

Notice of Public Hearing – Committee of Adjustment Application

File # A-045/26 - 1487 WESTCOTT RD

Date Mailed: July 1, 2026

Electronic hearing:

By videoconference on July 16, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on July 1, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 768; LOTS 153 & 155

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Mixed Use Corridor	Residential District 3.1 (RD3.1)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p>Owner Name: ADIAMMU REAL ESTATE INC.</p> <p>Applicant Name: REIGNS 740 INC.</p>		1487 WESTCOTT RD

PURPOSE OF APPLICATION

Minor Variance - Request for reduced minimum lot width and area requirements for a Duplex Dwelling

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-Law 8600	11.2.5.1.1	Minimum Lot Width- Duplex Dwelling	12.0 m	10.7 m
Zoning By-Law 8600	11.2.5.1.2	Minimum Lot Area- Duplex Dwelling	360.0 m ²	346.0 m ²

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

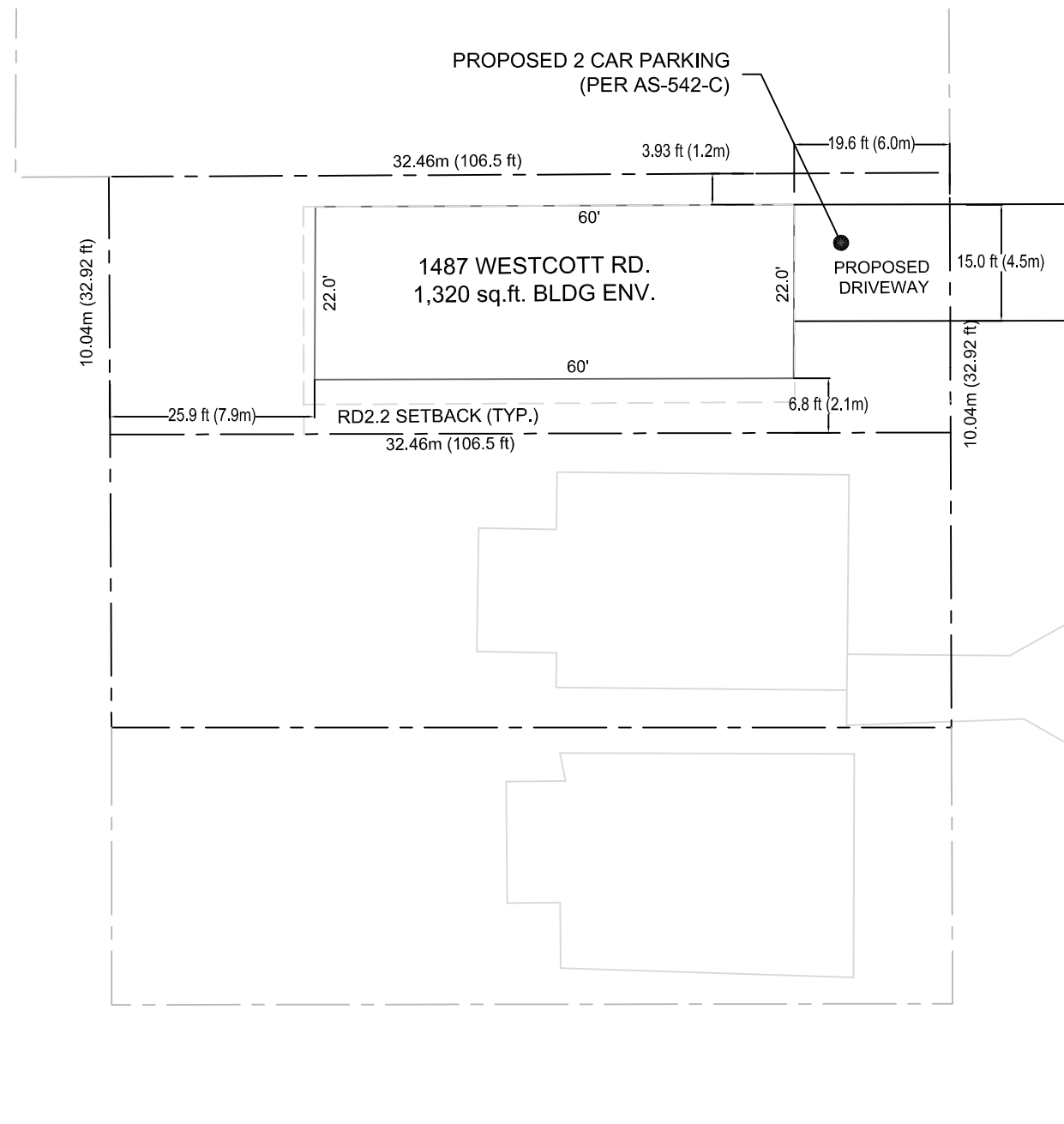


GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH GENERAL NOTES AND THE LATEST ONTARIO BUILDING CODE (OBC), LOCAL BY-LAWS, AND ANY OTHER RELEVANT CODE REQUIREMENTS.
2. ALL TRADES TO COMPLY WITH ALL APPLICABLE PROVINCIAL, NATIONAL, LOCAL, AND OSHA CODES, RULES, AND REGULATIONS.
3. DRAWINGS ARE NOT TO BE SCALED.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING UTILITY LOCATES PRIOR TO CONSTRUCTION AND PROTECTING THE UTILITIES DURING CONSTRUCTION.
5. ALL PROPERTY LINES ARE APPROXIMATE AND SHOULD NOT BE USED IN PLACE OR AS AN O.L.S. LEGAL SURVEY SHOULD BE REVIEWED FOR ACCURACY AND FOR PROPERTY LINE DIMENSIONS

SITE STATISTICS:

ZONING: RD3.1 (UTILIZING RD2.2 PER 12.1.5.55)
 LOT AREA: 3,505.9 SQ.FT (325.8 SQ.M.)
 GROSS FLOOR AREA: 1,320 SQ.FT (122.6 SQ.M.)
 MAX LOT COVERAGE: 45%
 PROPOSED LOT COVERAGE: 37.6%



WESTCOTT RD.

PLAN VIEW
 SCALE - 1:250

NOTE:
 - SITE PLAN IS NOT FOR PERMIT SUBMITTAL OR CONSTRUCTION. PRELIMINARY PLAN FOR ZONING AND PLANNING REVIEW ONLY



PROJECT
1487 WESTCOTT RD.

