

## Notice of Public Hearing – Committee of Adjustment Application

File # A-046/26 - 1110 TECUMSEH RD E

Date Mailed: July 1, 2026

### Electronic hearing:

By videoconference on July 16, 2026 at 3:30 PM

### Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on July 1, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

## APPLICANT AND PROPERTY INFORMATION

**LEGAL DESCRIPTION:** PLAN 423 PT LOT 11 PLAN 920;LOTS 470 & 471 & PT LOT 466;PT CLOSED ALLEYS;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Mixed Use Corridor	Commercial District 2.1 (CD2.1)- S.20(1)526

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p><b>Owner Name:</b> 2652184 ONTARIO LTD.</p> <p><b>Applicant Name:</b> Architectural Design Associates Inc., Architect</p>		1110 TECUMSEH RD E

## PURPOSE OF APPLICATION

**Minor Variance** - Request for relief from the maximum building height requirement for a multiple dwelling

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-Law 8600	15.1.5.4	Maximum Building Height	14.0 m	15.6 m

## How do I participate if I have comments or concerns?

### Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

### Participate in the hearing by videoconference (Microsoft Teams)

**Two ways to register:** 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

**Applicant(s)** – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

### Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer ([jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



#### Contact Information:

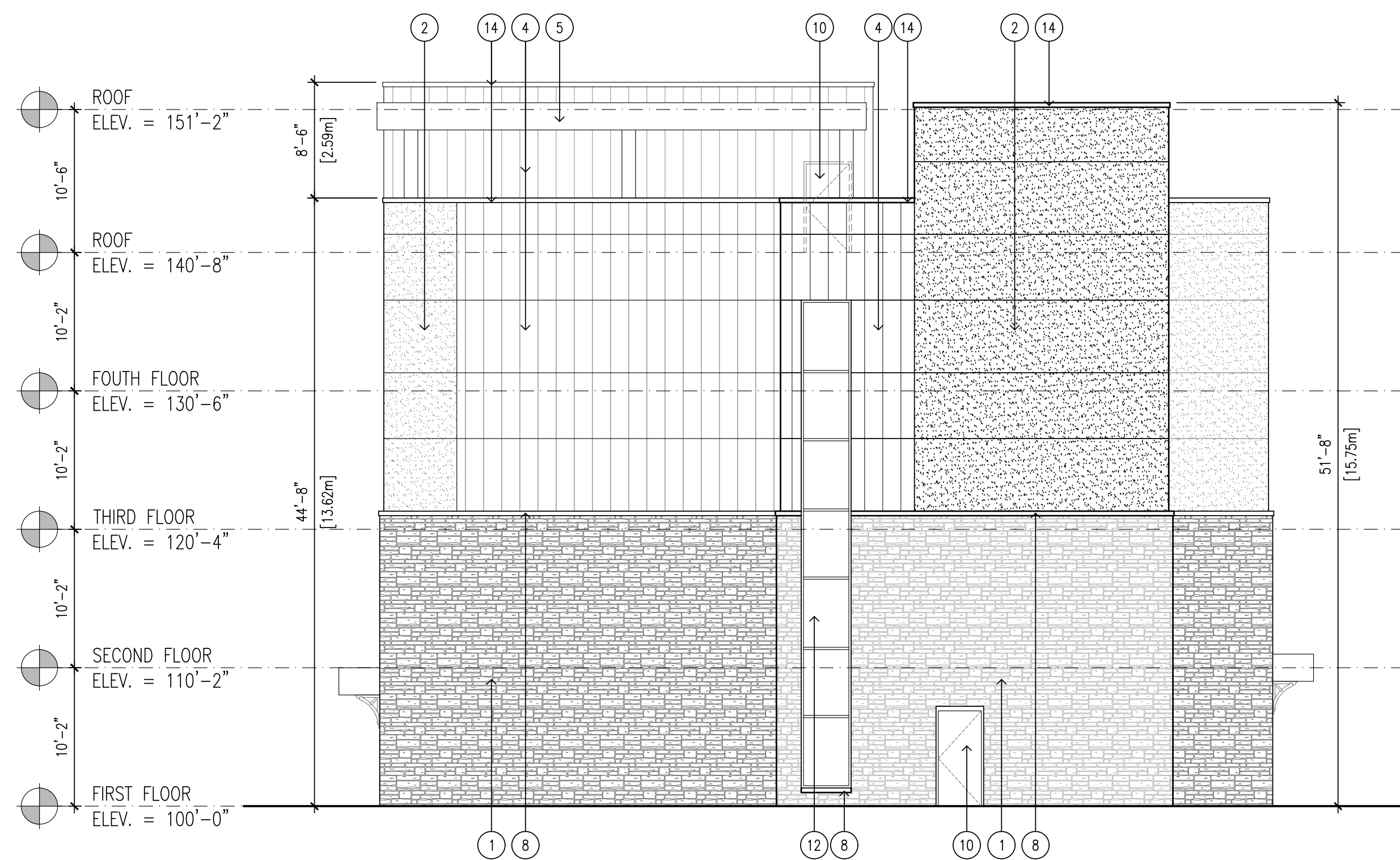
Jessica Watson  
Secretary-Treasurer  
Committee of Adjustment  
Suite 320, 350 City Hall Square West  
Windsor, ON N9A6S1  
Phone: 519-255-6543 ext. 6450 or 6436  
[COAdjustment@citywindsor.ca](mailto:COAdjustment@citywindsor.ca)





