

## Notice of Public Hearing – Committee of Adjustment Application

File # A-044/26 - 3371 BYNG RD

Date Mailed: July 1, 2026

### Electronic hearing:

By videoconference on July 16, 2026 at 3:30 PM

### Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on July 1, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

## APPLICANT AND PROPERTY INFORMATION

**LEGAL DESCRIPTION:** PLAN 1215 LOT 141 PT ALLEY AND RP 12R29420 PARTS 1 AND 4

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
	Residential RD1.1

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p><b>Owner Name:</b> LISA MARIE FRICKEY</p> <p><b>Applicant Name:</b> Nick BIBIC Galaxy Custom Homes</p>		3371 BYNG RD

## PURPOSE OF APPLICATION

**Minor Variance** - Construction of new home with back porch requesting relief for maximum Lot Coverage:

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-Law 8600	Sectopm 10.1.5.3	Maximum Lot Coverage	45.0 %	46.9%

## How do I participate if I have comments or concerns?

### Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

### Participate in the hearing by videoconference (Microsoft Teams)

**Two ways to register:** 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

**Applicant(s)** – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

### Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer ([jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.

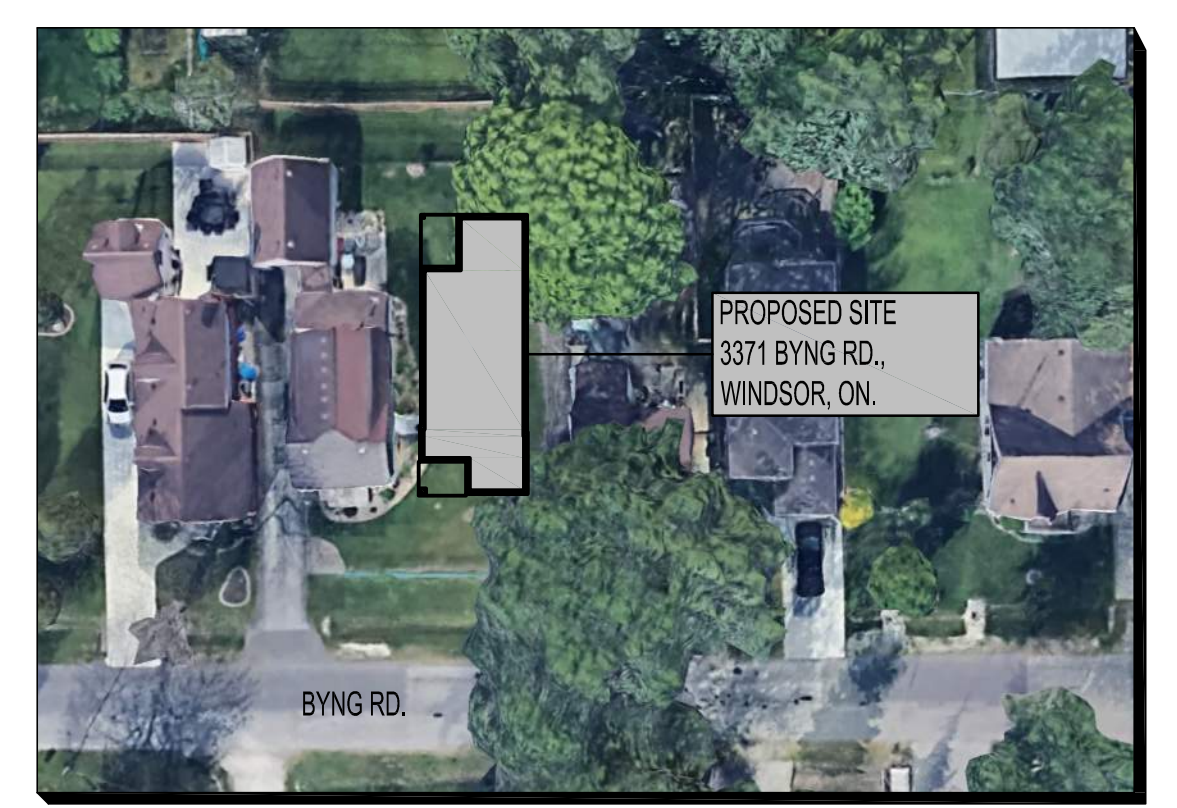


#### Contact Information:

Jessica Watson  
Secretary-Treasurer  
Committee of Adjustment  
Suite 320, 350 City Hall Square West  
Windsor, ON N9A6S1  
Phone: 519-255-6543 ext. 6450 or 6436  
[COAdjustment@citywindsor.ca](mailto:COAdjustment@citywindsor.ca)