TITLE
SITE PLAN

DESIGN BY: _____

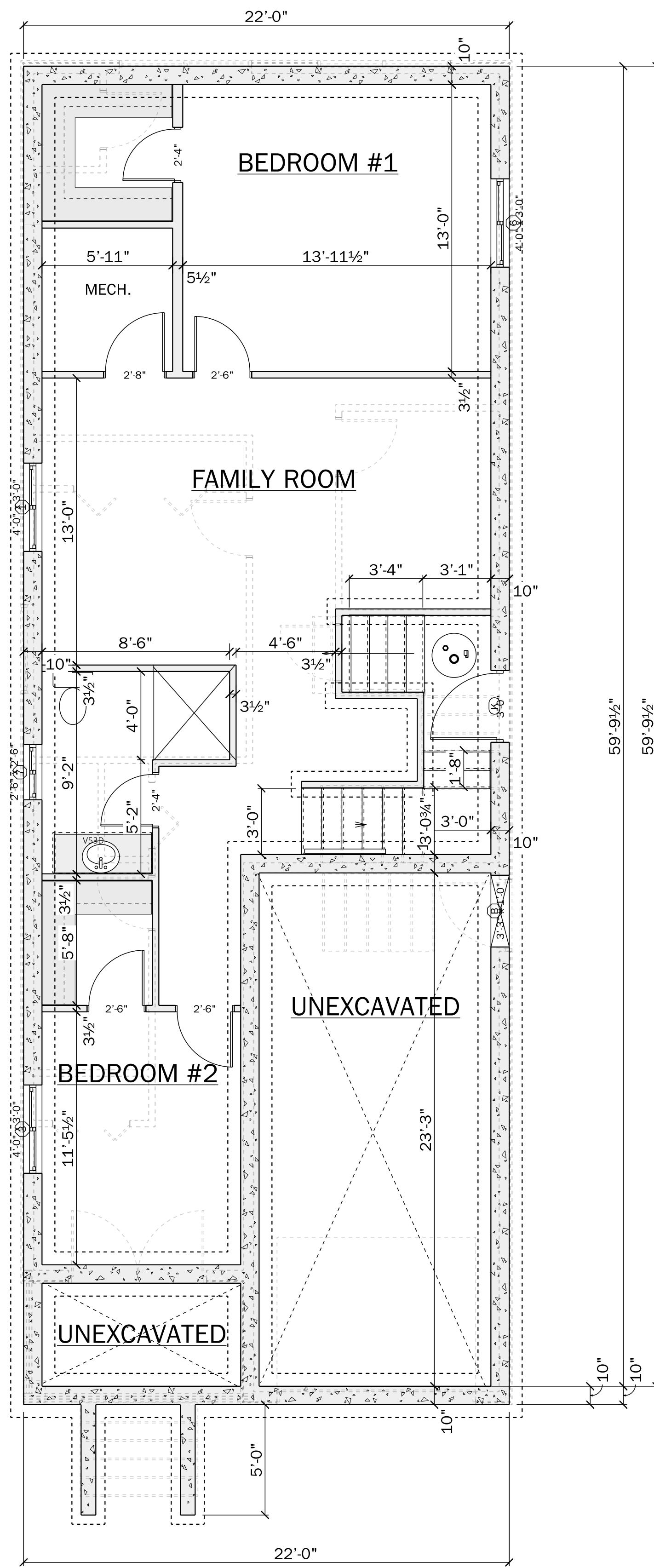
DRN BY: _____

DATE:
2026/05/20

PROJECT NO. _____

SHEET NO.
001

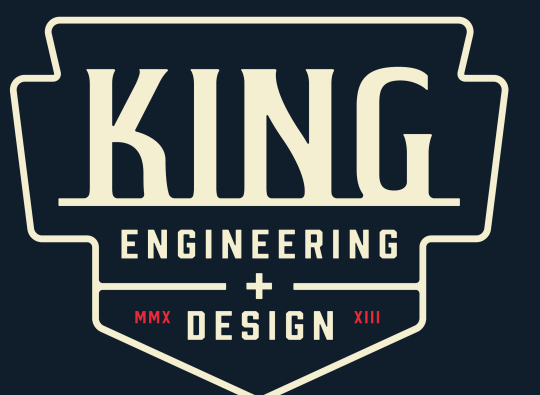
