



# COMMITTEE OF ADJUSTMENT

APPLICANT : HAO CHENG YU, FENG YU

ADDRESS : 425-429 PARTINGTON AVENUE

 SUBJECT LANDS

N.T.S.





# CITY OF WINDSOR

File: A-026/25

## COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on March 26, 2025.

### APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600

**Owner:** HAO CHENG YU, FENG YU                      **Location:** 425 PARTINGTON AVE  
**Legal Description:** PLAN 933 LOT 24                      **Zoning:** Residential RD1.3  
**Official Plan:** Residential  
**Explanation:** Proposed ADU with reduced minimum lot coverage and increased maximum GFA, thereby seeking the following relief:

#### Section 5.10.9.10 - Maximum Lot Coverage for an Accessory Building

By Law Requirements	Proposed
10%	12.3%

#### Section 5.99.80.5b.7- Maximum GFA for Detached ADU

By Law Requirements	Proposed
100 m <sup>2</sup>	106 m <sup>2</sup>

### COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450

**When:** April 10, 2025 at 3:30 pm

**Where:** VIA VIDEO CONFERENCE

*(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)*

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

**The applicant or agent must attend the meeting.** If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson  
Secretary-Treasurer, Committee of Adjustment

Dated: March 27, 2025

Suite 210, 350 City Hall Square West  
Windsor ON N9A 6S1

Tel: 519-255-6543  
Fax: 519-255-6544  
Email: [jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)  
Web: [www.citywindsor.ca](http://www.citywindsor.ca)

1	<b>Application Information</b>			
	Name of ALL Owners	Contact No.	Business Telephone No.	
	Address		Postal Code	
	E-Mail Address:			
	Name of Contact Person/Agent (if different than owner)	Contact No.	Business Telephone No.	
	Address	Postal Code	Fax No.	
E-Mail Address:				
<b>PAYMENT CONTACT INFORMATION ONLY:</b>				
<b>Name:</b>				
<b>Contact No:</b>				
2	Date application submitted to the City of Windsor.			
3	Present Official Plan Provisions applying to the land: Residential			
4	Present Zoning By-law provisions applying to the land:			
5	Nature and extent of relief applied for: (you MUST list each By-law Section etc. and relief requested)			
6	State why it is NOT possible to comply with the provisions of the by-law. ( Must be complete)			
7	<b>Legal Description of the Subject Land(s)</b>			
	Municipality	Street Name	Street Address	
	Concession Number(s)	Registered/reference Plan No. Plan 933	Lot/Part No.(s) Lot 24	
	Parcel No.			
8	<b>Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE</b>			
	Lot Frontage/Width	Depth	Lot Area	
9	Access (check appropriate space)	Provincial Highway .....	<input type="checkbox"/>	<input type="checkbox"/>
		Municipal road, maintained all year .....	<input type="checkbox"/>	<input type="checkbox"/>
		Municipal road, seasonally maintained .....	<input type="checkbox"/>	<input type="checkbox"/>
		Other public road .....	<input type="checkbox"/>	<input type="checkbox"/>
		Right of way .....	<input type="checkbox"/>	<input type="checkbox"/>
		Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road	<input type="checkbox"/>	<input type="checkbox"/>
		_____		
10	Water Supply	Publicly owned and operated piped water system...	<input type="checkbox"/>	<input type="checkbox"/>
		Privately owned and operated.....	<input type="checkbox"/>	<input type="checkbox"/>
		Individual or communal well.....	<input type="checkbox"/>	<input type="checkbox"/>
		Lake or other water body.....	<input type="checkbox"/>	<input type="checkbox"/>
		Other _____	<input type="checkbox"/>	<input type="checkbox"/>
11	Sewage Disposal	Publicly owned and operated piped sewage system.....	<input type="checkbox"/>	<input type="checkbox"/>
		Privately owned and operated individual or communal septic tank system.....	<input type="checkbox"/>	<input type="checkbox"/>
		Pit, privy, or other _____	<input type="checkbox"/>	<input type="checkbox"/>

