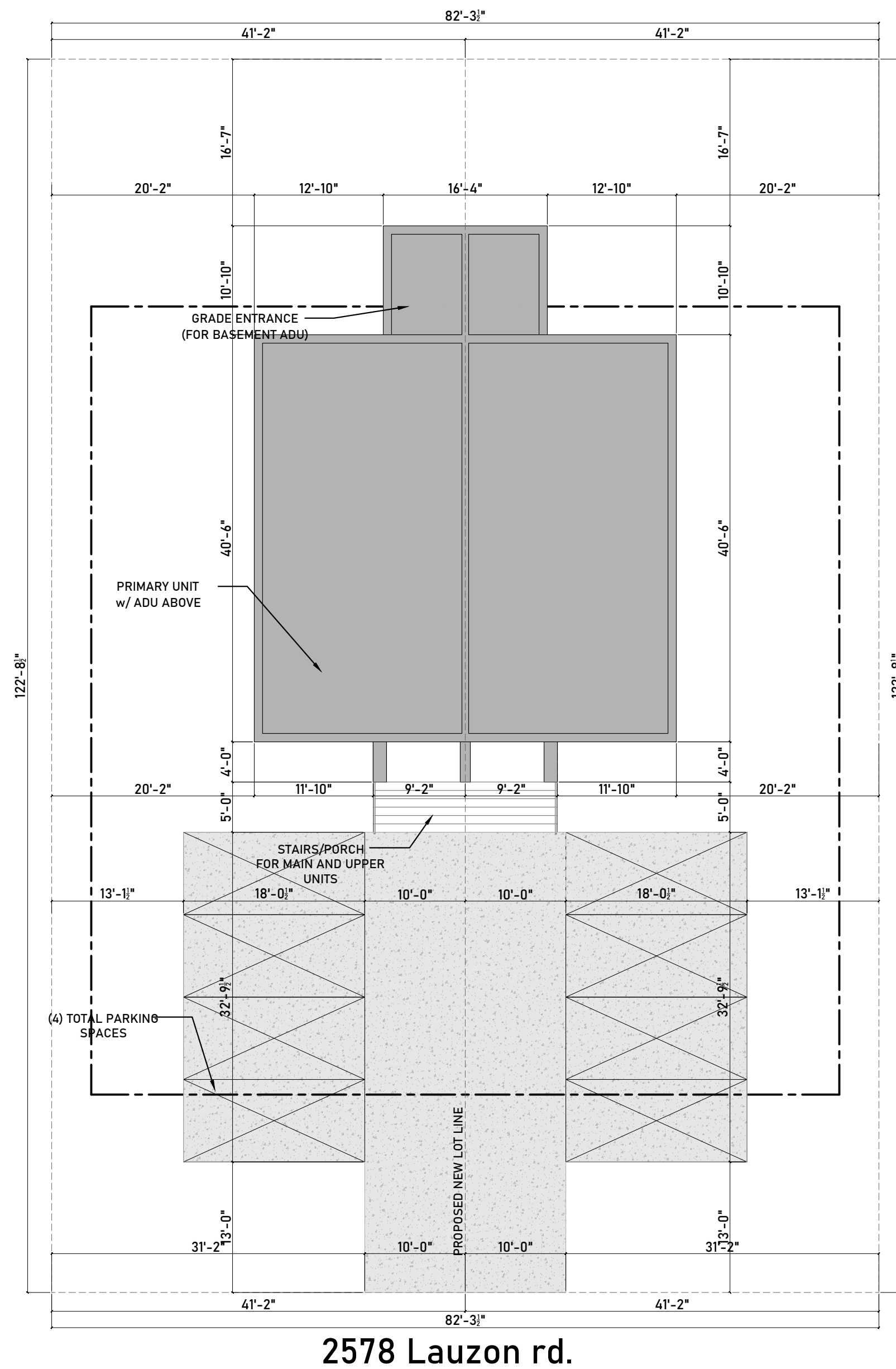
Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:
Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

- GENERAL NOTES:**
- ALL CONSTRUCTION TO BE DONE AS PER ONTARIO BUILDING CODE (O.B.C.) AND AS PER ANY LOCAL BY-LAWS
 - "GENERAL CONTRACTOR" (G.C.) TO BE INTERCHANGEABLE w/ "OWNER" THROUGHOUT THESE DOCUMENTS
 - WINDOW AND DOOR SIZES ARE FOR REFERENCE ONLY. G.C. TO CONFIRM ALL SIZES w/ MANUF. OR SUPPLIER AND NOTIFY THIS DESIGNER OF ANY SIGNIFICANT CHANGES
 - G.C. TO SUBMIT ENGINEERED TRUSS AND FLOOR JOIST DATA DESIGN SHEETS WHEN APPLICABLE
 - A MIN. 2% GRADING TO BE MAINTAINED AROUND THE STRUCTURE
 - ELECTRICAL BY OTHERS (as per O.B.C.)
 - MECHANICAL AND HVAC BY OTHERS (as per O.B.C.)
 - PLUMBING BY OTHERS (as per O.B.C.)
 - DO NOT SCALE THESE DRAWINGS
 - G.C. TO CONFIRM "ERCA" REQUIREMENTS AND SITE CONDITIONS PRIOR TO CONSTRUCTION
 - THIS DESIGNER IS NOT RESPONSIBLE FOR LOCATING THE STRUCTURE ON THE SITE. AN ONTARIO LAND SURVEYOR IS RECOMMENDED TO LOCATE THE STRUCTURE, SET THE GRADE, AND TO PRODUCE LOT GRADING PLANS
 - IF ANY CHANGES OR MODIFICATIONS ARE MADE ON SITE WITHOUT NOTIFYING THIS DESIGNER THEN THIS DESIGNER TAKES NO RESPONSIBILITY FOR CHANGES AND OR ERRORS MADE DURING CONSTRUCTION
 - G.C. RESPONSIBLE FOR REVIEWING AND APPROVING ENGINEERED ROOF AND FLOOR TRUSS DESIGNS PRIOR TO MANUFACTURING AND MUST RELAY ANY RELEVANT INFORMATION TO THIS DESIGNER
 - THESE DRAWINGS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS. G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS: INFO, ENG. STAMPS FOR CONC. REINF. PORCHES OR POINT LOADING DIAGRAMS, LINTEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES
 - EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION. G.C. MAY USE APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MINIMUM CODE. DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING SYSTEMS
 - EXTERIOR FINISHES, WINDOWS, DOORS SIZES AND STYLES, KITCHEN LAYOUTS, BATH LAYOUTS, AND BASEMENT DESIGNS ARE THIS DESIGNER'S RENDERING OF WHAT THE HOUSE CAN INCLUDE. GENERAL CONTRACTORS CONTACT SHALL SUPERCEDE IN ALL ABOVE MENTIONED CATEGORIES AS LONG AS THEY MEET O.B.C. G.C. TO INFORM DESIGNER OF ANY DIFFERENCES TO THIS PLAN.
 - G.C. TO NOTIFY THIS DESIGNER OF ANY DISCREPANCIES BETWEEN THIS DESIGN AND O.B.C. OR OF ANY CHANGES TO BE MADE TO THESE PLANS WITHIN 72 HOURS OR THIS DESIGNER TAKES NO RESPONSIBILITY FOR THE CHANGES OR DISCREPANCIES
 - INSULATION VALUES AND LOCATIONS MAY VARY FROM WHAT IS NOTED. ONLY INSULATION LOCATIONS REQUIRED BY O.B.C. ARE MANDATORY ALL OTHERS ARE INFERRED TO BE OPTIONAL. IF SB-12 PERFORMANCE PACKAGE IS USED THEN THOSE VALUES SHALL SUPERCEDE NOTED VALUES.
 - IF CERTAIN ITEMS NOTED ON THESE PLANS DIFFER FROM G.C.'S CONTRACT WITH CLIENT THEN THE CONTRACT SHALL TAKE PRECEDENT AS LONG AS THE CONTRACTS NOTED DIFFERENCE MEETS O.B.C.