REVISION
2

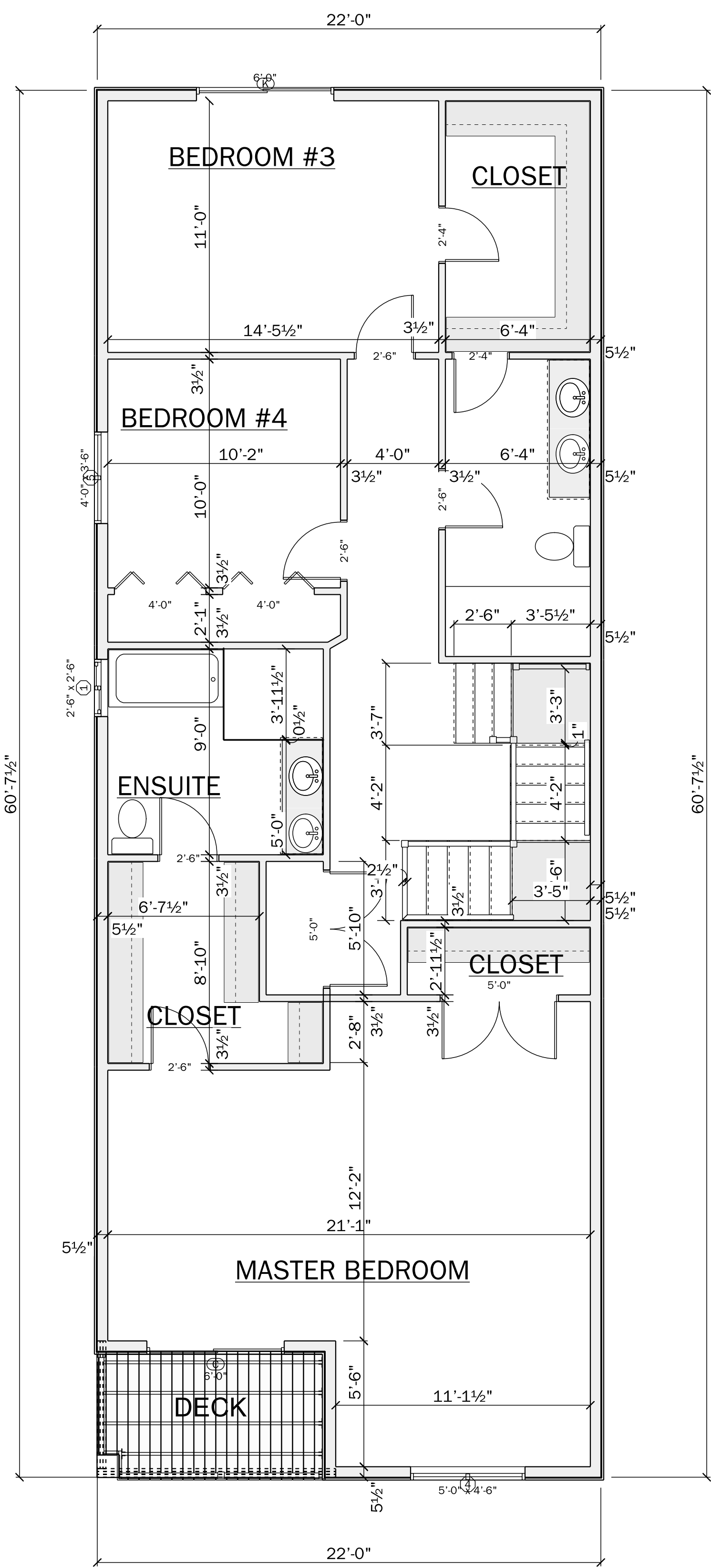


NOTE:
 THE ATTACHED PLANS ARE NOT FOR PERMIT
 SUBMITTAL OR CONSTRUCTION. PRELIMINARY
 PLAN FOR ZONING AND PLANNING REVIEW
 ONLY.