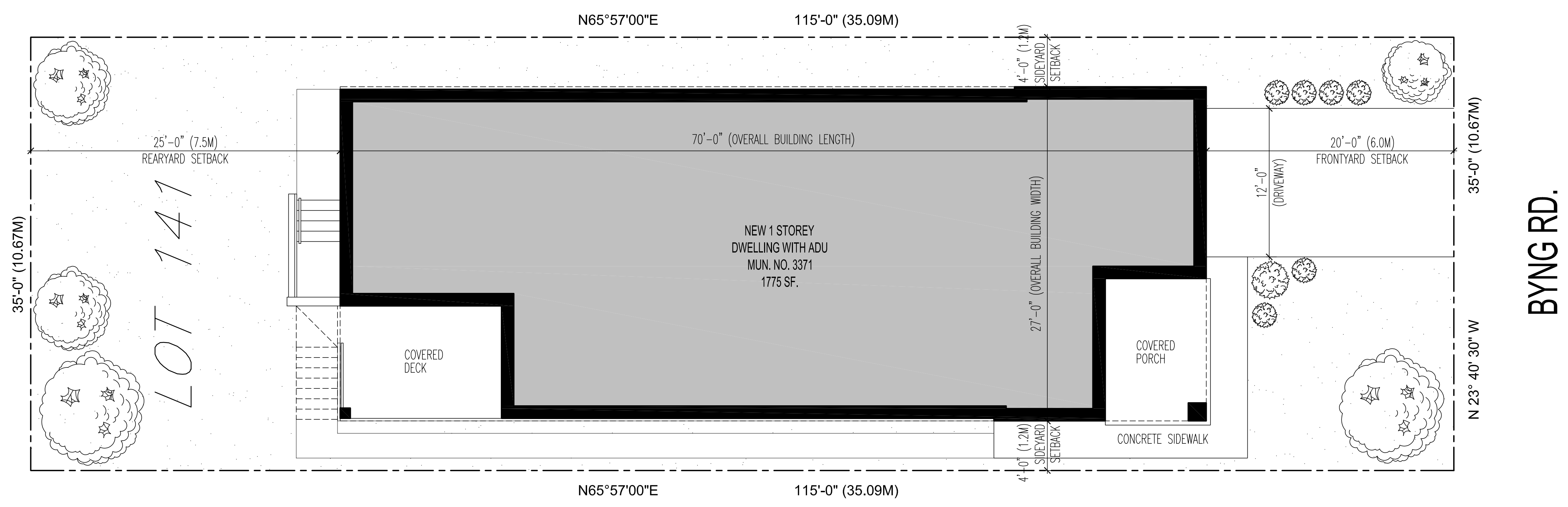
- GENERAL NOTES / SPECIFICATIONS:**
- THE BUILDING CODE, 2012 EDITION REG. 332/12 SHALL BE THE BASIS OF THE DESIGN AND CONSTRUCTION OF THIS STRUCTURE.
  - ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT 1980, ONT. REG. 213/91.
  - WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
  - GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL ARRANGE FOR INSPECTIONS AS REQUIRED BY ALL APPLICABLE CODES AND REGULATIONS.
  - GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE PROJECT. THE ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
  - GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF THE EXISTENCE OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR ORDINANCES OF REGULATORY AGENCIES.
  - THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY OMISSIONS TO, ERRORS PERTAINING TO, OR DEVIATIONS FROM THIS SET OF DRAWINGS DURING THE CONSTRUCTION PROCESS.
  - ENSURE SITE CONDITIONS TO BE REPAIRED AS REQUIRED & CLEANED OF ALL DEBRIS FOLLOWING CONSTRUCTION.
  - WINDOW & DOOR SIZES ARE SHOWN FOR REFERENCE ONLY. G.C. SHALL CONSULT MANUFACTURER SPECIFICATIONS FOR ALL EXACT ROUGH OPENING SIZES AND GLAZING DIMENSIONS PRIOR TO CONSTRUCTION. LOCATION, HEAD HEIGHTS, & SILL HEIGHTS TO BE CONFIRMED ON SITE BY G.C. PRIOR TO CONSTRUCTION.
  - PERMIT APPLICANT TO SUBMIT EITHER A TRUSS DESIGN DATA SHEET OR THE COMPLETE TRUSS DESIGN DRAWINGS FOR ANY PRE-ENGINEERED ROOF TRUSSES OR GIRDERS.
  - PROVIDE RIGID INSULATION AT ALL PERIMETER SLAB ON GRADE CONDITIONS.
  - VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED.
  - MECHANICAL & ELECTRICAL SYSTEMS DESIGN BY OTHERS.
  - THESE DWGS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS. G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS, INFO, ENG. STAMPS FOR CONC. REINFORCING, LATEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES.
  - DESIGNER IS NOT HIRED NOR RESPONSIBLE FOR CONSTRUCTION REVIEW DURING CONSTRUCTION. ANY INTERIOR OR EXTERIOR MODIFICATIONS MADE BY G.C. DURING CONSTRUCTION MUST BE REPORTED TO THIS CONSULT. IF NOT, THE DESIGNER WILL NOT TAKE ANY RESPONSIBILITY FOR ERRORS MADE DURING CONSTRUCTION INCURRING COST TO THE DESIGNER.
  - G.C. MUST CHECK ALL DIMENSIONS OF PLANS AND FIELD DIM. PRIOR TO ORDERING PRE. ENG. TRUSSES AND REPORT DIFFERENCES TO THIS DESIGNER IN WRITING PRIOR TO FABRICATION OF TRUSSES.
  - G.C. IS RESPONSIBLE TO KEEP ALL DESIGN COMPONENTS AND LAYOUT THE SAME AS PER THESE DWGS. FAILURE TO DO SO VOID THESE DWGS AND FIELD MEASUREMENTS AND MUST BE DONE TO SUIT ON SITE CONDITIONS.
  - EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION. G.C. MAY USED APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MIN. CODE. DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING SYSTEMS.
  - EXTERIOR FINISHES, WINDOW & DOOR SIZES AND STYLES, KITCHEN LAYOUTS, BATHROOM LAYOUTS, AND BASEMENT DESIGNS SHOW WHAT THE HOUSE CAN INCLUDE. G.C. CONTACT SHALL SUPERCEDE IN ALL ABOVE MENTIONED CATEGORIES.

Name of Practitioner: PASSA ASSOCIATES INC. ARCHITECTS 302 - 374 OUELLETTE AVE., WINDSOR, ONTARIO E: studio@passa.ca		Name of Project: BYNG HOUSE	
Location: 3371 BYNG RD., WINDSOR, ON.			