2578 Lauzon rd.

1 PROPERTY PLAN
A00.1 3/32" = 1'

ADDRESS: 2578 Lauzon Rd. Windsor, ON
ZONE: RD 2.4
SITE AREA: 10098 sf

COVERAGE ALLOWANCE: 45% (4544) sf
PROPOSED COVERAGE: 18.4% (1854) sf
SETBACKS: as shown
AREA (each side):
GROUND FLOOR: 857 sf
SECOND FLOOR: 857 sf
BASEMENT: 850 sf
FRONT PORCH: 37 sf
GRADE ENTRANCE ROOF: 33 sf

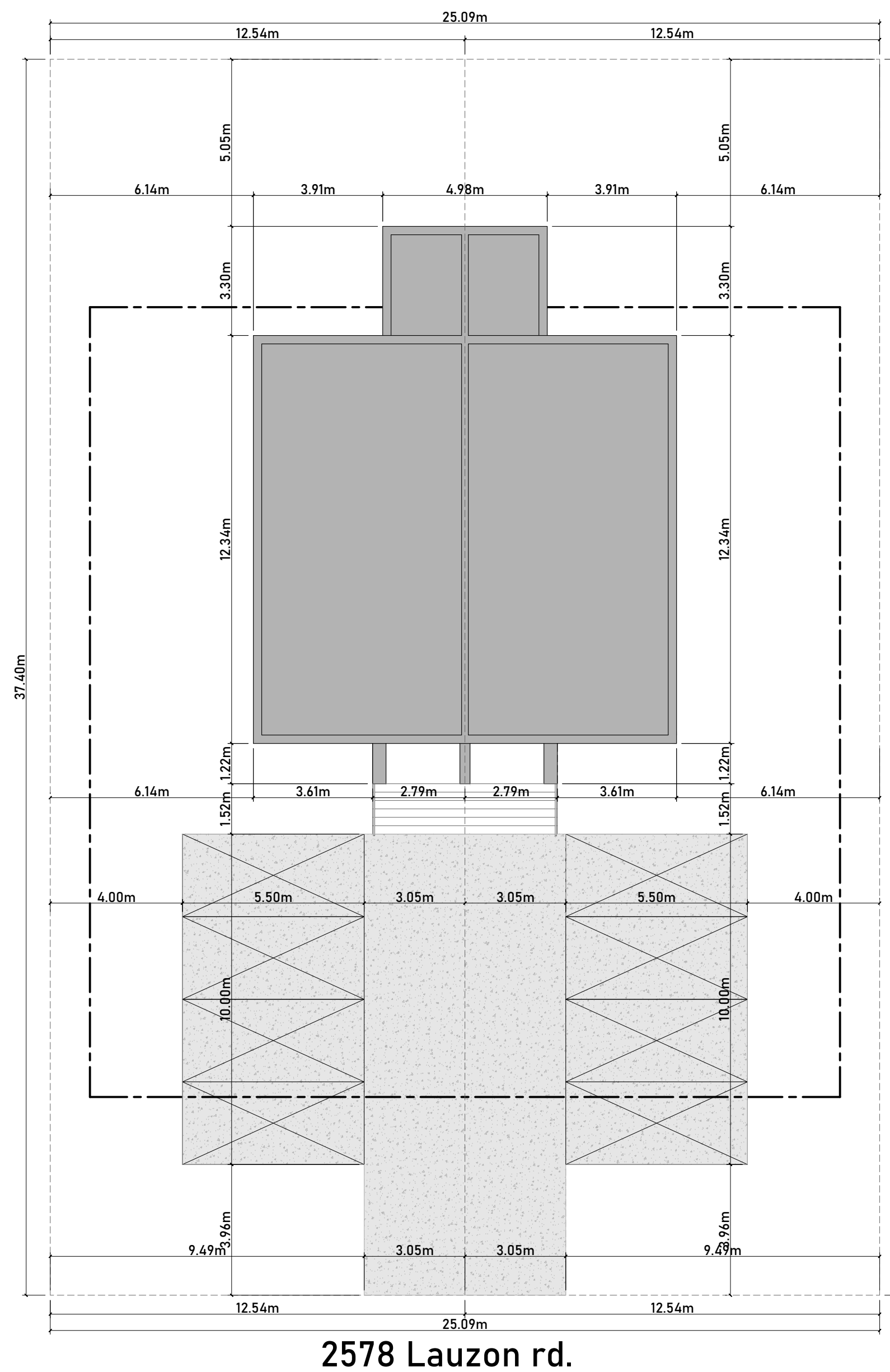
ADDRESS: 2578 Lauzon Rd. Windsor, ON
ZONE: RD 2.4
SITE AREA: 938.15 m²

COVERAGE ALLOWANCE: 45% (422.17) m²
PROPOSED COVERAGE: 18.4% (170.91) sf
SETBACKS: as shown
AREA (each side):
GROUND FLOOR: 79.62 m²
SECOND FLOOR: 79.62 m²
BASEMENT: 79.06 m²
FRONT PORCH: 3.41 m²
GRADE ENTRANCE ROOF: 3.04 m²

2 PROPERTY PLAN - METRIC
A00.1 3/32" = 1'

GROSS FLOOR AREA:
GROUND FLOOR: 857 + 857 sf
SECOND FLOOR: 857 + 857 sf
BASEMENT (CELLAR): 850 + 850 sf
TOTAL: 5128 sf

GROSS FLOOR AREA:
GROUND FLOOR: 79.62 + 79.62 m²
SECOND FLOOR: 79.62 + 79.62 m²
BASEMENT (CELLAR): 79.06 + 79.06 m²
TOTAL: 476.6 m²



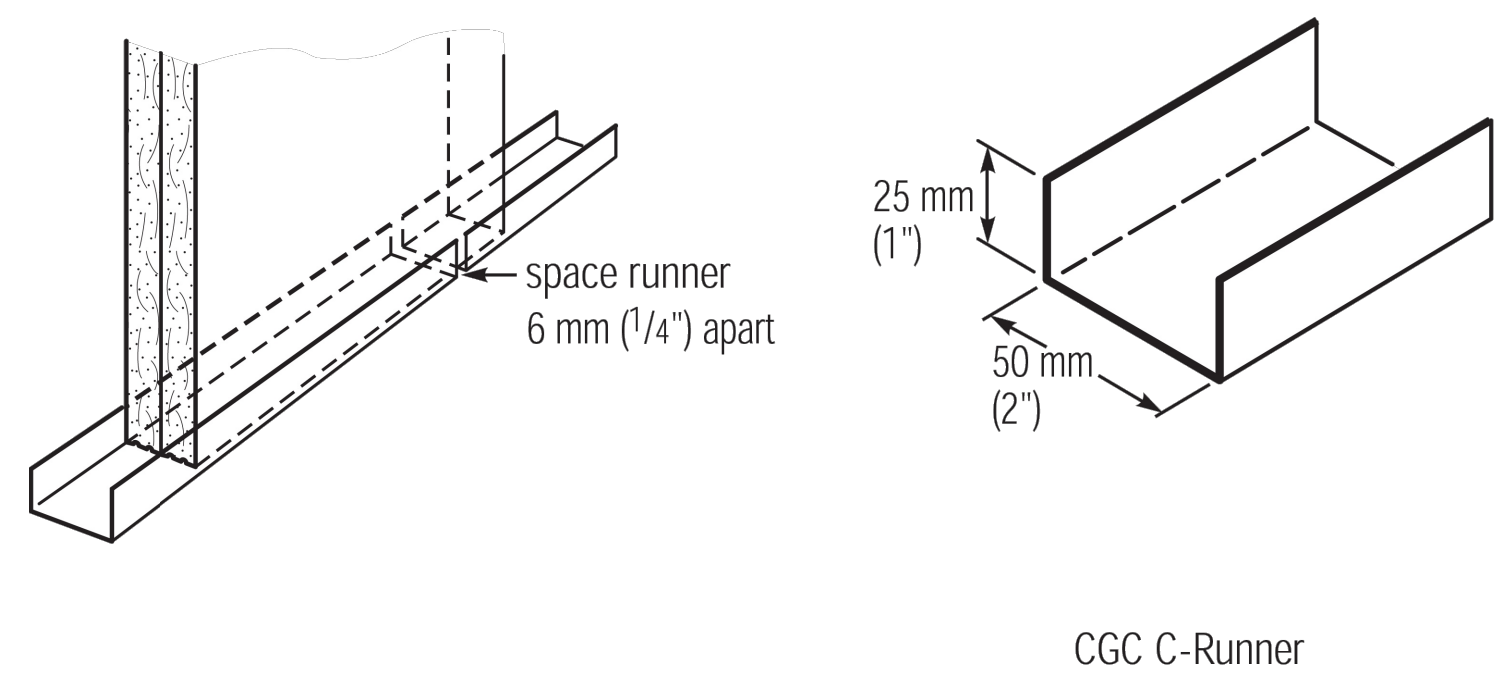
2578 Lauzon rd.