FOUNDATION PLAN

1650 Shawnee Rd.
 Tecumseh, ON
 N8N 1S5

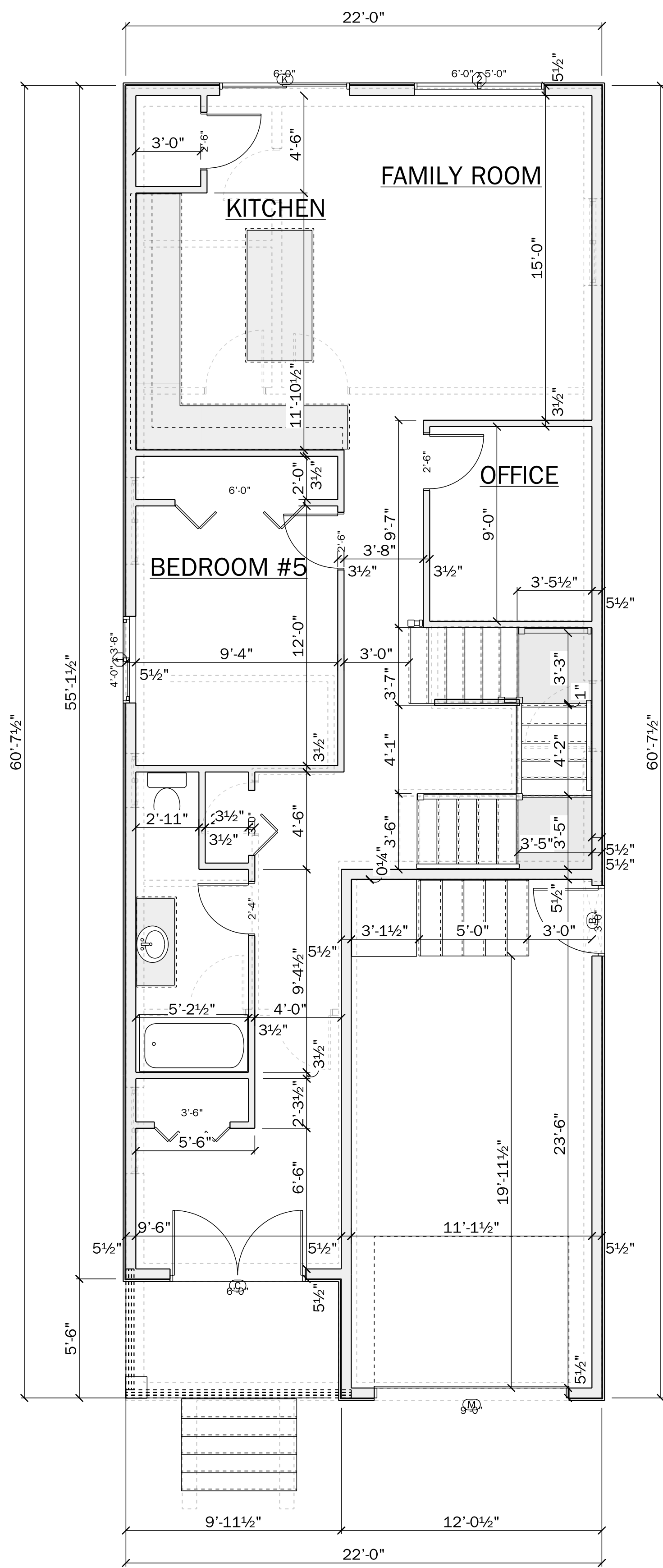




SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA SCHEDULE		
NAME	COLOR	AREA
Deck Area		52 sq. ft.