12	<b>Storm Drainage</b>	Municipal Sewers Ditches or Swales Other (specify)	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13	<b>The existing uses of the subject land:</b> Residential <b>NOTE: legal non-conforming use applications <u>must</u> provide evidence to support its status to the Planning Department (Zoning Coordinator and Planner).</b>			
14	<b>The proposed uses of the subject land:</b>			
15	<b>Whether any buildings or structures are proposed to be built on the subject land.</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown  <b>If the answer to item 15 is yes, for each building or structure please provide on the drawing submitted the type of building or structure, the setback from the front lot line, rear lot line, and side lot lines, the height in metres of the building or structure and the dimensions or floor area of the building or structure.</b>			
16	<b>Date the subject land was acquired by the current owner.</b>			<input type="checkbox"/> Unknown
17	<b>The date the existing buildings or structures on the subject land were constructed.</b>			<input type="checkbox"/> Unknown
18	<b>The length of time that the existing uses of the subject land have continued.</b>			<input type="checkbox"/> Unknown
19	<b>If known, whether the subject land has ever been the subject of an application under section 45 of the Act?</b> <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown  <b>If yes, describe briefly: Year: _____ Type of Relief: _____</b>			
20	<b>If known, whether the subject land is the subject of an application under the Act for approval of a plan of subdivision or a consent?</b> <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown  <b>If yes, the status of the application:</b>			
21	<b>Applications submitted without the noted requirements will be considered incomplete and will be returned.</b> <u>Minimum Standards for Drawings:</u>  <b>Ontario Regulations 200/96 of the Planning Act provides the requirement of a sketch showing the following: its:</b>  a) The boundaries and dimensions of the subject land.  b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and side yard lot lines.  c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream bands, wetlands, wooded areas, wells and septic tank.  d) The current uses on land that is adjacent to the subject land.  e) The location, width and name of any roads withing or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.  f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.  g) The location and nature of any easement affecting the subject land.  <b>The required sketch map has been included with this application form.</b> <input type="checkbox"/> Yes <input type="checkbox"/> No	<b>Included</b>  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>  <input type="checkbox"/>  <input checked="" type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/>	<b>Not Applicable</b>  <input type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/>  <input checked="" type="checkbox"/>  <input type="checkbox"/>  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	

**Note: Drawings must be in metric units.  
Examples of acceptable drawings can be obtained upon request.**



# PARTINGTON ADU

Windsor, Ontario

## GENERAL NOTES:

**General:**  
Site plan generated is based upon municipal zoning information as obtained from the local building department where the project is to be constructed. Montemurri & Associates will not be responsible for determining other restrictions that are applied to the property (i.e. easements, restrictive covenants etc.).  
Montemurri & Associates is not responsible for obtaining any permits, approvals, or authorizations by any governing bodies for the construction of this project.  
Upon receipt of the building permit, Montemurri & Associates is to be notified immediately by the permit holder, of any issues or concerns the building department has noted on the permit set. If not notified, Montemurri & Associates is not responsible for any associated costs or damages.  
Engineered shop drawings, for any "manufactured component" forming part of the building (i.e. engineered roof trusses, engineered floor joist timbers etc.), must be submitted to Montemurri & Associates for review and written approval. If engineered shop drawings are not submitted and approved, Montemurri & Associates is not responsible for any associated costs or damages.  
Materials or construction procedures which are prohibited by law or shall cause a harmful effect to the natural environment or to the health of any person on the site during construction and/or during occupancy shall not be used in this project.

All trades shall conform with all applicable federal, provincial & local codes, rules and regulations. In case of conflict, the most stringent requirement shall apply.  
All construction methods and materials shall comply with the current building codes, ordinances and requirements as adopted by the local governing body where the building is to be located.

These notes are for general reference only, where conflicts exist between these notes and current codes the more stringent requirements shall prevail.  
Do not scale drawings; use printed dimensions only. If any discrepancy occurs, notify the designer and/or owner for direction.

**Soils:**  
A soils investigation by a qualified and licensed soils engineer must be provided at each building location prior to construction. In addition to other pertinent information, each report shall include the following:  
a) Allowable soil bearing capacity and recommendations for improvement if required.  
b) Water drainage and hydrostatic pressure analysis including recommendations for relief of any adverse conditions.  
If there is a conflict between the soils investigation and information on the project documents, the most stringent and conservative condition shall govern.

**Summary Pit and Pump:**  
Provide sump pit with pump in basement if recommended by engineer.  
Sump pit to be designed to resist removal by children. Sump pit covers shall be sealed to maintain continuity of air barrier system. Refer to O.B.C. 9.14.5.2 & 9.29.3.3(16).

**Foundation Notes:**  
Foundations and footings to be designed based on a minimum soil bearing capacity of 3,000 p.s.f.  
Compressive strength of concrete after 28 days shall be at least 32 MPa for a garage and carport floors and all exterior footings.  
All concrete shall be placed and cured in accordance with the manufacturer's instructions and shall have a minimum 5% to 8% concrete air-entrainment shall conform to the latest specification of C.S.A. 28.1 and A.4.1.  
Minimum length of concrete after 28 days shall be at least 20 MPa for foundation walls.  
Minimum footing depth shall be 3'-6" below finished grade.  
Remove all fill and organic materials from areas to receive floor slabs. Prepare areas per soils engineer's recommendation.  
All reinforcing bars, dowels, and ties shall conform to A.S.T.M A615 Grade 60. Reinforcing steel shall be continuous and shall have minimum 36 bar diameter lap, unless shown or noted. All reinforcing bars shall be deformed.  
Provide temporary bracing as required to insure the stability of the structure until the permanent framing is in place.  
All block shall be type N-1, mortar to be type "M"; horizontal wire reinforcing shall be at 16" o.c. in all masonry walls.  
Provide sill plate anchor bolts at 4'-0" o.c. (max) and 12" from end of all sill plates. Anchor bolts shall be 1/2" diameter (min) and shall be 15" into poured concrete block or (min.) into poured in place concrete footing or 8" into grouted concrete block plus 3" into poured in place concrete footing.