66" DIG DEPTH

NOTE: THESE PRINTS ARE THE PROPERTY AND DESIGN OF THIS DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REPRODUCE THE SAME HOUSE AT NO BENEFIT TO THE PURCHASER OF THIS HOME.

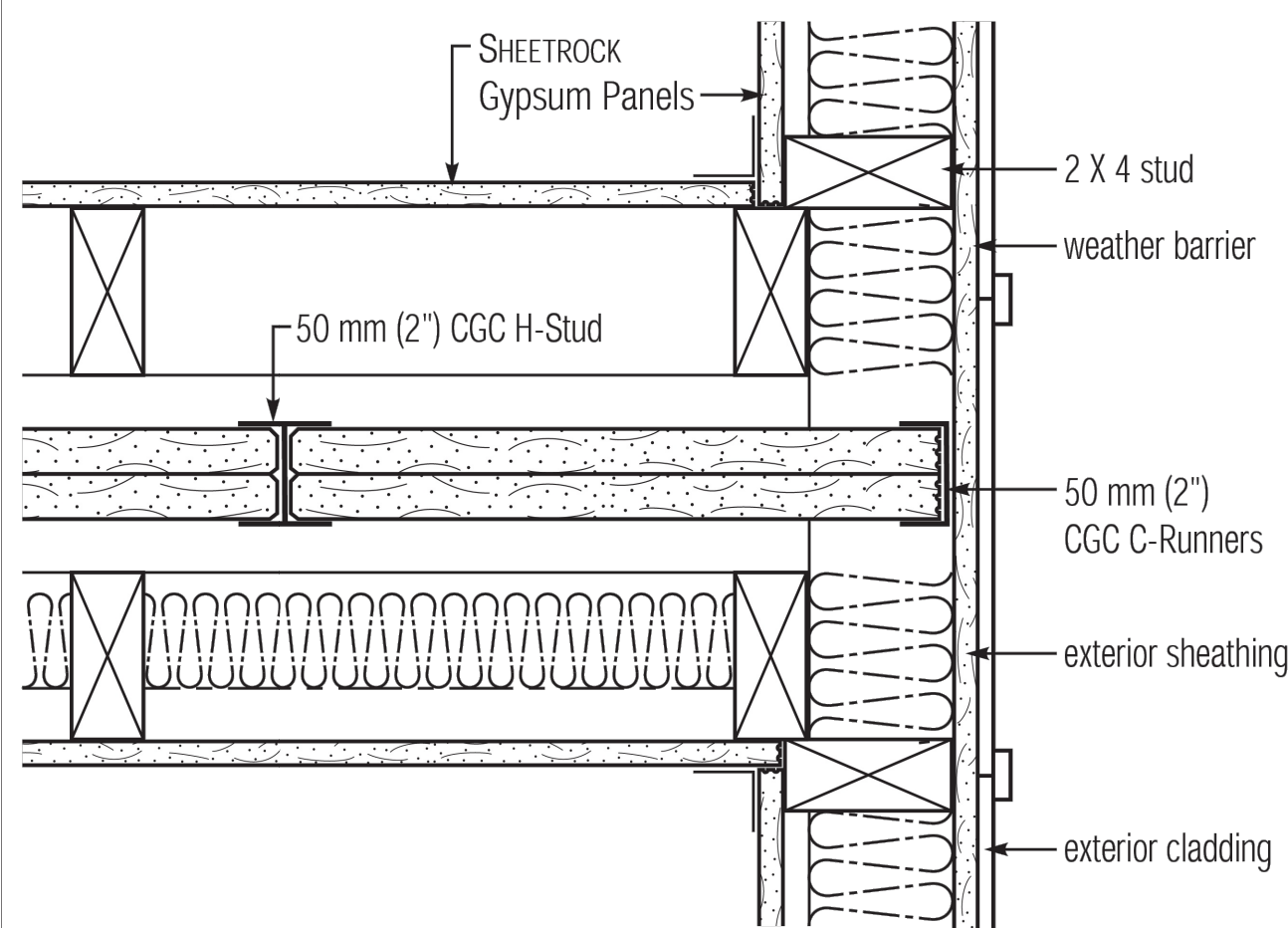
NOTE: THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.

Runner Installation

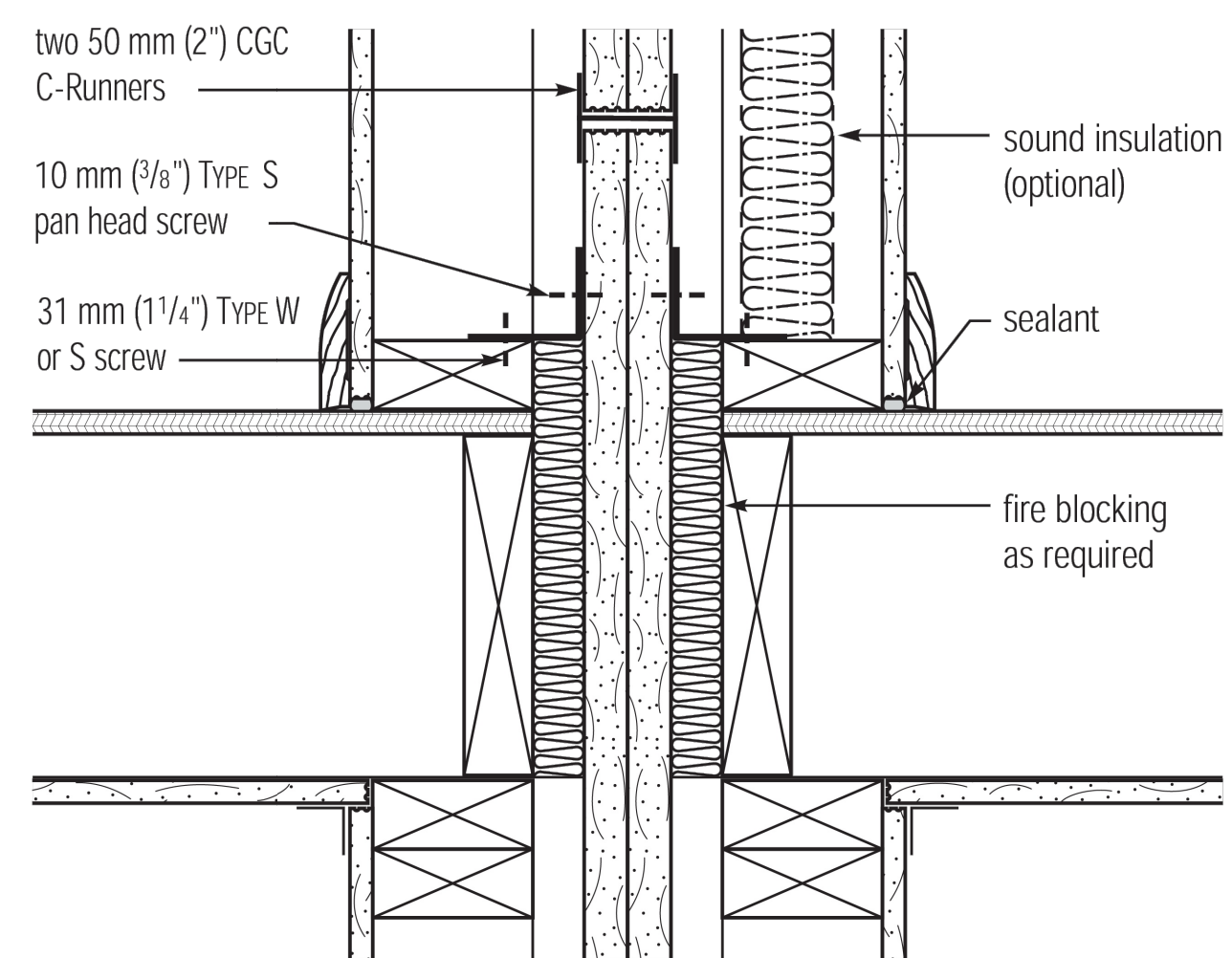


NOTE: EXTERNAL DETAILS FROM UGS / CGC GYPSUM FIRE WALL SYSTEM DETAILS MANUEL SA-923 (www.usg.com/content/dam/USG/jdp/movedocuments/gypsum-fire-wall-systems-brochure-en-sa923-can.pdf)