Gross Floor Area		1234 sq. ft.



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

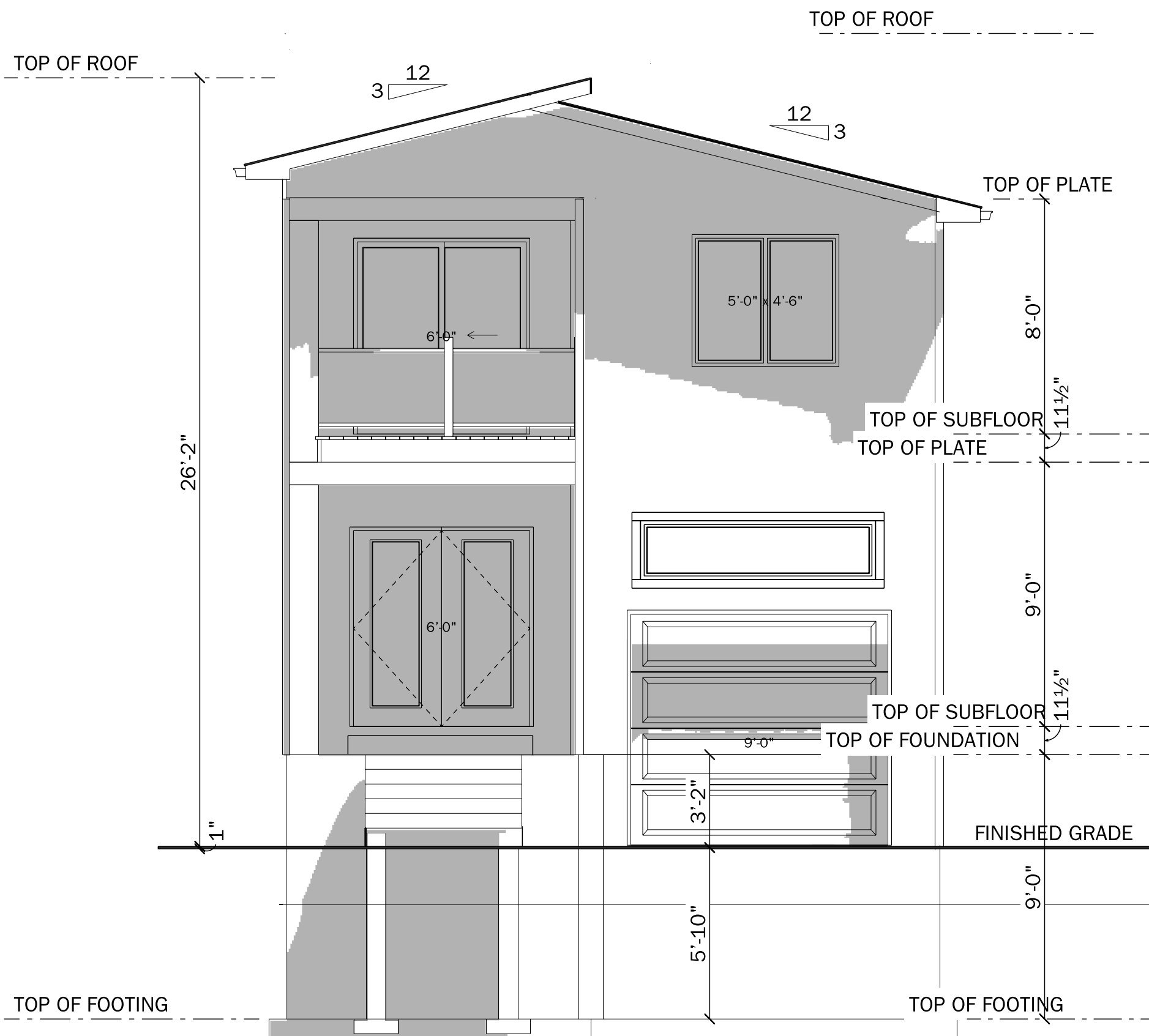
AREA SCHEDULE		
NAME	COLOR	AREA
Gross Floor Area		1016 sq. ft.