ITEM: ONTARIO BUILDING CODE DATA MATRIX - PARTS 3 OR 9		BUILDING CODE REFERENCE	
1. PROJECT DESCRIPTION: NEW MEDICAL OFFICE BUILDING		<input type="checkbox"/> PART 11 <input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9	
2. MAJOR OCCUPANCY(S): GROUP C - RESIDENTIAL (SINGLE FAMILY DWELLING + ADU.)		3.2.2.20 - A3 9.10.2	
3. BUILDING AREA (m <sup>2</sup> ): EXISTING: N/A NEW: 111.16 TOTAL: 111.16		1.4.1.2.(A) 1.4.1.2.(A) 1.4.1.2.(A)	
4. GROSS AREA (m <sup>2</sup> ): EXISTING: N/A NEW: 111.16 TOTAL: 111.16		1.4.1.2.(A) 1.4.1.2.(A) 1.4.1.2.(A)	
5. NUMBER OF STOREYS: ABOVE GRADE: 1 BELOW GRADE: 1		1.4.1.2.(A) & 3.2.1.1. 1.4.1.2.(A) & 9.10.4	
6. NUMBER OF STREETS / FIRE FIGHTER ACCESS: 1 STREET		3.2.2.19 & 3.2.5. 9.10.20	
7. BUILDING CLASSIFICATION: GROUP C, RESIDENTIAL		3.2.2.20 - A3 9.10.2	
8. SPRINKLER SYSTEM PROPOSED:		<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPONENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	
9. STANDPIPE REQUIRED:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.9. N/A	
10. FIRE ALARM REQUIRED:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.4. 9.10.18	
11. WATER SERVICE / SUPPLY IS ADEQUATE:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.5.7. N/A	
12. HIGH BUILDING:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.6. N/A	
13. CONSTRUCTION RESTRICTIONS:		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH 3.2.2.20 - A3 9.10.8.	
14. MEZZANINE AREA (m <sup>2</sup> ): 0		3.2.1.1.(9)-(8) 9.10.4.1.	
15. OCCUPANT LOAD BASED ON:		<input type="checkbox"/> m <sup>2</sup> / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING BASEMENT: OCCUPANCY: C LOAD 4 PERSONS 1 <sup>ST</sup> FLOOR: OCCUPANCY: C LOAD 4 PERSONS 2 <sup>ND</sup> FLOOR: OCCUPANCY: C LOAD 2 PERSONS	
16. BARRIER FREE DESIGN:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAN) 3.8. 9.5.2.	
17. HAZARDOUS SUBSTANCES:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.1.2. & 3.3.1.9. 9.10.1.3.(4)	
18. REQUIRED FIRE RESISTANCE RATING (FRR):		HORIZONTAL ASSEMBLIES: FRR (HOURS) LISTED DESIGN NO. OR DESCRIPTION (S8-2) 3.2.2.20 - A3 & 3.2.1.4. 9.10.8. 9.10.9. ROOF: 0 HOURS FLOORS: 3/4 HOURS MEZZANINE: N/A HRS FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (S8-2)	
19. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS:		WALL AREA OF FIRE (M <sup>2</sup> ) L.D. (M) L.S. (M) OR MAX. S. OF OPENINGS PERMITTED OPENINGS PROPOSED (M) FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMBUSTIBLE CONSTRUCTION COMBUSTIBLE GLAZING / NONCOMBUSTIBLE FLOORING NONCOMBUSTIBLE CONSTRUCTION NORTH: 117.9 1.2 3.5 7% 7% TABLE 9.10.15.4 YES COMBUSTIBLE NO SOUTH: 89.7 1.2 4.6 7% 7% TABLE 9.10.15.4 YES COMBUSTIBLE NO EAST: 26.6 6 1.3 88% 10.8% TABLE 9.10.15.4 YES COMBUSTIBLE NO WEST: 24.7 7.5 1.2 100% 16.6% TABLE 9.10.15.4 YES COMBUSTIBLE NO	
20. PLUMBING FIXTURE REQUIREMENTS:		MALE/FEMALE COUNT @ 50 % / 50 % EXCEPT AS NOTED OTHERWISE: OCCUPANT LOAD BC TABLE NUMBER FIXTURES REQUIRED FIXTURES PROVIDED BASEMENT: OCCUPANCY: C 4 9.31.4.1.(1) 1 (TOTAL) 1 (TOTAL) 1 <sup>ST</sup> FLOOR: OCCUPANCY: C 4 9.31.4.1.(1) 1 (TOTAL) 2 (TOTAL) 2 <sup>ND</sup> FLOOR: OCCUPANCY: C 2 9.31.4.1.(1) 0 (TOTAL) 0 (TOTAL)	
21. OTHER (DESCRIBE):			