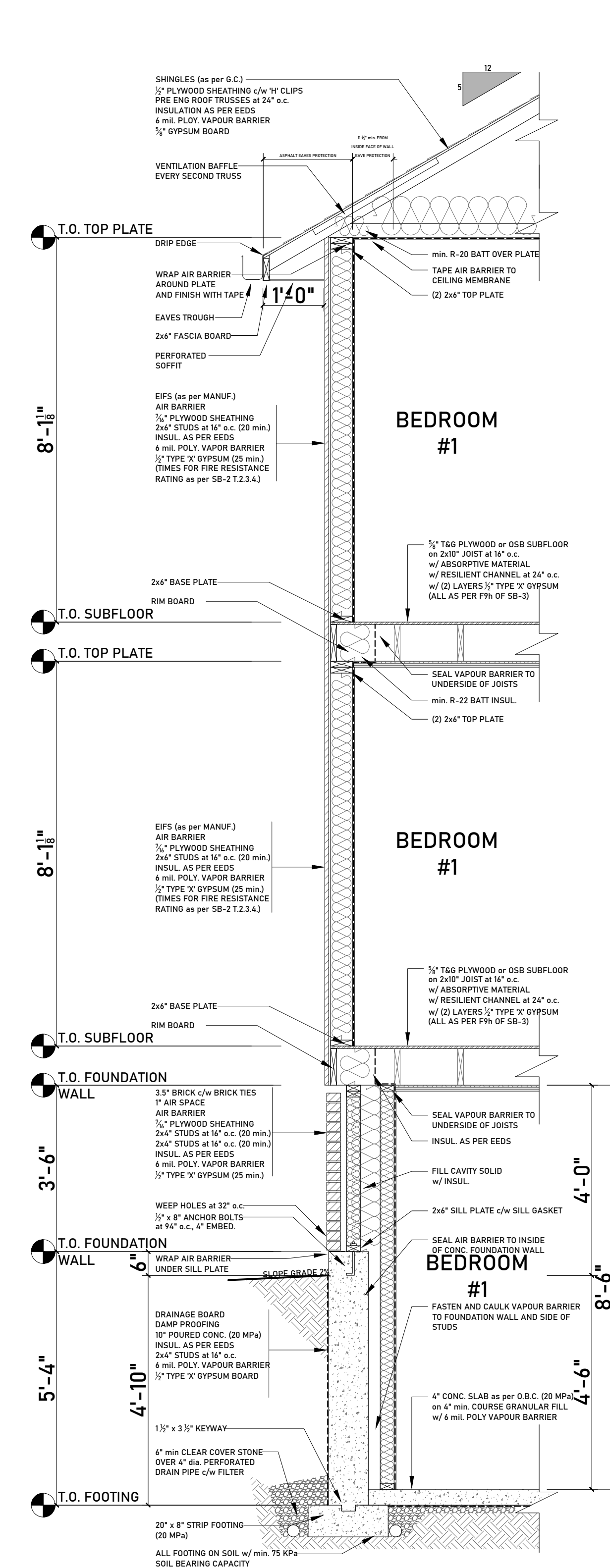
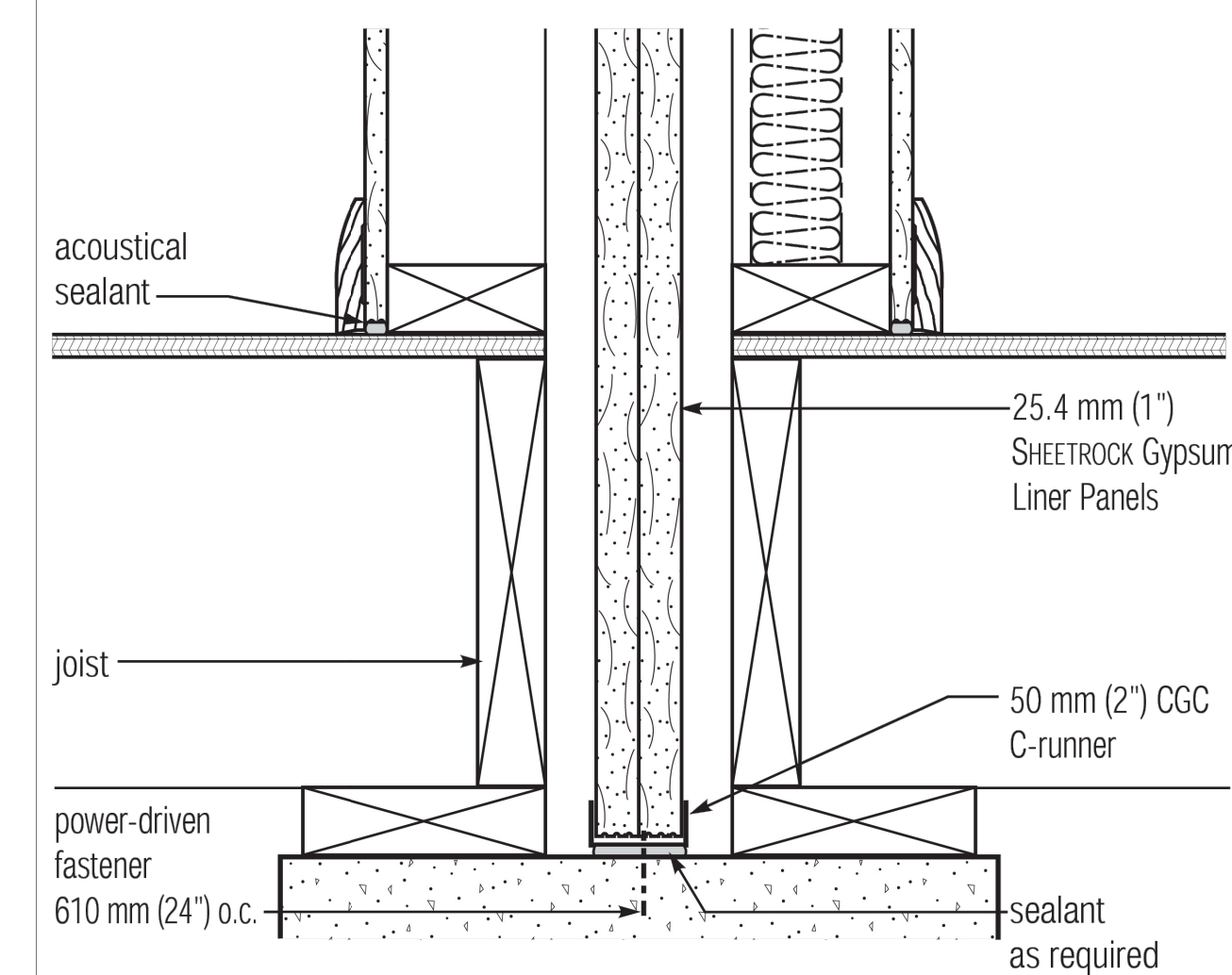
Exterior Wall Intersection (as required)