Provide 24" rigid insulation at all perimeter slab on grade conditions. See drawings for thickness.  
Waterproof all brick, block and poured concrete walls at all below grade conditions unless directed otherwise by the soils engineer.  
Provide 6 mil vapor barrier under all concrete slab on grade conditions and at all attached garage area concrete slabs.  
All poured concrete walls to be backfilled with sandy type soil and be well braced until concrete is thoroughly cured and additional weight of the building is in place. Do not use foam material for backfill.  
Crack control joints shall be provided in foundation walls more than 70 feet long at intervals of not more than 35 feet and should be designed to resist moisture penetration as per section 9.15.4.6.

**Loading Conditions:**

Use Load	Dead Load	Total
Floor habitable	40	55 p.s.f.
Floor with multiple, stone or other hard finish material on ground level	40	55 p.s.f.
Wind loaded or flat	30	25 p.s.f.
Roof pitched or flat	30	25 p.s.f.
Flat with ballast	30	25 p.s.f.

**Trusses:**  
Floor truss manufacturer shall design and provide trusses to have a maximum deflection of 3/8" for spans greater than 16'-0" and 1/480" for spans under 16'-0".  
Truss manufacturer shall be responsible for all truss designs including girders, hangers, bearing seats and anchors for trusses.  
Truss framing shown on plans is for general reference and to indicate bearing locations. Manufacturer shall notify designer if additional bearing points and/or walls are needed prior to fabrication and erection.  
All roof trussing shall be braced per manufacturer's recommendations or as required on drawings.

**Framing & Materials:**  
Studs (bearing walls): Spruce-pine-fir, kiln dried, No. 2 or better.  
Studs (non-bearing walls): Spruce-pine-fir, kiln dried, stud grade or better.  
Joists, rafters, and headers: Fiber bending stress 1250 PSI elasticity Modulus 1,400,000 PSI or better.  
Wall plates, non-structural blocking: Spruce-pine-fir, kiln dried, utility grade or bettered pit.  
Perimeter sill plates: Spruce-pine-fir, kiln dried, No. 2 or better. Set perimeter sill plates on sill sealer.  
Furring: Spruce-pine-fir, kiln dried, No. 3 or better.

Use metal joist hangers only where joists hang from beams, walls or other supports. No joist angles allowed.  
Floor Truss framing and T&B floor joist on drawings is designed for carpet, wood or ceramic tile floor finishes. If the floor material changes, notify the designer immediately for a structural redesign of the floor system to accommodate the dead load of the new floor material.  
All micro lam beams are by Trus Joist MacMillan and are to be joined together per manufacturer printed specifications.  
Provide 2 x 6 blocking at 16" o.c. between rim joist and header joist under all partitions parallel to floor framing direction. Provide solid bearing under all point load conditions to top of foundation wall on steel beam joist.  
Studs in walls to be spaced 16" o.c. unless noted otherwise. All studs to be continuous from floor to upper floor or roof.

**Bearing Walls:**  
Provide 2 x 4 solid blocking at 16" o.c. on 2 x 4 ledger boards between bearing walls (see drawings for size of member) under all in-line bearing partitions from floor above.  
Provide solid blocking at all point load conditions continuing to floor bearing at headers or foundation.  
Provide solid blocking at all bearing walls perpendicular to framing direction.

**Wall Framing:**  
Exterior wood framed walls shall be of minimum 2 x 6 construction. All studs shall be continuous from floor to underside of floor or roof framing above.  
All structural mullions to be minimum double stud construction continuous from floor to underside of floor or roof framing above. Window transom headers shall span between continuous studs with flush hanger brackets as required.

Provide continuous studs to underside of roof framing at all sloped ceiling conditions. (Ballon construction.)  
Lower level ceiling joist framing walls shall be minimum 2 x 6 framing at 16" o.c. with pressure treated base plate. Interior ceiling framing walls shall be 2 x 6 framing at 16" o.c.

Provide 1/2" diameter steel wall reinforcement for the future use of "grab bars" in the main bathroom wall wall reinforcement for the future use of "grab bars".

**Wall Sheathing:**  
Structural grade for lateral loading. When non-structural sheathing is used provide tie-in diagonal wind bracing or other type of bracing at all exterior corners of structure.

**Roofing:**  
Asphalt shingles shall not be installed on roof slopes below two units vertical in 12 units horizontal (2:12). Double-layer underlayment shall be required on roof slopes below four units vertical in 12 units horizontal (4:12). Single-layer underlayment is required on all other roof slopes. Asphalt shingles shall be secured to the roof with not less than four fasteners per strip shingle, or not less than two fasteners per individual shingle. Shingle headlap shall not be less than 2 inches (51mm).  
Provide ventilation per O.B.C. 9.19.1.2. Unobstructed vent area not less than 1/200 of insulated ceiling. Where roof slope is slope less than 1 in 6 unobstructed vent area must not be less than 1/350 of insulated ceiling. Min. 25% required openings located at the top of bottom of space. Venting to be uniformly distributed on all sides of building.

**Roof Penetrations:**  
All plumbing, mechanical vent stacks and furnace flues shall be offset to rear roof lines.  
Flashing at all penetrations as required.