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MAIN & SECOND FLOOR PLAN

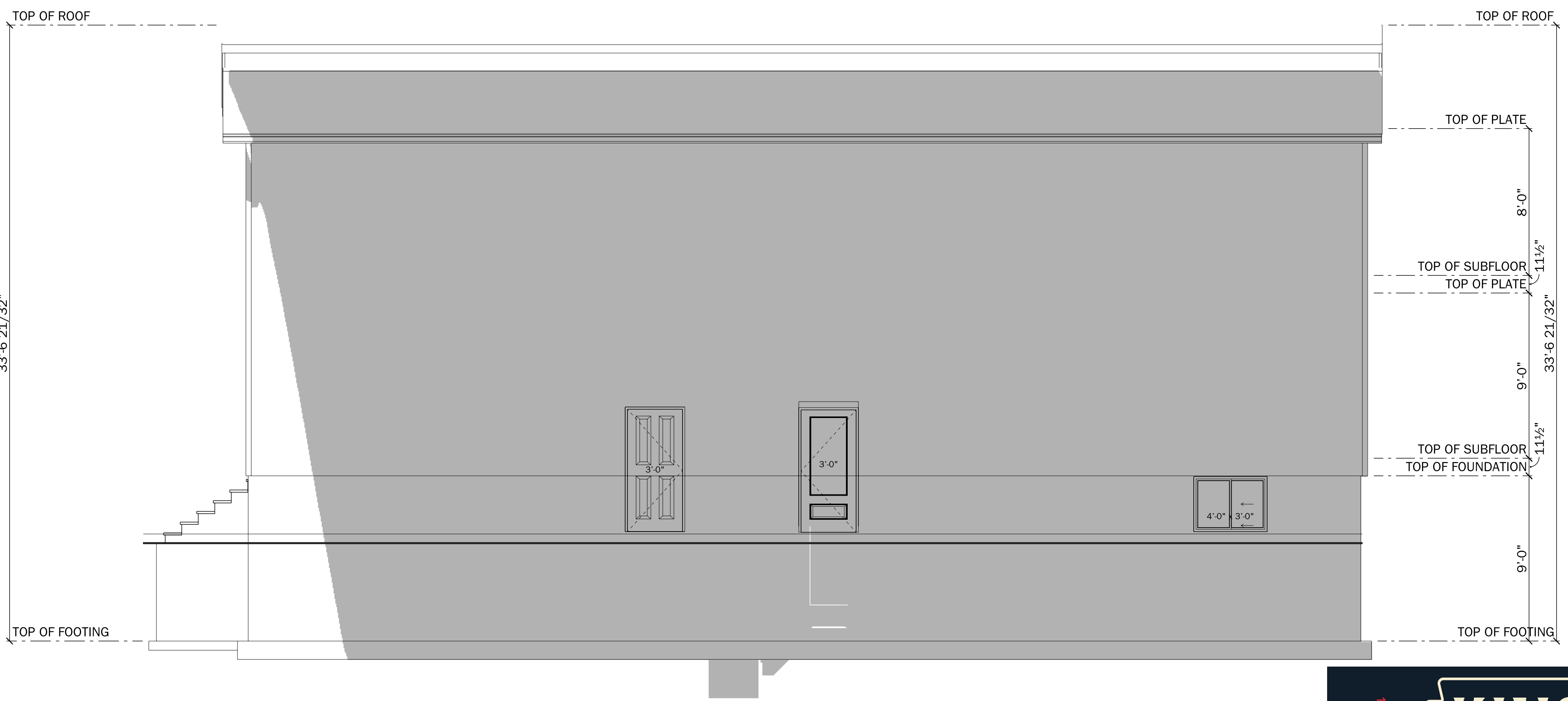
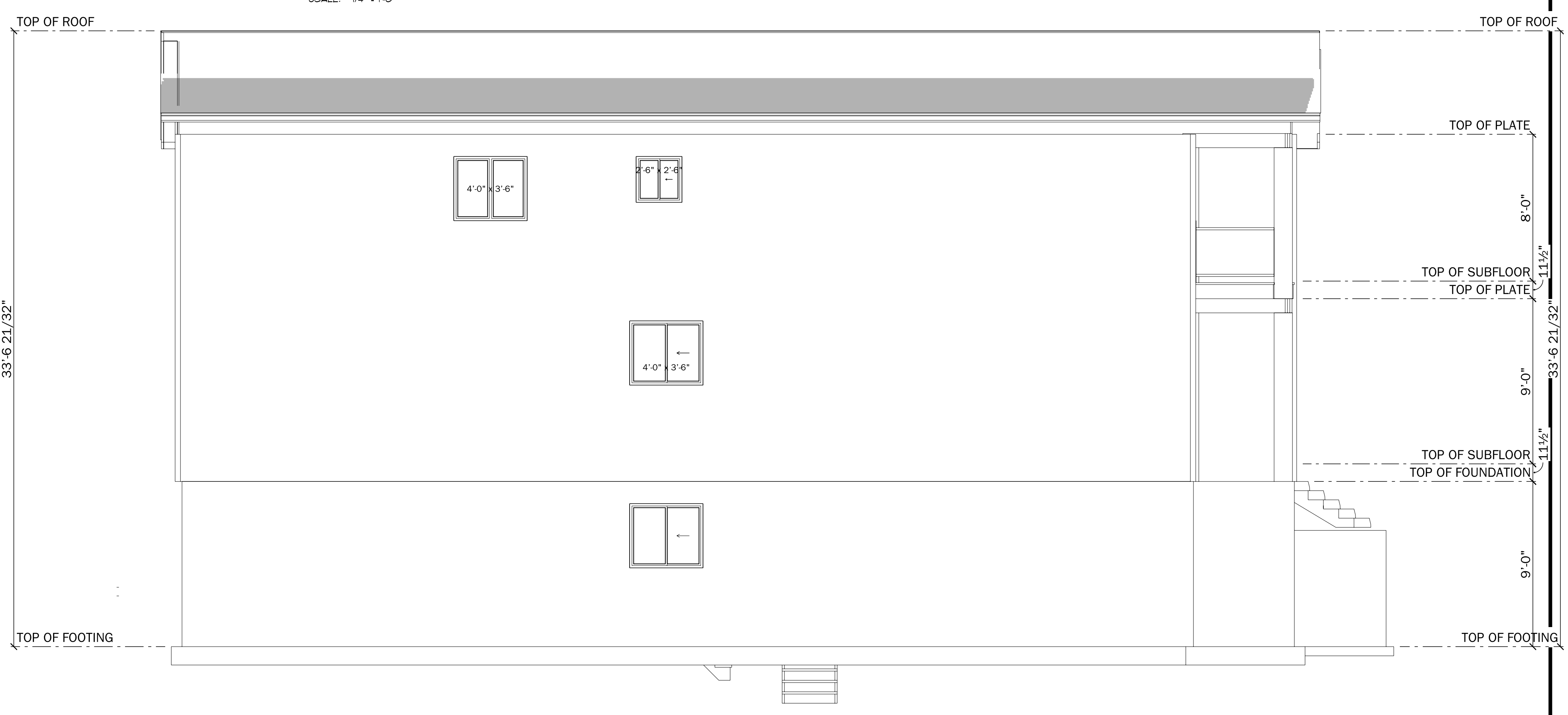