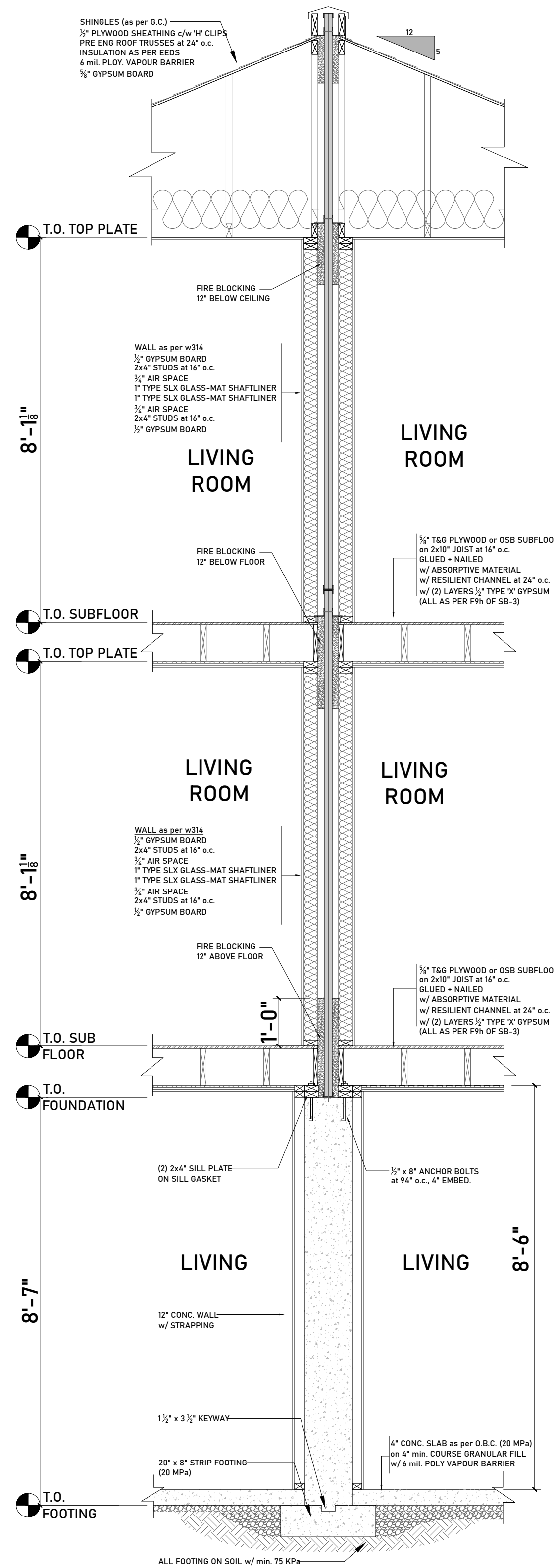
Intermediate Floor



Foundation

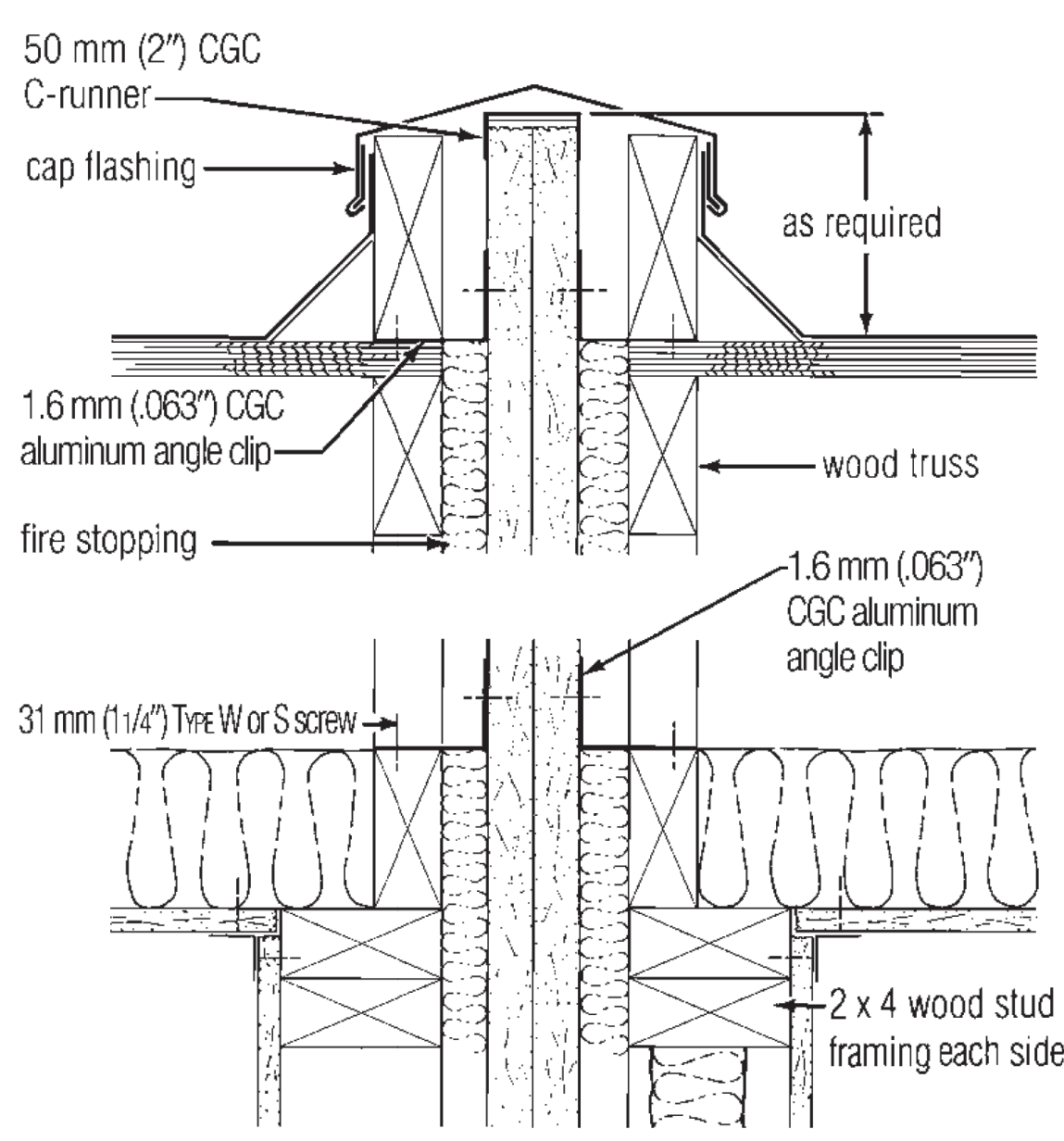


1 TYP. WALL SECTION - HOUSE
A00.1 1/2" = 1'



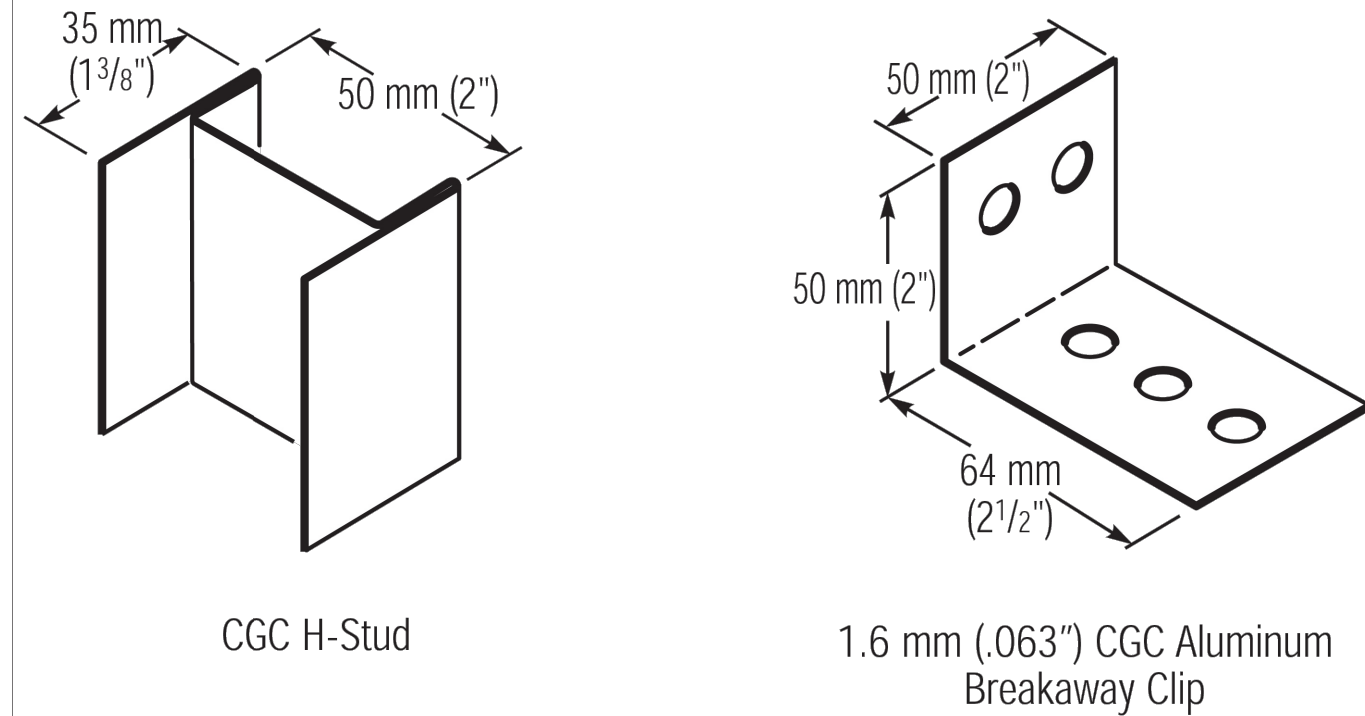
2 TYP. WALL SECTION - FIREWALL
A00.2 1/2" = 1'

Typical firewall roof parapets (height as required by code)