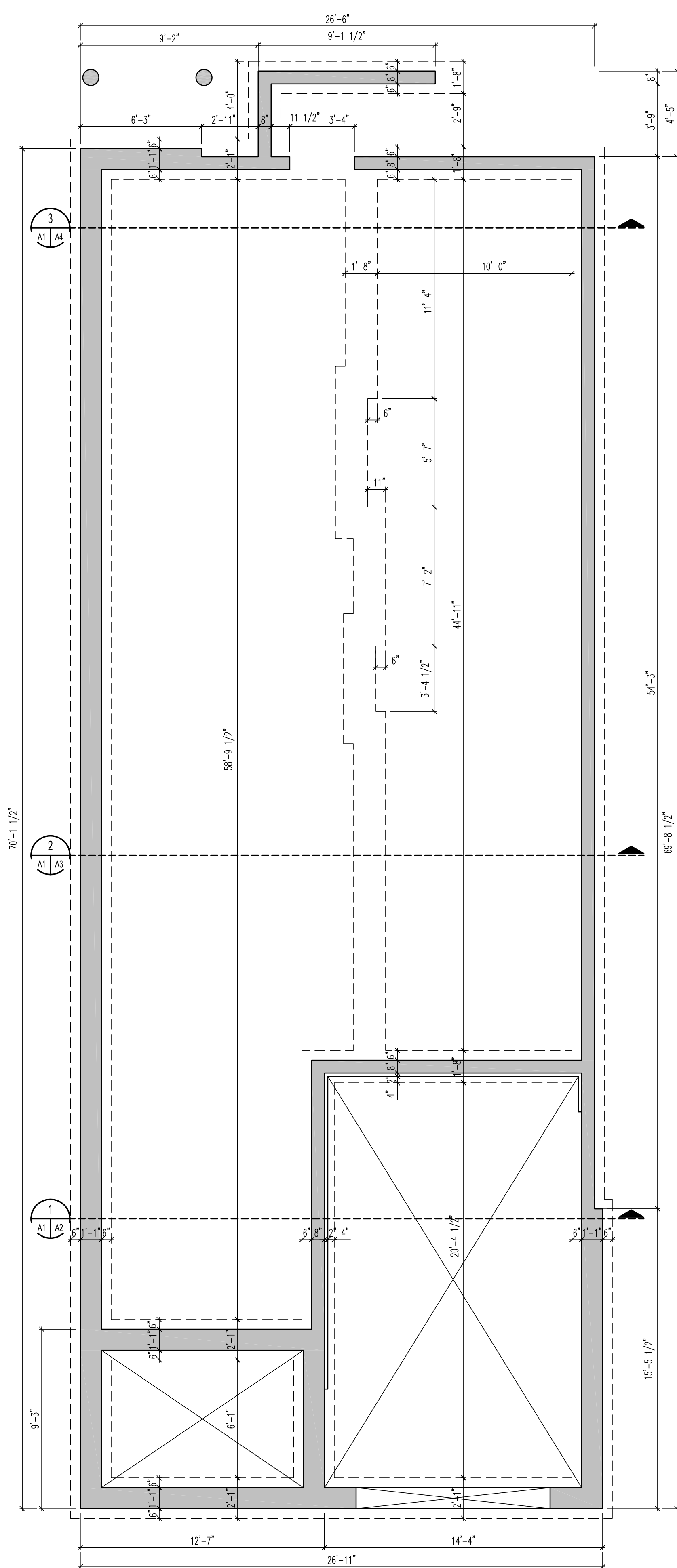


LOCATION PLAN  
SCALE: NTS

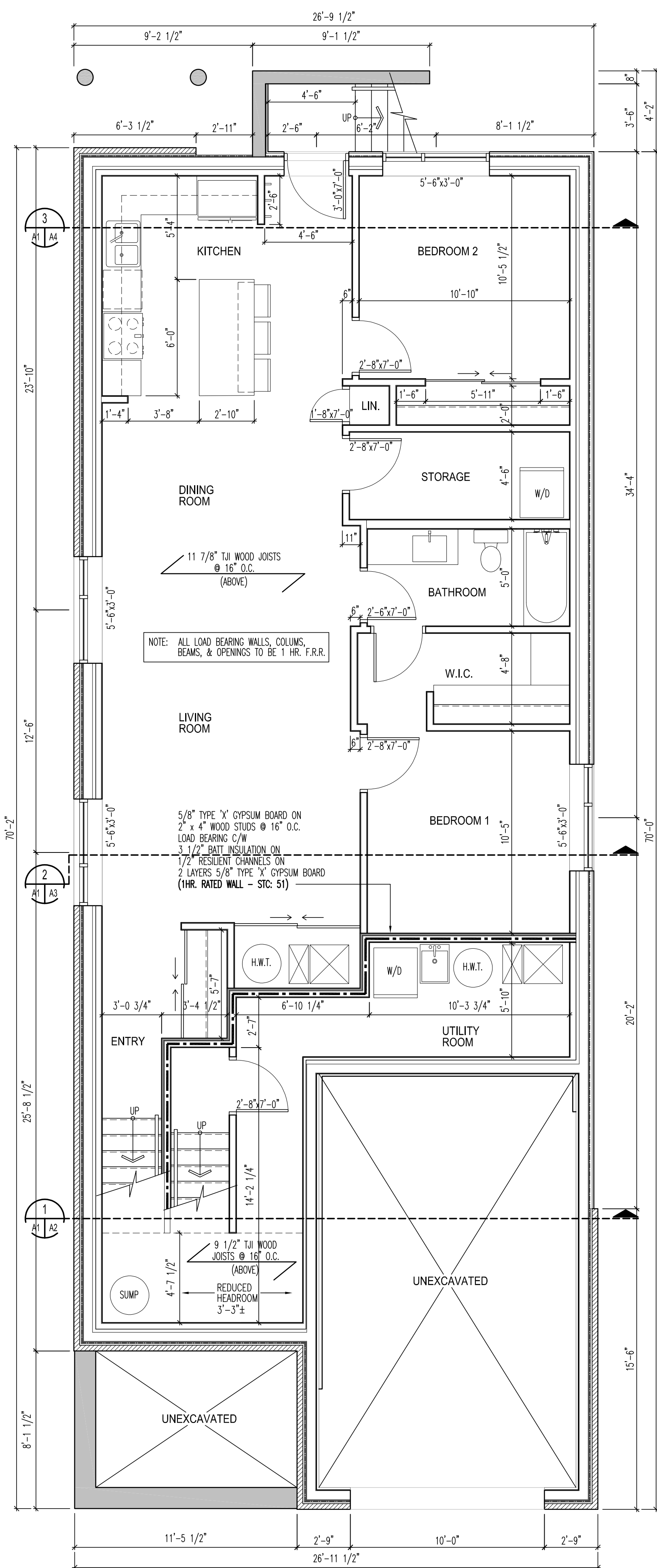
2712 - BYNG HOUSE LIST OF DRAWINGS	
ARCHITECTURAL	
A0	LOCATION PLAN, SITE PLAN, LIST OF DRAWINGS
A1	FOUNDATION PLAN, BASEMENT FLOOR PLAN & FIRST FLOOR PLAN
A2	BEDROOM FLOOR PLAN, ROOF PLAN, & BUILDING SECTION
A3	BUILDING SECTION
A4	BUILDING SECTION
A5	EXTERIOR ELEVATIONS
A6	REFLECTED CEILING PLANS



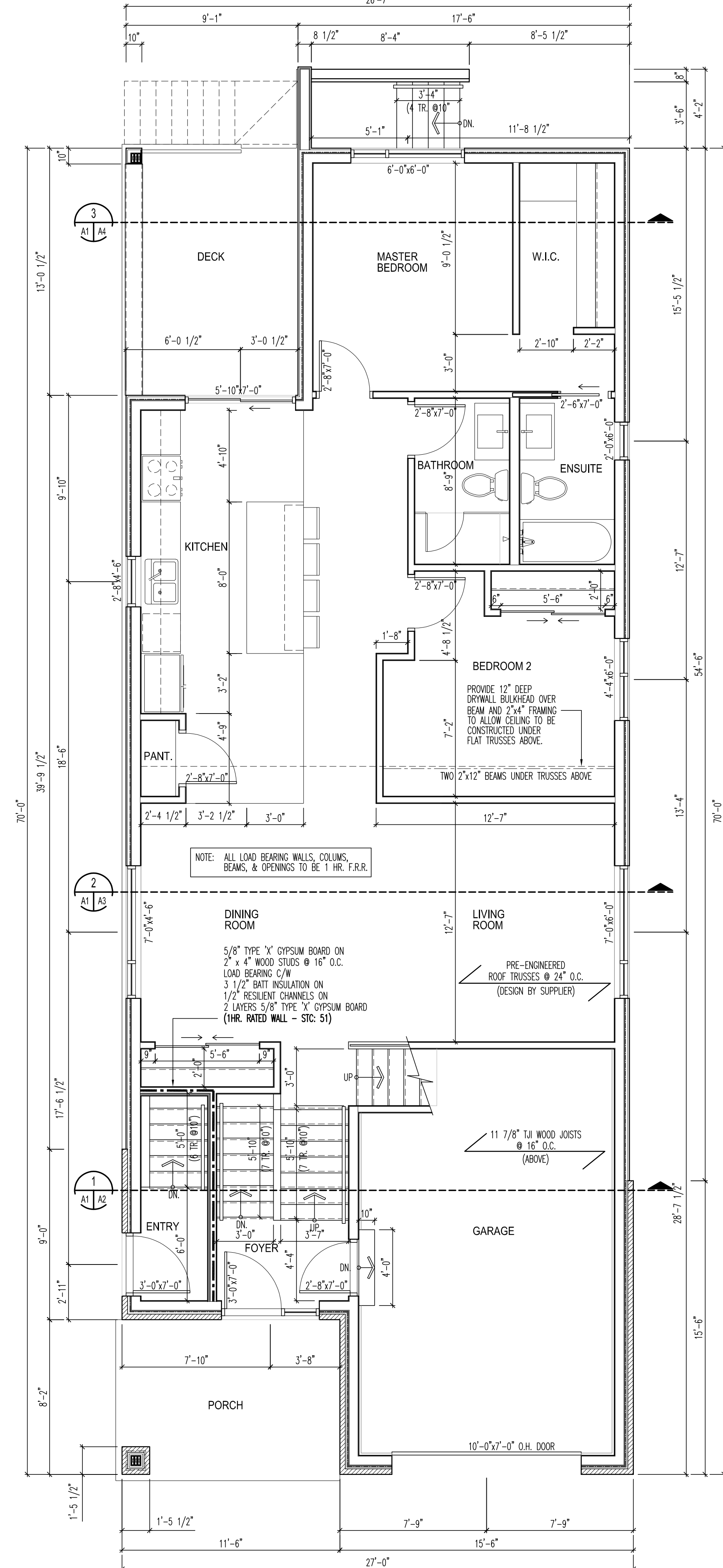
SITE PLAN  
SCALE: 3/16" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