**NORTH ELEVATION**

SCALE : 1/8" = 1'-0"  
 0 2 4 8 12 24 FEET



**WEST ELEVATION**

SCALE : 1/8" = 1'-0"  
 0 2 4 8 12 24 FEET

EXTERIOR FINISH SCHEDULE					
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	SIZE	COLOUR	NOTE
①	BRICK VENEER	-	-	WHITE	-
②	STUCCO 1	-	-	WHITE	-
③	STUCCO 2	-	-	GREY	-
④	METAL SIDING	-	-	CHARCOAL	-
⑤	ACM	-	-	CHARCOAL	-
⑥	CONCRETE BALCONY	-	-	-	-
⑦	PRECAST LINTEL	-	-	-	-
⑧	PRECAST SILL / CAP	-	-	-	-
⑨	DOOR & WINDOW GLAZING SYSTEM	-	-	CHARCOAL	-
⑩	H.M. DOORS & FRAMES	-	-	CHARCOAL	-
⑪	GLASS GUARDRAIL SYSTEM	-	-	CHARCOAL	-
⑫	CURTAIN WALL GLAZING	-	-	-	-
⑬	MAGIC PAK	-	-	-	-
⑭	METAL FLASHING	-	-	-	-
⑮	WOOD BRACKET	-	-	-	-

2026/05/29 MINOR VARIANCE

2026/04/01 REVISIONS

2026/02/19 SITE PLAN CONTROL REVISIONS

2025/10/09 SITE PLAN CONTROL

date (yyyy/mm/dd): issued for:

- general notes:
- THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ARCHITECT.
  - DRAWINGS SHALL NOT BE SCALED.
  - CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
  - ATTENTION IS DIRECTED TO PROVISIONS IN THE GENERAL CONDITIONS REGARDING CONTRACTOR'S RESPONSIBILITIES IN REGARD TO SUBMISSION OF SHOP DRAWINGS.
  - IN THE EVENT THE ARCHITECT IS RETAINED TO REVIEW SHOP DRAWINGS, SUCH REVIEW IS ONLY TO CHECK FOR CONFORMANCE WITH DESIGN CONCEPT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS.
  - CONTRACTORS SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF THE EXISTENCE OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR BY-LAWS.
  - THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS AND OR TECHNIQUES IN THE CONSTRUCTION OF THIS FACILITY.

stamp:

**A** architectural  
**D** design  
**A** associates inc. architect

1670 mercer street  
 windsor ontario canada n8x 3p7  
 ph 519.254.3430 fax 519.254.3642  
 email - info@ada-architect.ca www.ada-architect.ca

project:  
**PROPOSED 4 STOREY  
 RESIDENTIAL DEVELOPMENT**  
 1110 TECUMSEH ROAD EAST,  
 WINDSOR, ON.