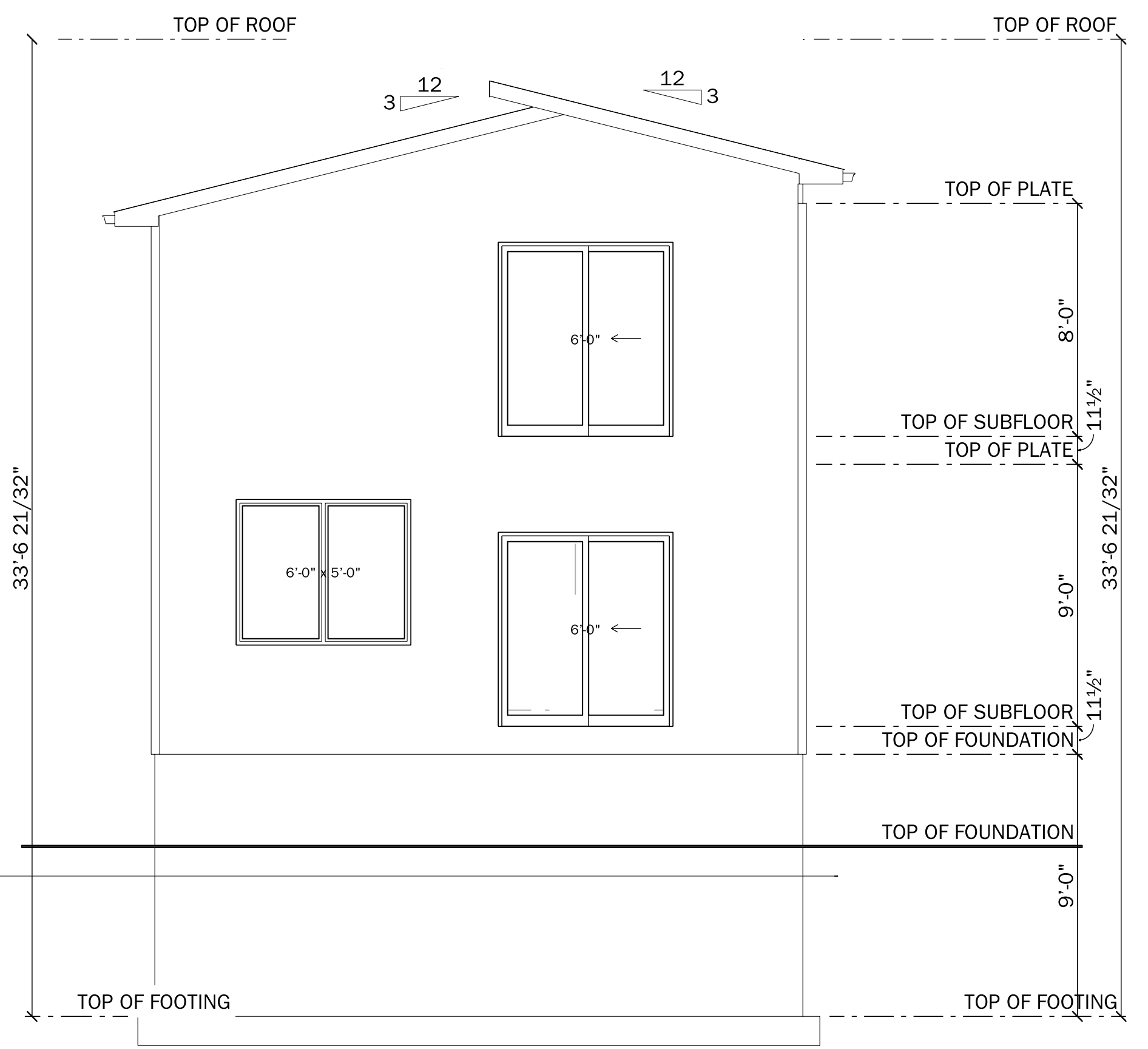
1650 Shawnee Rd.
Tecumseh, ON
N8N 1S5





FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATIONS

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1690 Shawnee Rd.
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