LINTEL SCHEDULE (INTERIOR)			
LINTEL SIZE	MAX. SPAN		
	ROOF + CEIL.	ROOF + CEIL. & 1 STOREY	ROOF + CEIL. & 2 STOREYS
2 - 2" x 4"	3'-0"	2'-5"	2'-1"
2 - 2" x 6"	4'-5"	3'-3"	2'-10"
2 - 2" x 8"	5'-4"	3'-11"	3'-5"
2 - 2" x 10"	6'-7"	4'-9"	4'-2"
2 - 2" x 12"	7'-7"	5'-5"	4'-9"

NOTES: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS

LINTEL SCHEDULE (EXTERIOR)			
LINTEL SIZE	MAX. SPAN		
	ROOF + CEIL.	ROOF + CEIL. & 1 STOREY	ROOF + CEIL. & 2 STOREYS
2 - 2" x 4"	4'-1"	3'-5"	3'-0"
2 - 2" x 6"	6'-4"	4'-10"	4'-6"
2 - 2" x 8"	7'-8"	5'-11"	5'-4"
2 - 2" x 10"	9'-5"	7'-3"	6'-6"
2 - 2" x 12"	10'-11"	8'-5"	7'-6"

NOTES: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS

EXTERIOR WALL STUDS (BRICK)		
STUD LENGTH	SUPPORTING 9.84' OF ROOF	SUPPORTING 19.68' OF ROOF
12.46'	2" x 6" @ 16" O.C.	2" x 6" @ 16" O.C.
13.77'	2" x 6" @ 12" O.C.	2" x 6" @ 12" O.C.
15.09'	2 - 2" x 6" @ 16" O.C.	2 - 2" x 6" @ 16" O.C.
16.4'	2 - 2" x 6" @ 16" O.C.	2 - 2" x 6" @ 16" O.C.
17.39'	2 - 2" x 6" @ 12" O.C.	2 - 2" x 6" @ 12" O.C.
18.37'	2 - 2" x 6" @ 12" O.C.	2 - 2" x 6" @ 12" O.C.

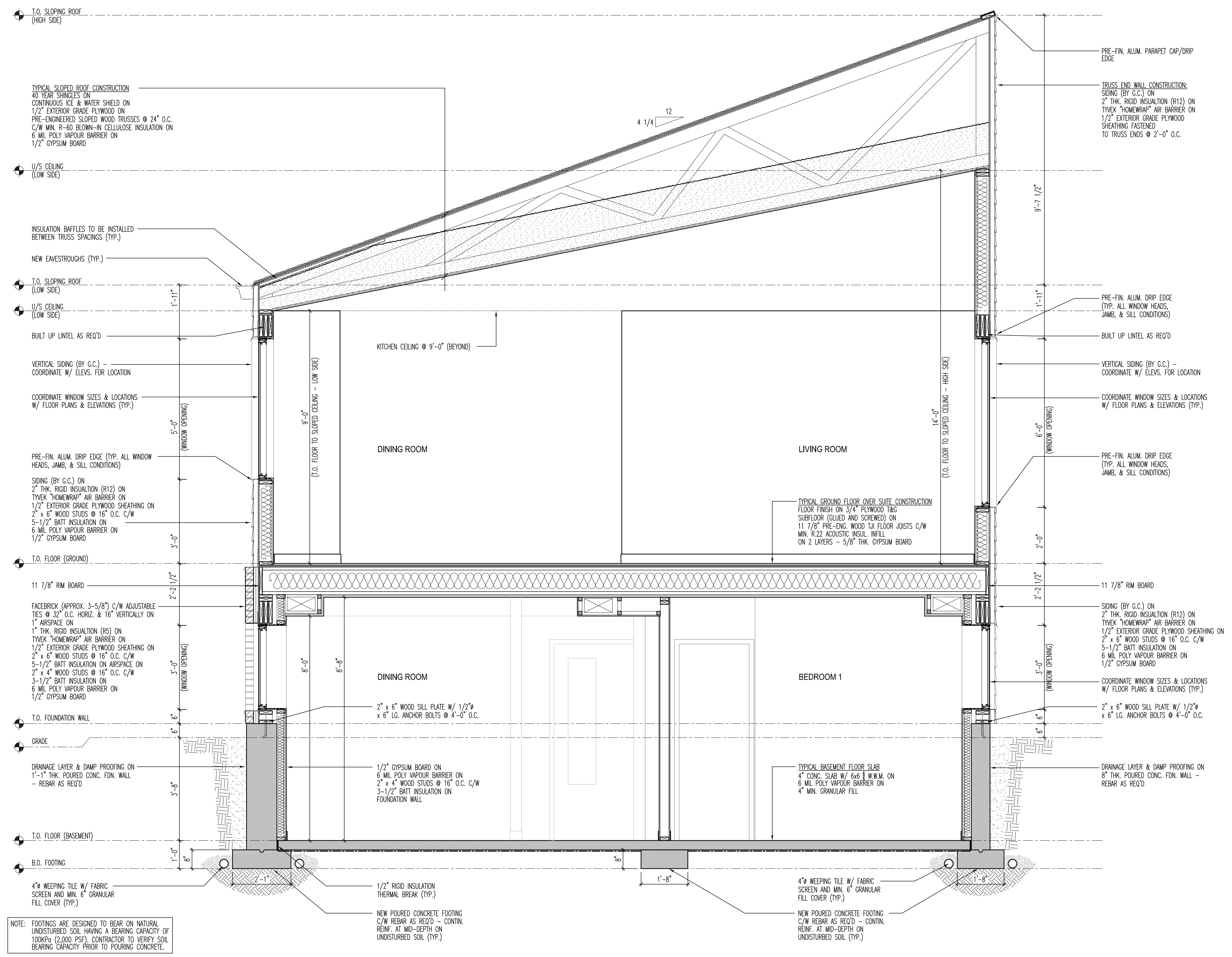
NOTES: ASSUMES 0.5 kPa HOURLY WIND PRESSURE & 1.0 kPa SNOW LOAD

EXTERIOR WALL STUDS (SIDING)		
STUD LENGTH	SUPPORTING 9.84' OF ROOF	SUPPORTING 19.68' OF ROOF
12.46'	2" x 6" @ 16" O.C.	2" x 6" @ 16" O.C.
13.77'	2" x 6" @ 16" O.C.	2" x 6" @ 16" O.C.
15.09'	2" x 6" @ 16" O.C.	2" x 6" @ 16" O.C.
16.4'	2" x 6" @ 16" O.C.	2" x 6" @ 16" O.C.
17.39'	2" x 6" @ 12" O.C.	2" x 6" @ 12" O.C.
18.37'	2" x 6" @ 12" O.C.	2" x 6" @ 12" O.C.