**Attic Access:**  
A readily-accessible opening not less than 22" x 38" shall be provided to any attic area having a clear height of over 30".  
Hatch to be weather stripped and insulated.

**Stairs:**  
All stairs shall conform to code for allowable riser height and tread depth. (Minimum 9 1/4" treads and maximum 7 7/8" risers in single family dwellings.)  
Handrails shall be provided on at least one side of stairways of two (2) risers or more having a width of less than 44". Provide additional handrails as required by code or wide stairways.  
Handrail to have a diameter of 1 1/2" min. 2" max.  
All handrails shall be located at a height of 34" min. and 38" max. above nose of tread. The size and shape of handrails shall conform to current code requirements.

**Guard rail:**  
Balusters shall be spaced so that a sphere with a diameter of 4 inches cannot pass through the opening.  
Top of railings shall be a minimum of 42" high above finished floor or nose of stair tread. The space below a guard rail shall be constructed such that a sphere with a diameter of 6 inches shall not be able to pass through any opening.

**Doors:**  
All doors shall be 6' - 8" high unless noted otherwise.  
Doors between house and garage to be solid core fire rated steel door with automatic closer and weatherstripping.  
All exterior swing type doors to have a dead-bolt locking mechanism.

**Windows and Glazing:**  
A minimum of one (1) window in each sleeping area shall meet emergency egress requirements. Window contractor shall provide egress hardware necessary to allow windows to meet applicable egress requirements.  
Provide flashing at all window head, jamb, and sill conditions.  
Fixed glass sizes shown are for reference only. Glazing contractor shall field measure all rough openings for fixed glass prior to fabrication.  
Opening sash are shown for basic sizing only. Final size for rough opening and glazing shall be per selected window manufacturer's standards.  
Provide the appropriate safety glass (in accordance with all applicable building codes) for all hazardous locations listed below:

a) Glazing in ingress and egress doors except wired glass in required fire doors and jalousies.  
b) Glazing in fixed glazing panels of sliding type doors (patio and pool type).  
c) Glazing in storm doors.  
d) Glazing in all unfinned opening doors.  
e) Glazing in shower and bathtub doors and enclosures.  
f) Glazing in operable or inoperable adjacent to a door in all buildings and within the same plane as the door whose nearest vertical edge is within twelve (12) inches of the door in a closed position and whose bottom edge is less than sixty (60) inches above the floor or walking surface.  
g) Glazing in fixed panels having a glazed area in excess of nine (9) square feet with lowest edge less than eighteen (18) inches above the finished floor or walking surface within thirty-six (36) inches of such glazing. In lieu of safety glazing such glazed panels may be protected with a horizontal member not less than one and one-half (1 1/2) inches in width when located between twenty-four (24) and thirty-six (36) inches above the walking surface.

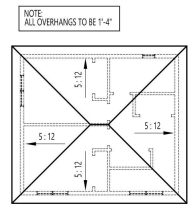
**Insulation:**  
Insulation requirements are to meet or exceed those for a Zone 1 Compliance Package for Space Heating with AFUE = 92%.  
Thermal batt and blanket insulation shall have a kraft faced vapor barrier.  
Insulation shall be installed in such a manner so as to allow free air flow from the wall to the roof space.  
Ventilation of conditioned roof spaces shall be maintained.

**Gypsum Board:**  
Garage shall be completely separated from the residence and its attic area by means of 1/2" gypsum board applied to the garage side.  
Smoke / Carbon Monoxide Detectors:  
Each sleeping area shall be provided with a minimum of one (1) smoke detector (local fire department approved and Underwriters Laboratories listed and labeled) installed adjacent to the sleeping area. The smoke detector shall be installed in accordance with all applicable codes. Where more than one (1) detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the activation of one (1) alarm will activate all the alarms in the individual unit. At least one alarm shall be provided at each floor.

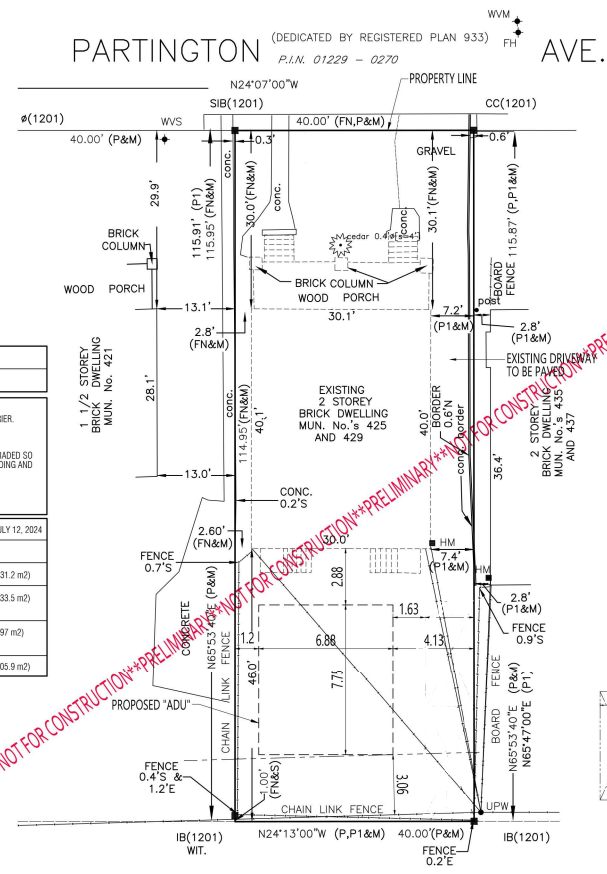
**Plumbing:**  
All nose bibbs to have back-flow prevention.

