

# COMMITTEE OF ADJUSTMENT

APPLICANT : KEVIN WAI HANG HU

ADDRESS : 8150 RIVERSIDE DRIVE EAST

 SUBJECT LANDS

N.T.S.





# CITY OF WINDSOR

File: A-027/25

## COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on March 26, 2025.

### APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600

**Owner:** KEVIN WAI HANG HU **Location:** 8150 RIVERSIDE DR E

**Legal Description:** CONC. 1; PT LOT 129; PLAN 470; LOT 4 & PT LOTS 3 & 5 & PT OF WATER LOT **Zoning:** Residential RD1.6

**Official Plan:** Residential

**Explanation:** Seeking relief for the location of an accessory building in a front yard, thereby requesting the following relief:

#### Section 5.10.7 – Location of Accessory Building

By Law Requirements	Proposed
Rear Yard or Side Yard	Front Yard

### COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450

**When:** April 10, 2025 at 3:30 pm

**Where:** VIA VIDEO CONFERENCE

*(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)*

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

**The applicant or agent must attend the meeting.** If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson  
Secretary-Treasurer, Committee of Adjustment

Dated: March 27, 2025

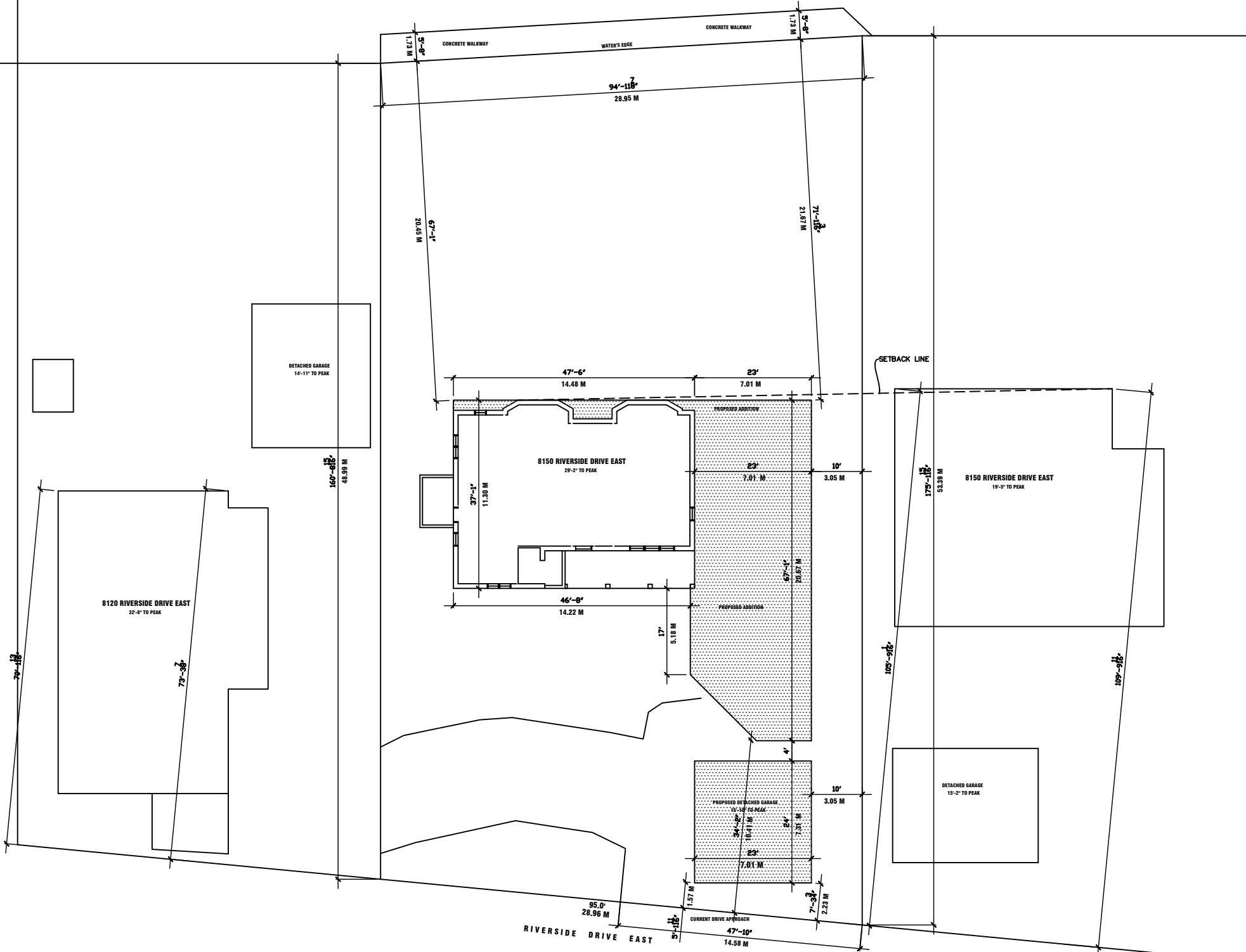
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1	<b>Application Information</b>			
	Name of ALL Owners	Contact No.	Business Telephone No.	
	Address		Postal Code	
	E-Mail Address:			
	Name of Contact Person/Agent (if different than owner)	Contact No.	Business Telephone No.	
	Address	Postal Code	Fax No.	
E-Mail Address:				
<b>PAYMENT CONTACT INFORMATION ONLY:</b>				
<b>Name:</b>				
<b>Contact No:</b>				
2	Date application submitted to the City of Windsor.			
3	Present Official Plan Provisions applying to the land:			
4	Present Zoning By-law provisions applying to the land:			
5	Nature and extent of relief applied for: (you MUST list each By-law Section etc. and relief requested)			
6	State why it is NOT possible to comply with the provisions of the by-law. ( Must be complete)			
7	<b>Legal Description of the Subject Land(s)</b>			
	Municipality	Street Name	Street Address	
	Concession Number(s)	Registered/reference Plan No.	Lot/Part No.(s)	
Parcel No.				
8	<b>Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE</b>			
	Lot Frontage/Width	Depth	Lot Area	
9	Access (check appropriate space)	Provincial Highway .....	<input type="checkbox"/>	<input type="checkbox"/>
		Municipal road, maintained all year .....	<input type="checkbox"/>	<input type="checkbox"/>
		Municipal road, seasonally maintained .....	<input type="checkbox"/>	<input type="checkbox"/>
		Other public road .....	<input type="checkbox"/>	<input type="checkbox"/>
		Right of way .....	<input type="checkbox"/>	<input type="checkbox"/>
		Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road	<input type="checkbox"/>	<input type="checkbox"/>
		_____		
10	Water Supply	Publicly owned and operated piped water system...	<input type="checkbox"/>	<input type="checkbox"/>
		Privately owned and operated.....	<input type="checkbox"/>	<input type="checkbox"/>
		Individual or communal well.....	<input type="checkbox"/>	<input type="checkbox"/>
		Lake or other water body.....	<input type="checkbox"/>	<input type="checkbox"/>
		Other _____	<input type="checkbox"/>	<input type="checkbox"/>
11	Sewage Disposal	Publicly owned and operated piped sewage system.....	<input type="checkbox"/>	<input type="checkbox"/>
		Privately owned and operated individual or communal septic tank system.....	<input type="checkbox"/>	<input type="checkbox"/>
		Pit, privy, or other _____	<input type="checkbox"/>	<input type="checkbox"/>