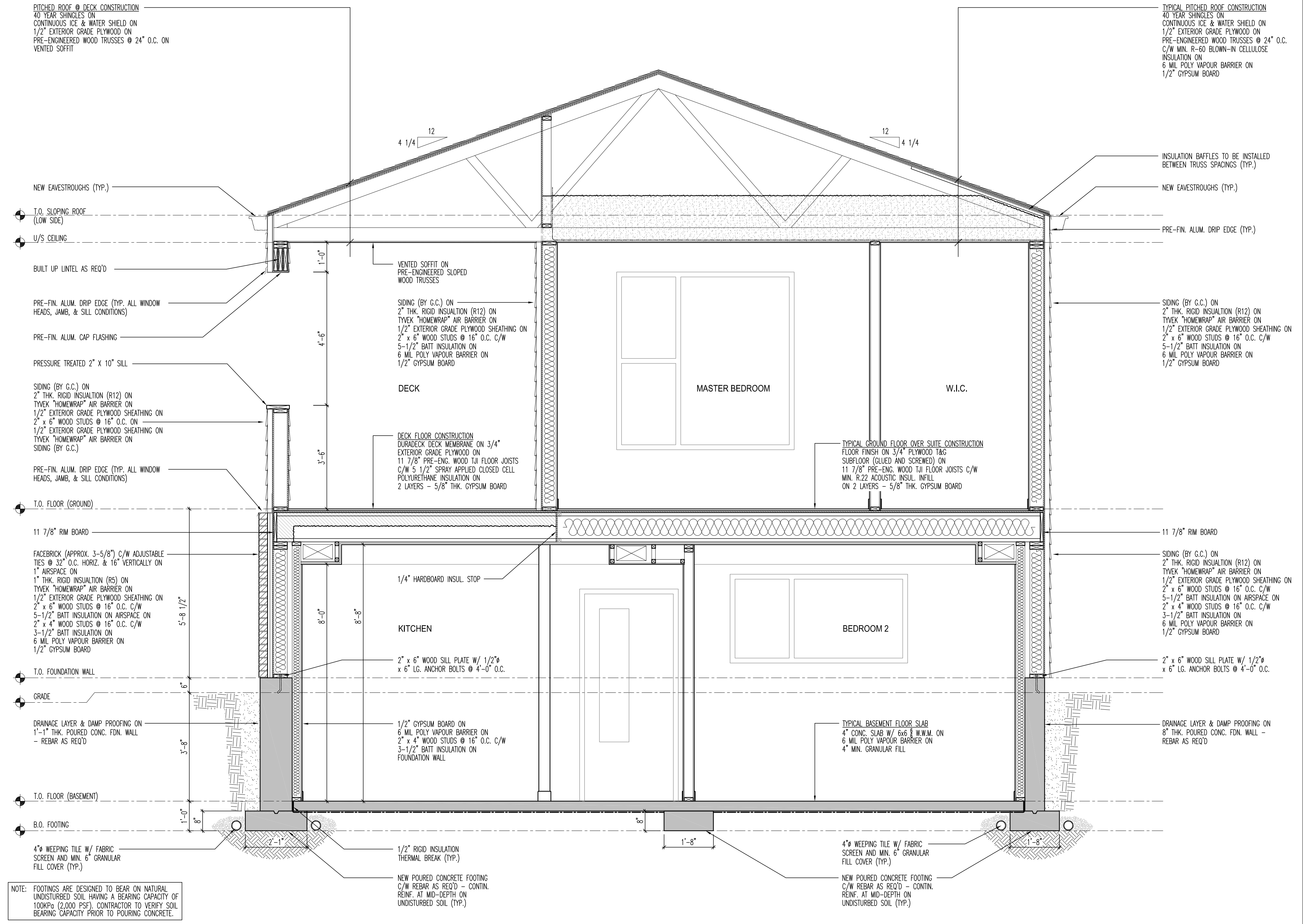
NOTES: ASSUMES 0.5 kPa HOURLY WIND PRESSURE & 1.0 kPa SNOW LOAD

STEEL LINTEL SCHEDULE	
LOOSE STEEL LINTELS FOR MASONRY EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)	
MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
7'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"

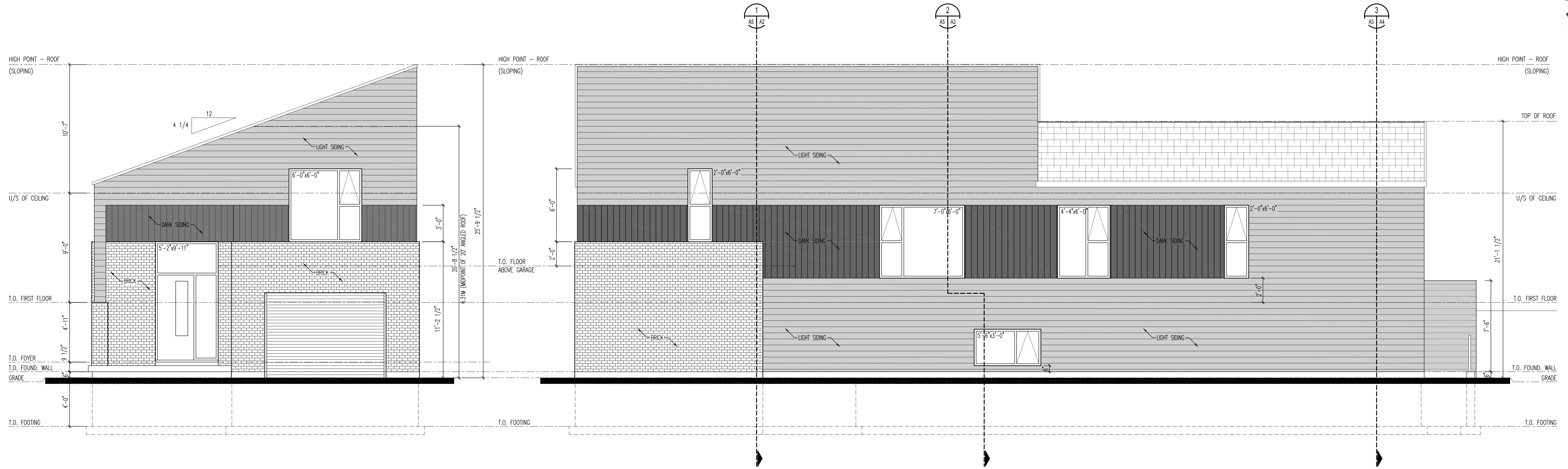
NOTES: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS OR ELEVATIONS