Zone	
Compliance Package	A1
Walls above grade	R-22
Walls below grade	R-20Cl
Ceilings with attic	R-50
Ceilings with no attic	R-31
Exposed floor	R-31

- ROOFING NOTES:**
1. ROOF VENTILATION PER O.B.C. 9.19.1.2
  2. OFFSET ALL THRU-ROOF VENTS TO REAR PORTION OF ROOF.
  3. FINAL ROOF TRUSS DESIGN BY CERTIFIED TRUSS MANUFACTURER. BUILDING CONTRACTOR TO BE NOTIFIED OF ANY CHANGES MADE FROM PROPOSED LAYOUT.
  4. TRUSS SHOP DRAWINGS TO BE SUBMITTED TO DESIGNER FOR CONFORMANCE REVIEW.
  5. REFER TO ELEVATIONS FOR OVERHANG DIMENSIONS
  6. PROVIDE ICE AND WATER SHIELD AT ALL VALLEYS AND UP ROOF A MIN. OF 24" INTO HESSED SPACE
  7. PROVIDE GUTTERS AND DOWNSPOUTS FOR CONTROLLED DRAINAGE OF ROOF WATER.
  8. WATER RUN-OFF IS TO BE CONTROLLED ON SITE AND NOT TO SHED ONTO ADJACENT PROPERTIES.



**ROOF PLAN**  
SCALE: 1" = 10'



**SITE DESCRIPTION:**  
Parcel 425, 429 Partington Ave in Windsor, Ontario.

**SITE NOTES:**

1. EXISTING TREES TO REMAIN & TO BE PROTECTED WITH BARRIER. DO NOT STOCKPILE SOIL AGAINST OR AROUND TREES. AVOID COMPACTING SOIL AROUND ROOT AREA OF TREES.
2. THE BUILDING SHALL BE LOCATED ON THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. PER O.B.C. 9.14.6.1 SURFACE DRAINAGE
3. WATER SERVICE TO BE 1" DIA. AS PER O.B.C. 7.6.3.4

**SITE INFORMATION:**  
UPDATED: JULY 12, 2024

ZONE	RDI-3
TOTAL AREA OF LOT:	4,640 SQFT (431.2 m <sup>2</sup> )
TOTAL FOOTPRINT OF EXISTING RESIDENCE LOT COVERAGE:	1,437 SQFT (133.5 m <sup>2</sup> ) 30.9%
TOTAL FOOTPRINT OF ACCESSORY BLDG. LOT COVERAGE:	570 SQFT (52.9 m <sup>2</sup> ) 12.2%
GROSS FLOOR AREA OF ACCESSORY BLDG.:	1,140 SQFT (105.9 m <sup>2</sup> )



**SITE PLAN**

**MONTEMURRI**  
RESIDENTIAL DESIGN  
WINDSOR, ONTARIO TEL: 519 564 9948  
EMAIL: LINCONRCH@GMAIL.COM

Project  
**Partington ADU**  
Windsor, Ontario

COPYRIGHT  
MONTEMURRI & ASSOCIATES  
ALL RIGHTS RESERVED  
MONTEMURRI & ASSOCIATES reserves the right to alter drawings without the client's consent. The client agrees to indemnify and hold the architect harmless from all claims, damages, costs and expenses, including reasonable attorney's fees, arising from the client's use of the drawings. COPYRIGHT LAW shall apply to all drawings and related production.

Project No.  
**101-24**

Note:  
Signature this drawing is for "residence or cottage" zoning only. If the zoning is different, the client must obtain a separate zoning certificate from the local building department. The client agrees to indemnify and hold the architect harmless from all claims, damages, costs and expenses, including reasonable attorney's fees, arising from the client's use of the drawings. COPYRIGHT LAW shall apply to all drawings and related production.

Drawn By  
**LM (BCIN: 31501)**  
Checked By  
**LM (BCIN: 31501)**  
Issued  
**Montemurri & Associates**  
Contract No.: **ADU-23-33339**  
Scale: **As Shown**  
Date: **October 14, 2023**

\*\*\*PRELIMINARY\*\*\*  
\*\*\*PRELIMINARY\*\*\*

\*\*\* only valid with authorized signature \*\*\*  
\*\*\* From Montemurri & Associates \*\*\*

Date  
**G-1 01**

**LEGEND**

- NEW D.L. WALLS
- INTERIOR BEARING WALL
- LINE OF WALL ABOVE
- INTER-CONNECTED SMOKE ALARM / CO DETECTOR w/ SILENCE & BATTERY BACK UP (PER 9.10.19.3)
- EXISTING FIN
- POINT LOAD FROM ABOVE
- RAISE UP COLUMN PER O.C.C.
- SHOWER HEAD

Note:  
Signatures and stamps for an "independent contractor" being part of the building or engineering process are required for all drawings. The contractor is not to be held responsible for any errors or omissions.