12	Storm Drainage	Municipal Sewers Ditches or Swales Other (specify)	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13	<b>The existing uses of the subject land:</b>  <b>NOTE: legal non-conforming use applications <u>must</u> provide evidence to support its status to the Planning Department (Zoning Coordinator and Planner).</b>			
14	<b>The proposed uses of the subject land:</b>			
15	<b>Whether any buildings or structures are proposed to be built on the subject land.</b>  <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown  <b>If the answer to item 15 is yes, for each building or structure please provide on the drawing submitted the type of building or structure, the setback from the front lot line, rear lot line, and side lot lines, the height in metres of the building or structure and the dimensions or floor area of the building or structure.</b>			
16	Date the subject land was acquired by the current owner.			<input type="checkbox"/> Unknown
17	The date the existing buildings or structures on the subject land were constructed.			<input type="checkbox"/> Unknown
18	The length of time that the existing uses of the subject land have continued.			<input type="checkbox"/> Unknown
19	<b>If known, whether the subject land has ever been the subject of an application under section 45 of the Act?</b>  <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown  <b>If yes, describe briefly: Year: _____ Type of Relief: _____</b>			
20	<b>If known, whether the subject land is the subject of an application under the Act for approval of a plan of subdivision or a consent?</b>  <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown  <b>If yes, the status of the application:</b>			
21	<b>Applications submitted without the noted requirements will be considered incomplete and will be returned.</b> <u>Minimum Standards for Drawings:</u>  <b>Ontario Regulations 200/96 of the Planning Act provides the requirement of a sketch showing the following: its:</b>		Included	Not Applicable
	a) The boundaries and dimensions of the subject land.		<input type="checkbox"/>	<input type="checkbox"/>
	b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and side yard lot lines.		<input type="checkbox"/>	<input type="checkbox"/>
	c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream bands, wetlands, wooded areas, wells and septic tank.		<input type="checkbox"/>	<input type="checkbox"/>
	d) The current uses on land that is adjacent to the subject land.		<input type="checkbox"/>	<input type="checkbox"/>
	e) The location, width and name of any roads withing or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.		<input type="checkbox"/>	<input type="checkbox"/>
	f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.		<input type="checkbox"/>	<input type="checkbox"/>
	g) The location and nature of any easement affecting the subject land.			
	<b>The required sketch map has been included with this application form.</b> <input type="checkbox"/> Yes <input type="checkbox"/> No			

**Note: Drawings must be in metric units.  
Examples of acceptable drawings can be obtained upon request.**



**PROPOSED SITE PLAN**

8150 RIVERSIDE DRIVE EAST

JANUARY 23, 2025