2 BUILDING SECTION  
SCALE: 1/2" = 1'-0"

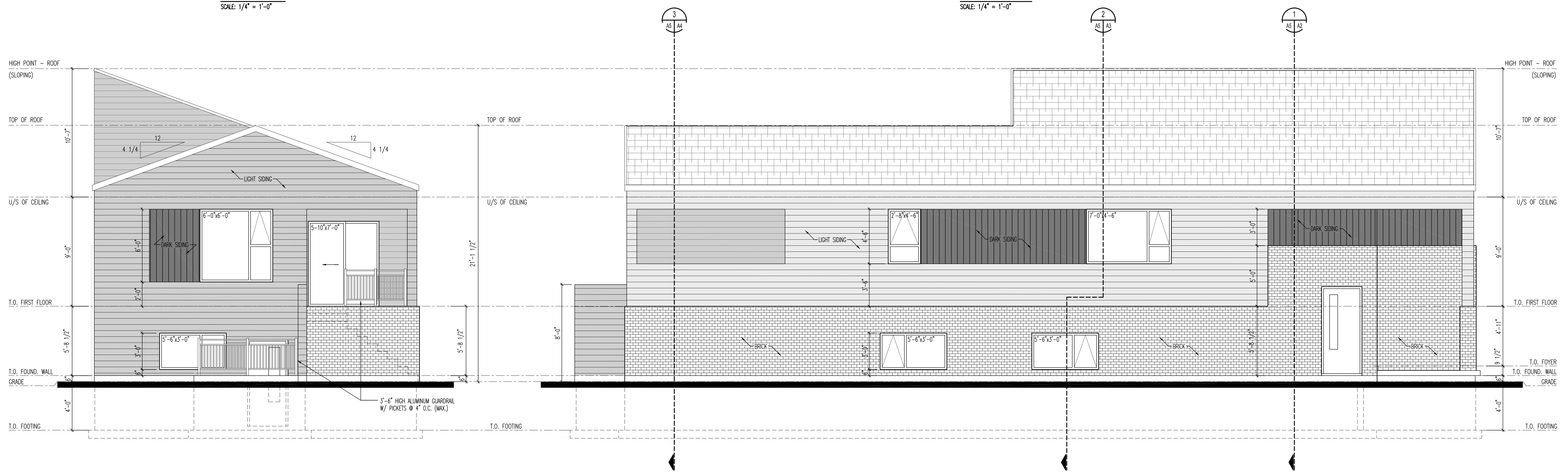


3 BUILDING SECTION  
SCALE: 1/2" = 1'-0"



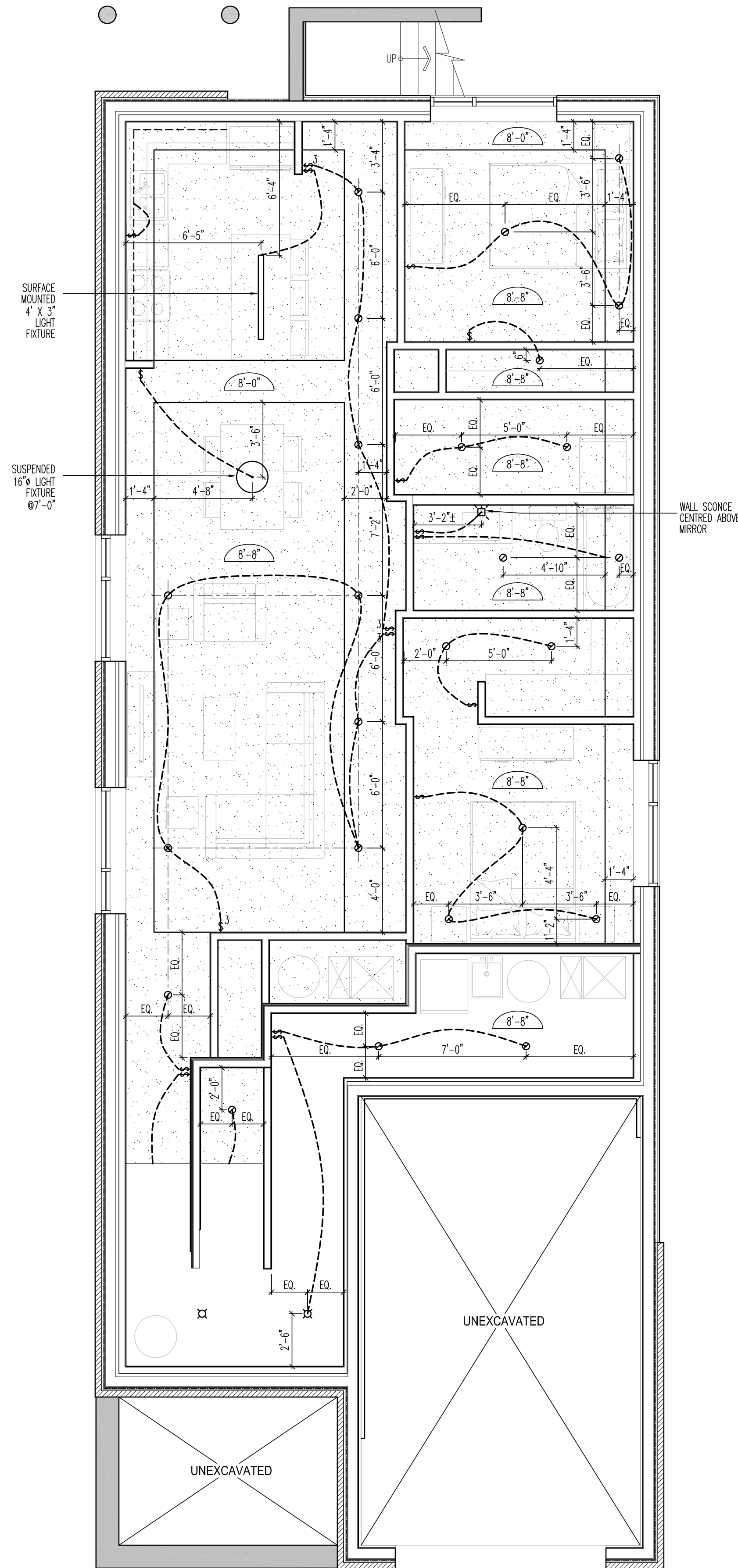
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