Drawn By  
LM

Checked By  
LM

Issued

\*\*\*PRELIMINARY\*\*\*

\*\*\*PRELIMINARY\*\*\*

\*\*\*PRELIMINARY\*\*\*

\*\*\*PRELIMINARY\*\*\*

\*\*\*PRELIMINARY\*\*\*

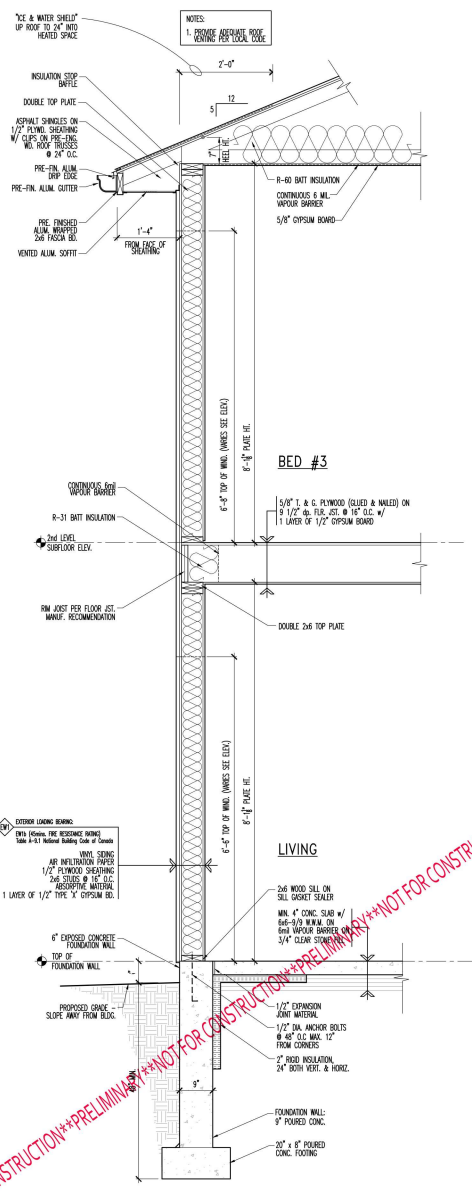
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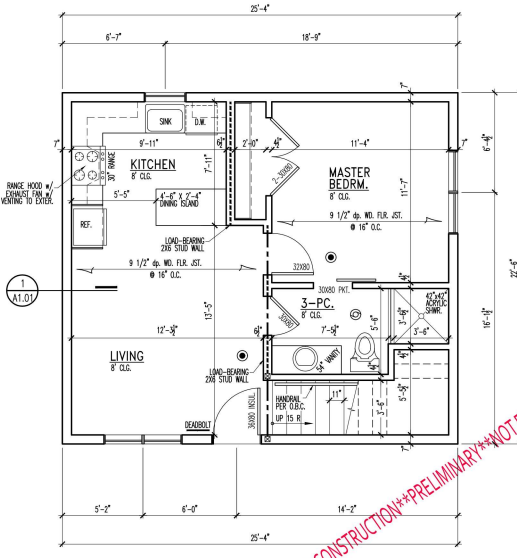
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\*\*\*PRELIMINARY\*\*\*

Sheet No.  
**A-1 01**



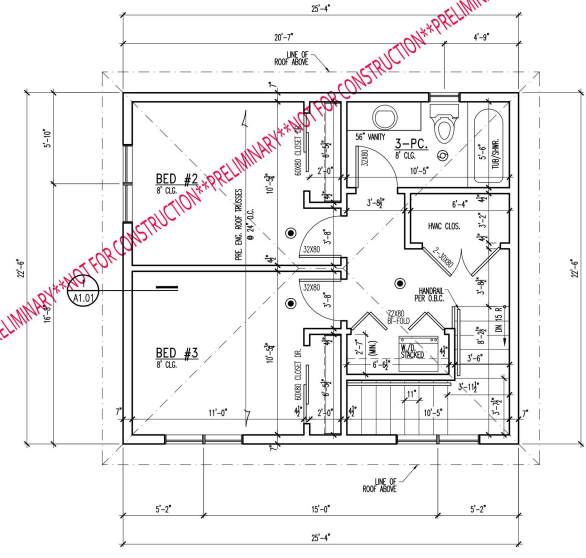
**TYP. WALL SECTION**  
(NEW CONSTRUCTION) SCALE: 3/4" = 1'-0"



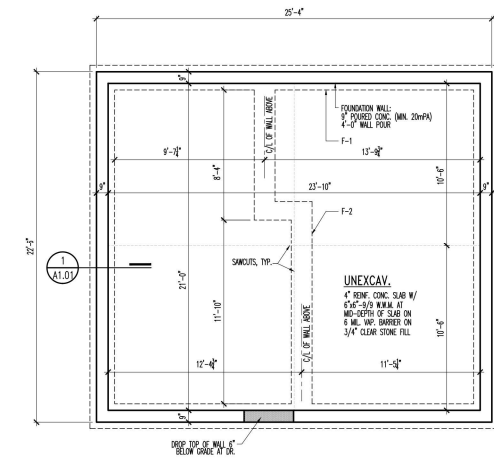
**MAIN LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