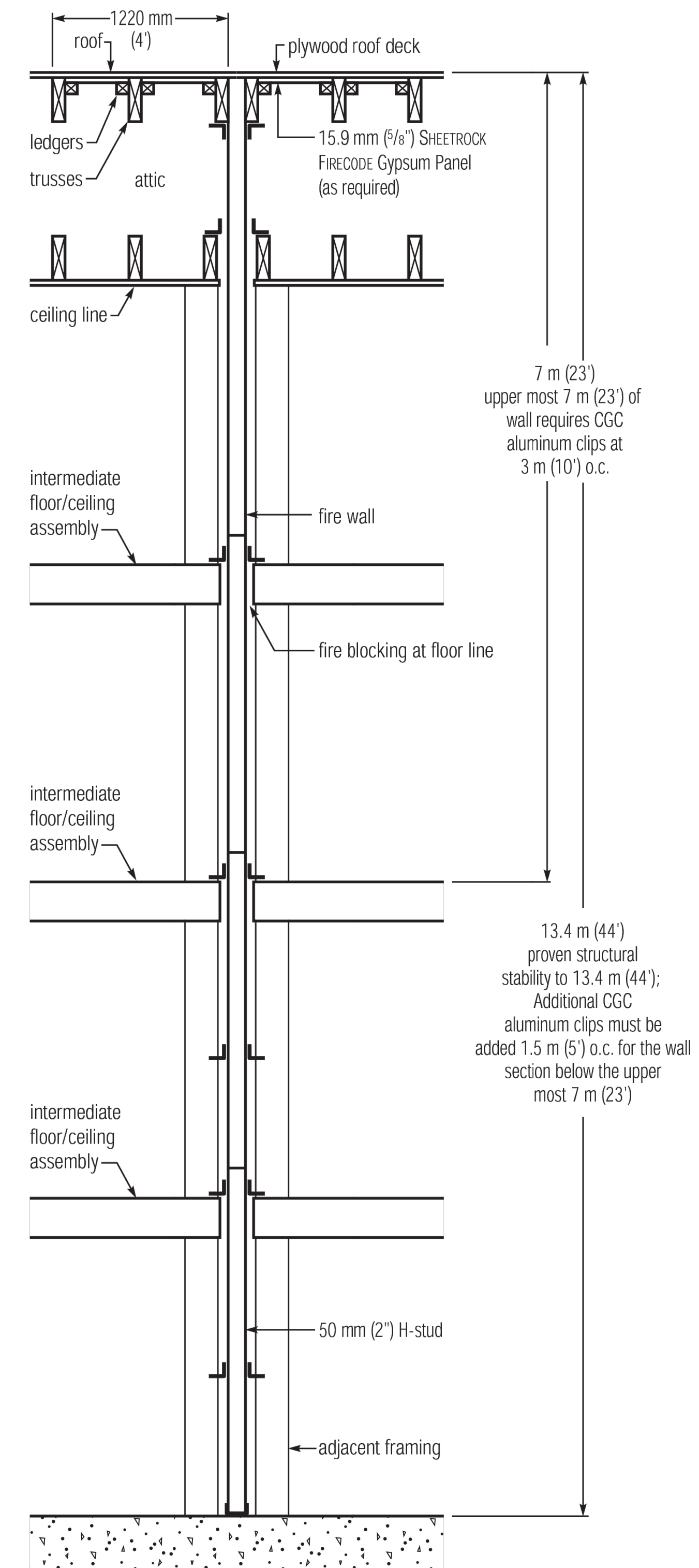


*check design capacity over 900 mm (3'-0")

Components



Clip Spacing Requirements



66" DIG DEPTH

NOTE: G.C. TO CONFIRM THE LOCATION OF ALL PLUMBING, HVAC, AND MECH. PRIOR TO CONSTRUCTION

NOTE: THE OWNER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF CONC. STAIRS, CONC. PORCH, HANDRAILS, AND GRADING ASSOCIATED WITH REAR COVERED PORCH. THE CONTRACTOR IS NOT RESPONSIBLE UNLESS EXPLICITLY STATED IN THE CONTRACT

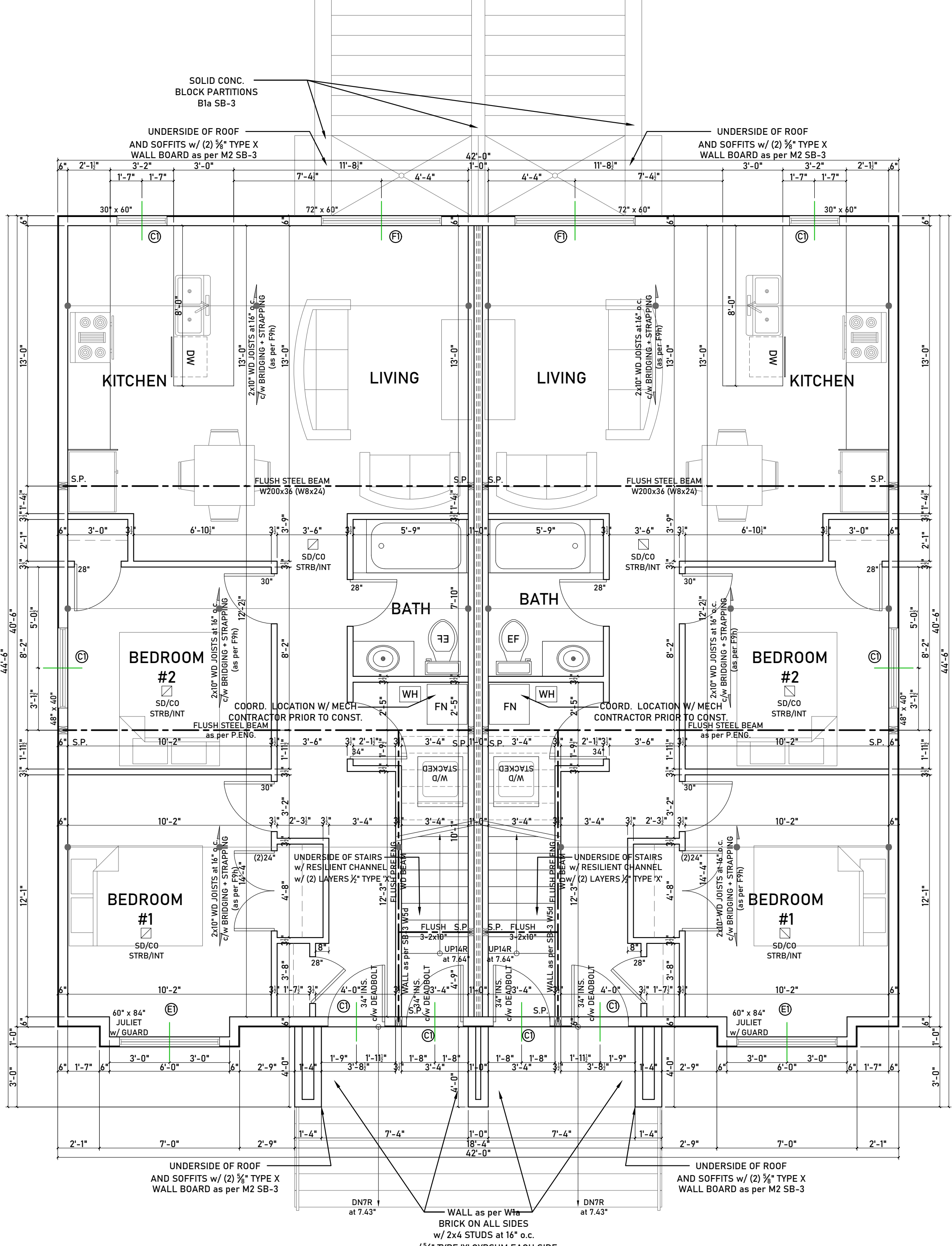
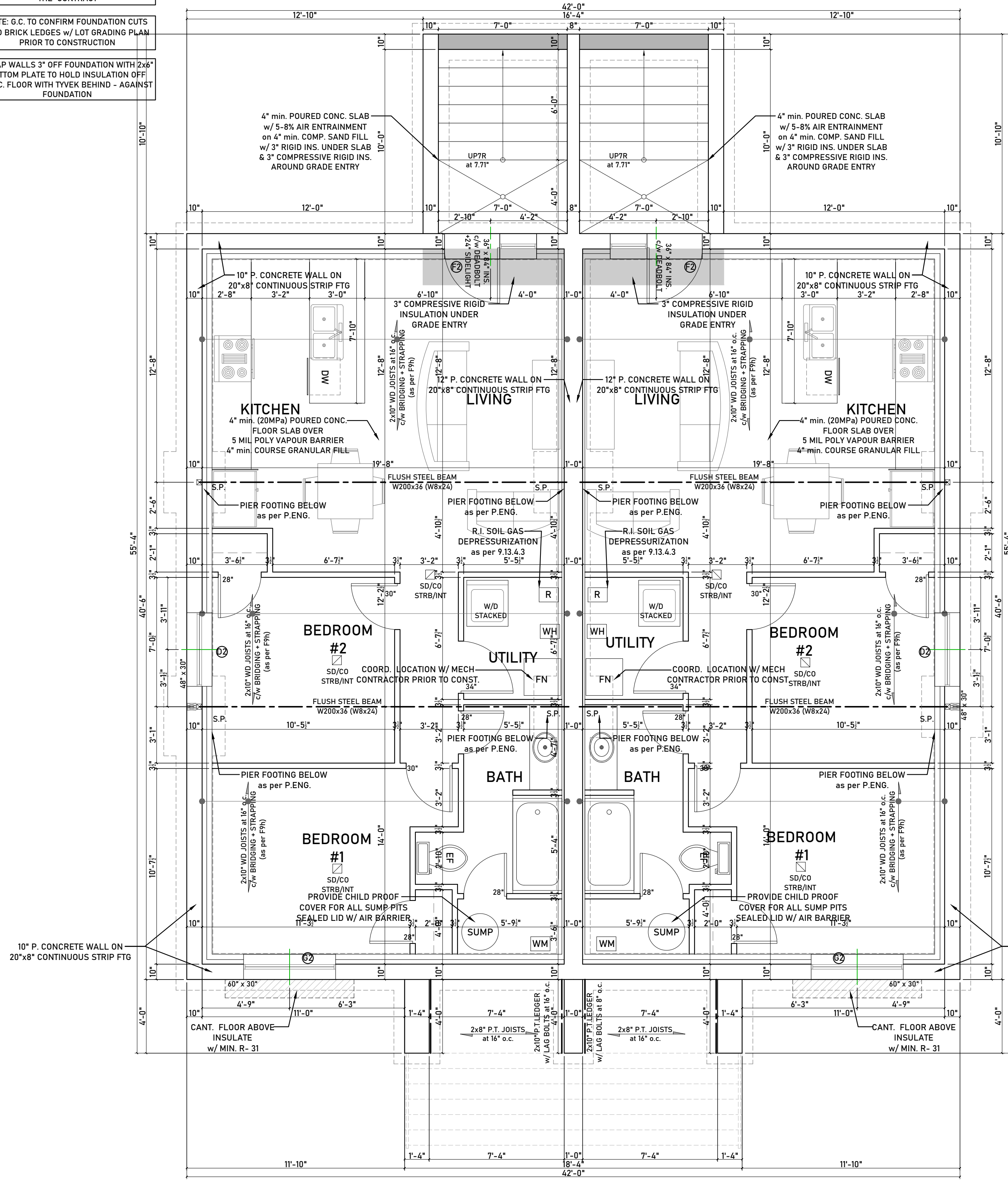
NOTE: G.C. TO CONFIRM FOUNDATION CUTS AND BRICK LEDGES W/ LOT GRADING PLAN PRIOR TO CONSTRUCTION