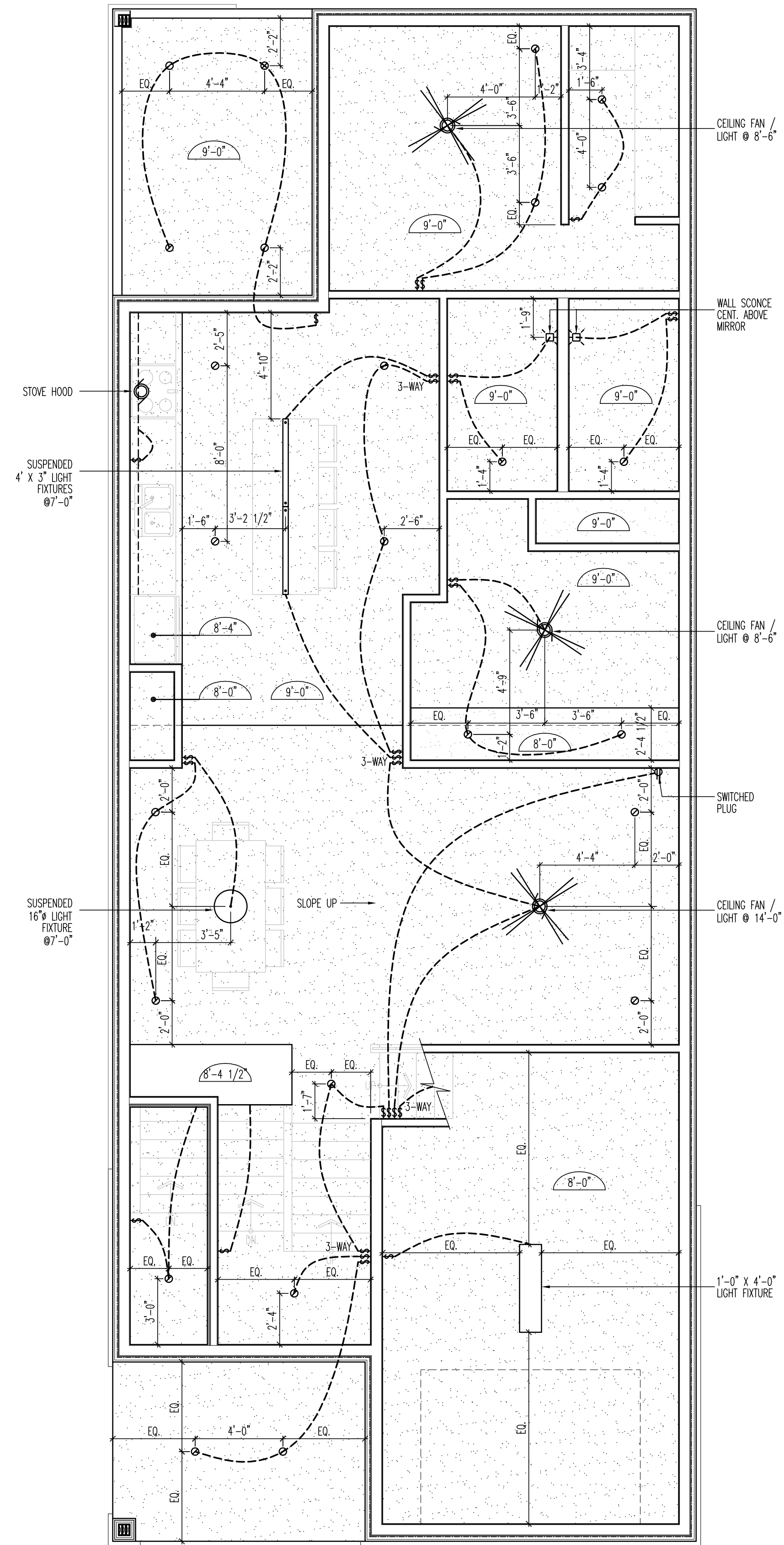


**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

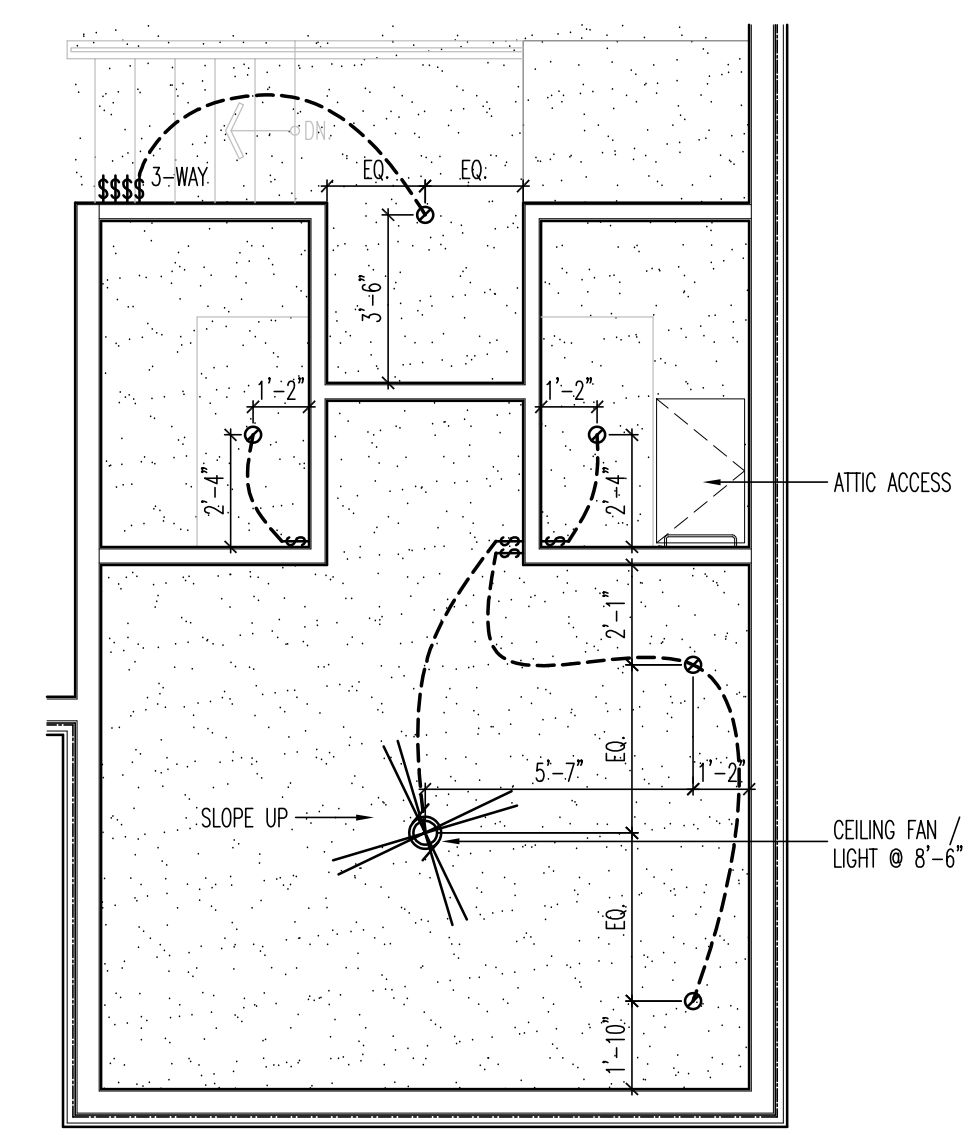
**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**BASMENT REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**BEDROOM REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"