FINISHED FLOOR AREA: UPDATED JULY 16, 2024

1st LEVEL FLOOR =	570 SQ.FT. (52.82 m <sup>2</sup> )
2nd LEVEL FLOOR =	570 SQ.FT. (52.82 m <sup>2</sup> )
TOTAL FINISHED =	1,140 SQ.FT. (105.64 m <sup>2</sup> )



**2ND LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

- FOUNDATION LEVEL NOTES:**
- PROTECTION FROM BACKLASH SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES. SYSTEM SHALL BE INSTALLED WITHIN THE UTILITY UNIT AND BE ACCESSIBLE FOR REPAIR AND MAINTENANCE PURPOSES.
  - SMOKE ALARMS TO BE INSTALLED TO REMAIN MINIMUM 10' ON TOP AND NOT TO BE COVERED. SHALL BE SEaled TO MAINTAIN CONTINUITY OF THE AIR BARRED SYSTEM. PER O.C.C. 9.14.3.2 & 9.25.3.1(16)
  - ALL NEW FIREARMS MUST BE EQUIPPED WITH AN ELECTRONICALLY MONITORED MOTOR AND MUST BE DESIGNED TO COMPLY WITH
  - ROOF TRUSSES & FLOOR JOIST MANUFACTURER TO VERIFY ALL POINT LOAD CONDITIONS AND SIZE ALL SUPPORTING MEMBERS ACCORDING TO REQUIREMENTS OF AREA TC, NATIONAL FIRE ALARM AND SIGNALING CODE.
  - A REQUIRED SMOKE ALARM SHALL HAVE VISUAL SIGNALING COMPONENT CONFORMING TO THE REQUIREMENTS IN A.S.I. (LIGHT COLOUR AND PULSE CHARACTERISTICS) OF AREA TC, NATIONAL FIRE ALARM AND SIGNALING CODE.
  - INDICATES INTERIOR LOAD BEARING WALL ON STRIP FTG
  - UPON DEMOLITION AND REVEALING OF EXISTING FRAMING, ANY UNEXPECTED CONDITIONS ARE TO BE REVEALED TO DESIGNER FOR FURTHER DIRECTION.
  - STRUCTURE WALL TO BE BEARING ON EITHER SIDE

**FOOTING SCHEDULE**

MARK	DESIGNATION
F-1	20"x8" POURED CONC. STRIP FOOTING
F-2	16"x8" POURED CONC. STRIP FOOTING

NOTES:  
1. DESIGNED IN ACCORDANCE WITH O.C.C.  
2. SHALL BE CONFORM TO LOCAL CODES.  
3. SHALL BE CONFORM TO LOCAL CODES.  
4. SHALL BE CONFORM TO LOCAL CODES.  
5. SHALL BE CONFORM TO LOCAL CODES.  
6. SHALL BE CONFORM TO LOCAL CODES.

\*\*\*PRELIMINARY\*\*\* NOT FOR CONSTRUCTION

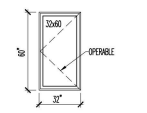


Project  
**Partington ADU**  
Windsor, Ontario

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**101-24**

- WINDOW NOTES:
1. VINYL SASH WINDOWS.
  2. VERIFY SASH COLOUR WITH OWNER.
  3. VERIFY FINISHES WITH OWNER.
  4. PERFORMANCE TO MEET OUTLINE SET  
MIN. SUPERIOR STANDARD S8-12  
TABLE 2.12A COMPLIANCE PACKAGE 7
  5. WINDOW SIZES SHOWN HAVE BEEN USED  
FOR CALCULATION OF U-VALUE AND MAX. AREA  
OF GLAZED OPENINGS IN EXTERIOR WALLS.  
SIZES ARE NOT TO BE CHANGED WITHOUT WRITTEN  
APPROVAL BY MONTEMURRI & ASSOCIATES.