STRAP WALLS 3" OFF FOUNDATION WITH 2x4" BOTTOM PLATE TO HOLD INSULATION OFF CONC. FLOOR WITH TYVEK BEHIND - AGAINST FOUNDATION

NOTE: ALL PUNCTURES INTO FIRE RATED WALLS w/ HVAC, ELEC, OR PLUMBING TO BE DONE IN A WAY TO MAINTAIN FIRE RESISTANCE RATING, as per D.B.C.

NOTE: ALL LOAD BEARING WALLS, COLUMNS, BEAMS & OPENINGS TO BE 45 min FIRE RATED AS PER 9.10.8.3

NOTE: JOIST SPANS as per "CANADIAN WOOD COUNCIL'S SPAN BOOK" (2020)



1 FOUNDATION PLAN
A011 1/4" = 1'

2 GROUND FLOOR PLAN
A011 1/4" = 1'

LINTEL SCHEDULE (INTERIOR)			
LINTEL SIZE	ROOF CEILING AND 3 STORY	ROOF CEILING AND 2 STORY	ROOF CEILING AND 1 STORY
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"

LEGEND:
S.P. SUPPORT POST (BUILT UP WD OR STEEL)
E.F. EXHAUST FAN w/ NON-COMBUSTIBLE DUCTWORK

EXT. WALL STUDS			
LINTEL SIZE	ROOF CEILING AND 3 STORY	ROOF CEILING AND 2 STORY	ROOF CEILING AND 1 STORY
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"