client:  
**IMAD NAJJAR**  
 title:  
**ELEVATIONS**

scale:  
**AS SHOWN**

drawn by:  
**TF, BE**

checked by:  
**SMB**

date:  
**APRIL, 2025**

comm. no.:  
**2025-051**

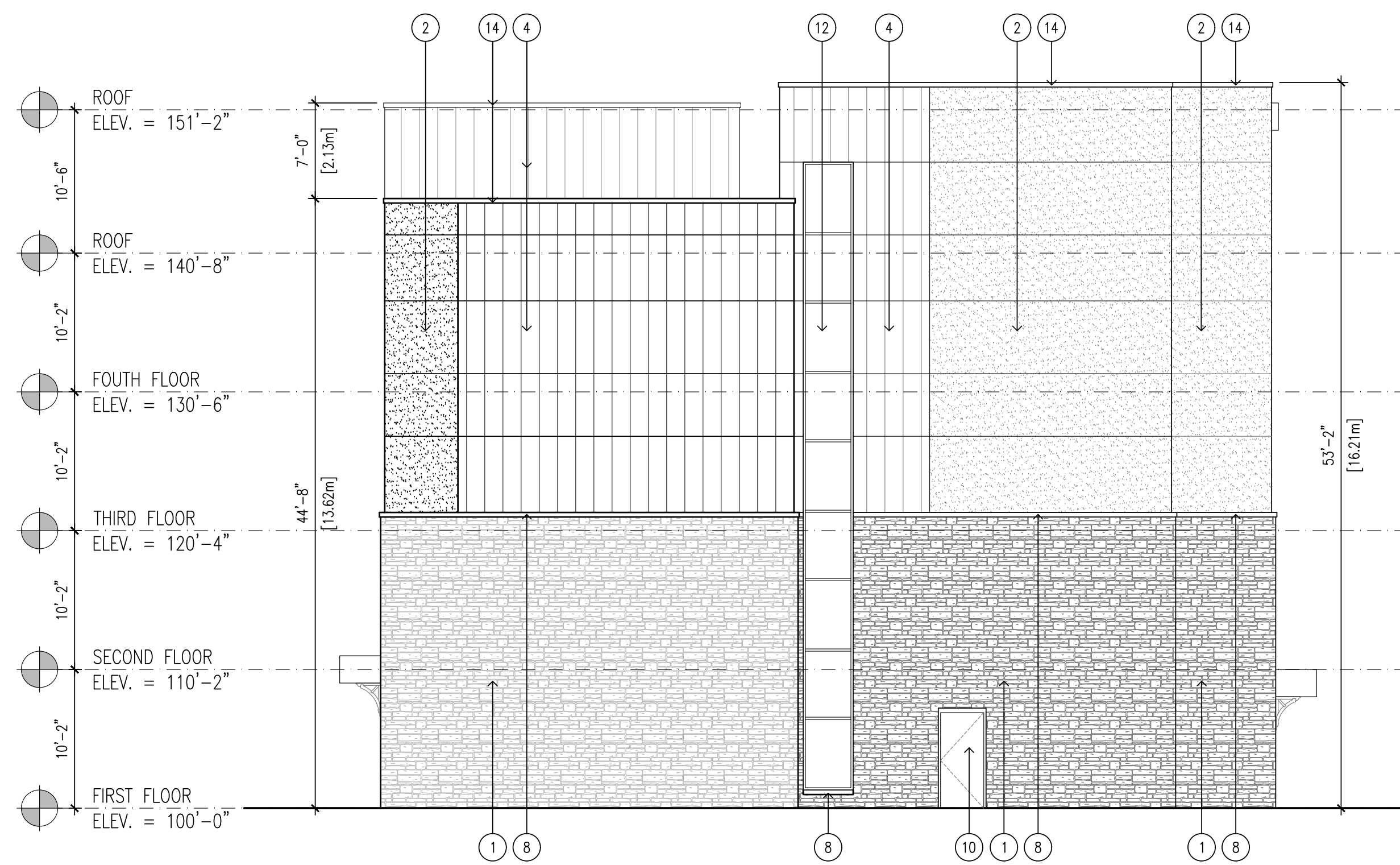
sheet no.:

**SPC3.1**



**SOUTH ELEVATION**

SCALE : 1/8" = 1'-0" 0 2 4 8 12 24 FEET



**EAST ELEVATION**

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**SPC3.2**