Note:  
Separate this drawing for an "as-shown or compare" listing part of the  
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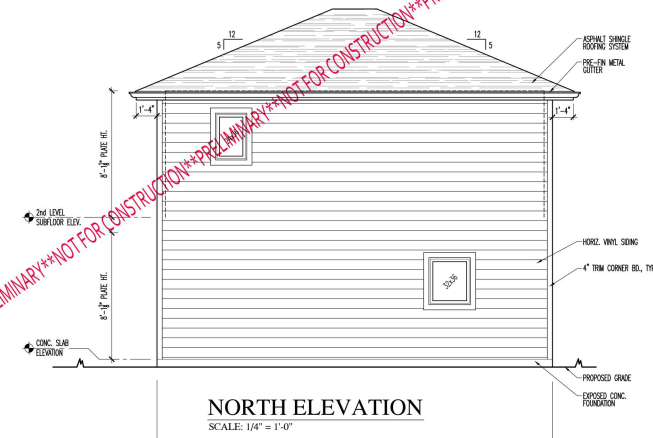
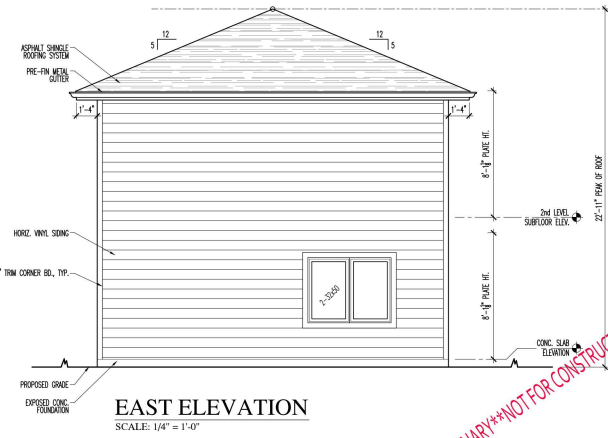
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LM  
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\* From Montemurri & Associates \*

Date  
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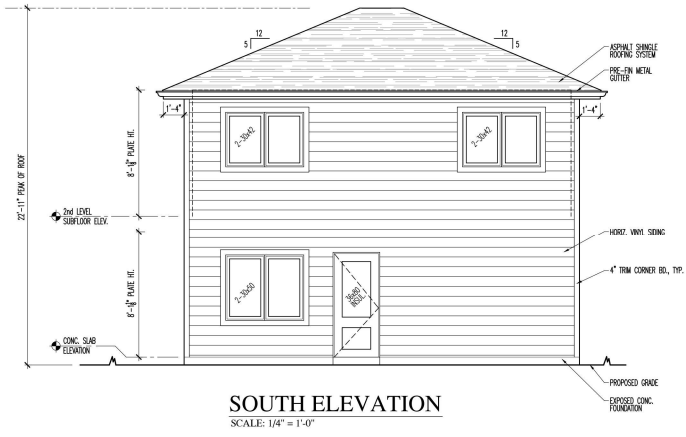
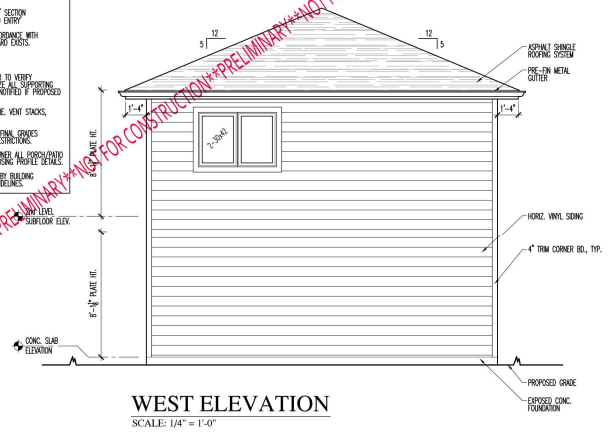
Sheet No.  
**A-1 02**



MAXIMUM AREA OF GLAZED OPENINGS (OBC 2012 - TABLE 9.10.15.4)				
LIMITING DISTANCE (FT.)	AREA OF GLAZING IN EXPOSING BUILDING FACE (SQ.FT.)		% ALLOWED	
	EXISTING	PROPOSED	EXISTING	PROPOSED
4 (1.2m)	448 (41.6 m <sup>2</sup> )	14 (1.3 m <sup>2</sup> )	33	7

NOTE - WINDOW SIZES CANNOT BE SUBSTITUTED WITHOUT APPROVAL BY MONTEMURRI & ASSOCIATES.

- ELEVATION NOTES:
1. ALL EXTERIOR ENTRY DOORS TO COMPLY w/ SECTION 9.16.4 OF THE OBC. RESISTANCE TO FORCED ENTRY
  2. DOWNSPUTS TO SPLASH TO GRADE IN ACCORDANCE WITH APPROVED LIT. DRAINAGE PLAN UNLESS PROVIDED EXISTS.
  3. ROOF VENTILATION PER O.B.C. 9.10.1.2
  4. ROOF TRUSSES & FLOOR JOIST MANUFACTURER TO VERIFY ALL TYPICAL LOAD CONDITIONS NOTED AND ALL SUPPORTING MEMBERS ACCORDINGLY. DESIGNER TO BE NOTIFIED IF PROPOSED STRUCTURAL LAYOUT IS ALTERNATE.
  5. OFFSET ALL THROUGH-ROOF PROJECTIONS (E. VENT STACKS, ROOF VENTS ETC.) TO REAR OF ROOF.
  6. BUILDING CONTRACTOR TO VERIFY THAT ALL FINISH GRADES CONFORM TO MUNICIPAL GUIDELINES AND RESTRICTIONS.
  7. BUILDING CONTRACTOR TO CONFORM WITH OWNER ALL PRESENTED & EXISTING SURF PROFILES AS WELL AS RECORD PUBLIC DETAILS.
  8. DOWNSPUT LOCATIONS TO BE DETERMINED BY BUILDING CONTRACTOR & CONFORM TO MUNICIPAL GUIDELINES.



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