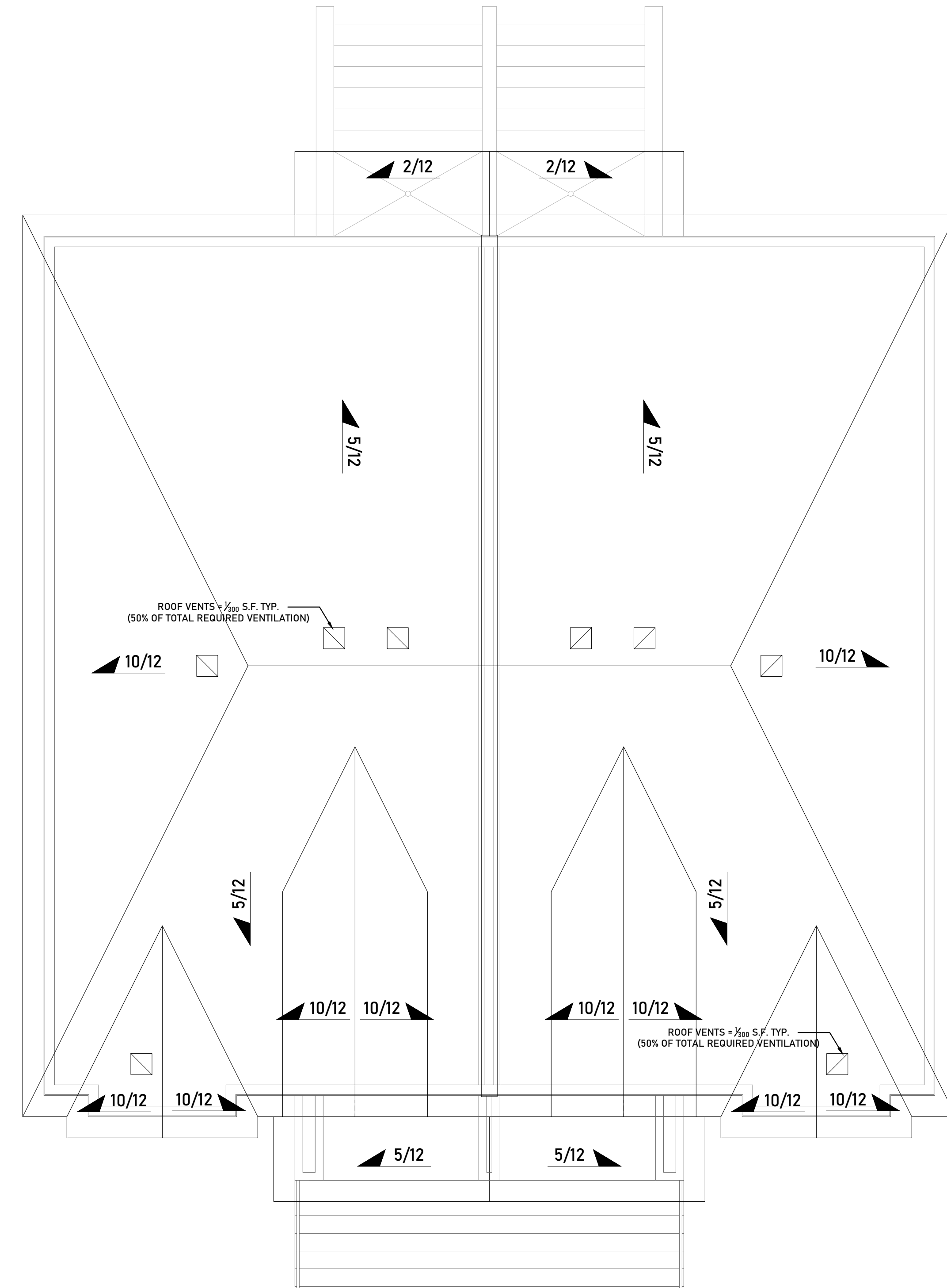
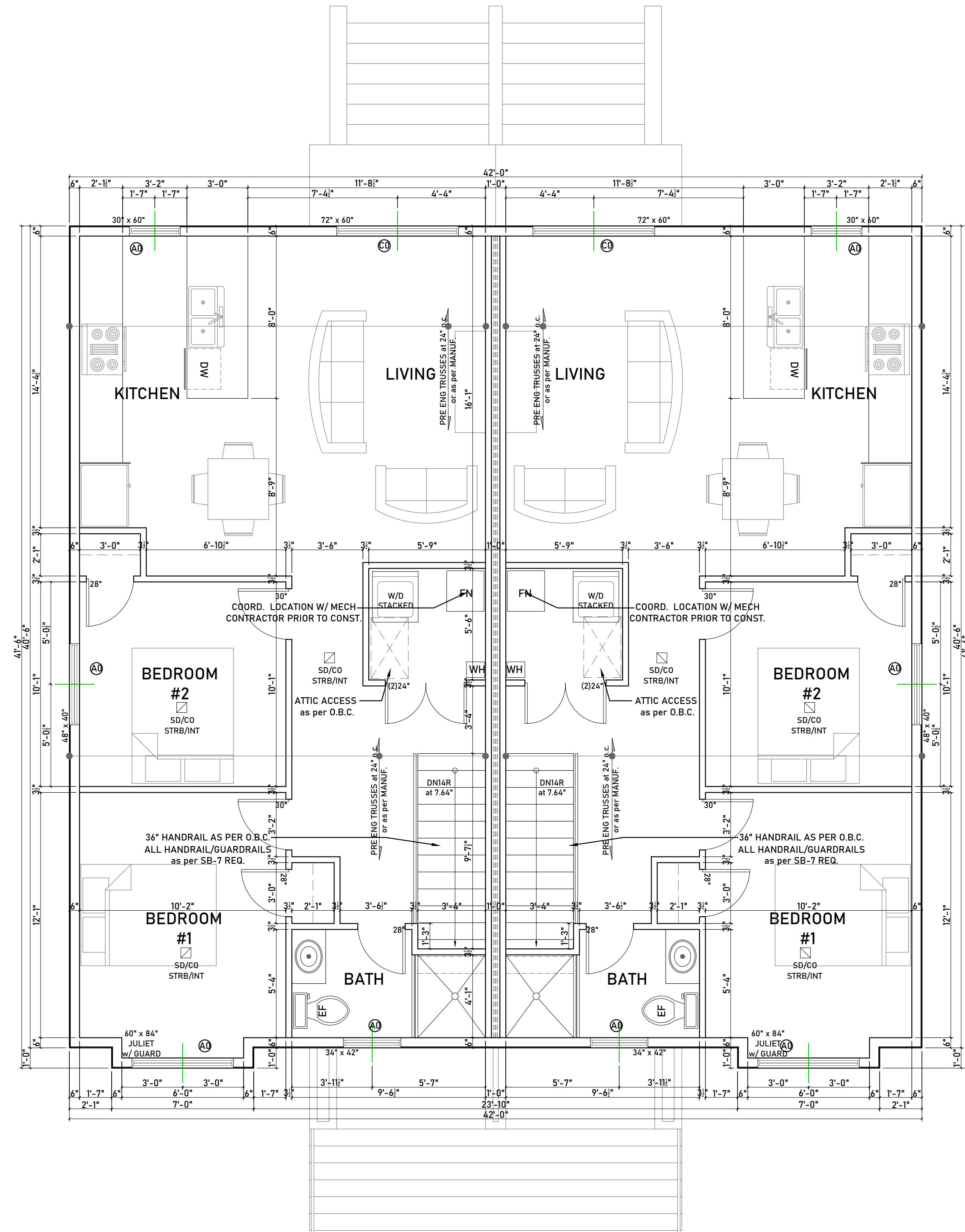
STEEL LINTEL SCHEDULE			
LINTEL SIZE	ROOF CEILING AND 3 STORY	ROOF CEILING AND 2 STORY	ROOF CEILING AND 1 STORY
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"

SOIL GAS CONTROL
RADON GAS BARRIER REQUIREMENTS:
1. 4 MIL POLY UNDER FLOOR SLABS WITH JOINTS LAPPED NOT LESS THAN 12"
2. SEALING AROUND PERIMETER OF SLAB AGAINST FND. WALL AND ALL PENETRATIONS USING FLEXIBLE SEALANT (POLY CAULKING) SUBFLOOR DEPRESSURIZATION REQUIREMENTS
1. A 4" DIA. GREY PVC PIPE ROUGH-IN
2. MIN. 1" GRANULAR MATERIAL FOR RADON NOT LESS THAN 12" RADIUS CENTERED ON PIPE, WITH THE BOTTOM OF THE PIPE OPEN TO THE GRANULAR
3. THE UPPER END OF THE PIPE SHALL BE PROVIDED WITH A REMOVABLE SEALED CAP & LABELED TO INDICATE FOR RADON REMOVAL ONLY"

LINTEL SCHEDULE (EXT. 20' SPANS)			
LINTEL SIZE	ROOF CEILING AND 3 STORY	ROOF CEILING AND 2 STORY	ROOF CEILING AND 1 STORY
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"
2-2x4	10'-0"	12'-0"	12'-0"

NOTE: SB-3 W54
2x4" STUDS AT 16" o.c.
w/ ADSORPTIVE MATERIAL
w/ 1 LAYER 1/2" TYPE 'X'
ON RESILIENT ONE SIDE
AND (2) LAYERS OF TYPE 1/2" 'X'
ON OTHER SIDE

NOTE: ANY WOOD LINTEL w/ GIRDER TRUSS POINT LOAD TO BE SWITCHED TO PRE ENG WD BEAM, as per TRUSS MANUF.



ROOF AREA = 2024SF = 7 VENTS

1 SECOND FLOOR PLAN
A01.2 1/4" = 1'

2 ROOF FLOOR PLAN
A01.2 1/4" = 1'

NOTE: ANY WOOD LINTEL W/ GIRDER TRUSS POINT LOAD TO BE SWITCHED TO PRE ENG WD BEAM, as per TRUSS MANUF.

LINTEL SCHEDULE (INTERIOR)			
LINTEL SIZE	ROOF CEILING	ROOF CEILING AND STUDS	ROOF CEILING AND STUDS
2-2x4	3'-0"	2'-0"	2'-0"
2-2x4	4'-0"	3'-0"	2'-0"
2-2x4	5'-0"	3'-0"	2'-0"
2-2x4	6'-0"	4'-0"	2'-0"
2-2x4	7'-0"	5'-0"	2'-0"

LEGEND:
S.P. SUPPORT POST (BUILT UP WD or STEEL)
E.F. EXHAUST FAN w/ NON-COMBUSTIBLE DUCTWORK

LINTEL SCHEDULE (EXTERIOR)			
LINTEL SIZE	ROOF CEILING	ROOF CEILING AND STUDS	ROOF CEILING AND STUDS
2-2x4	4'-0"	2'-0"	2'-0"
2-2x4	5'-0"	3'-0"	2'-0"
2-2x4	6'-0"	3'-0"	2'-0"
2-2x4	7'-0"	4'-0"	2'-0"
2-2x4	8'-0"	5'-0"	2'-0"

STEEL LINTEL SCHEDULE	
MAX. CLEAR SPAN	LINTEL SIZE
10'-0" OR LESS	4" x 4" x 1/2"
10'-0" OR LESS	4" x 6" x 1/2"
10'-0" OR LESS	6" x 6" x 1/2"
10'-0" OR LESS	6" x 8" x 1/2"
10'-0" OR LESS	8" x 8" x 1/2"

LINTEL SCHEDULE (EXT. 20' SPANS)			
LINTEL SIZE	ROOF CEILING	ROOF CEILING AND STUDS	ROOF CEILING AND STUDS
2-2x4	5'-0"	3'-0"	3'-0"
2-2x4	6'-0"	4'-0"	3'-0"
2-2x4	7'-0"	5'-0"	3'-0"
2-2x4	8'-0"	6'-0"	3'-0"
2-2x4	9'-0"	7'-0"	3'-0"
2-2x4	10'-0"	8'-0"	3'-0"
2-2x4	11'-0"	9'-0"	3'-0"
2-2x4	12'-0"	10'-0"	3'-0"

