



# COMMITTEE OF ADJUSTMENT

APPLICANT : REIGNS 740 INC.

ADDRESS : 0 DOUGALL AVENUE (VACANT LOT NEXT NORTH OF 4155 DOUGALL AVENUE)

 SUBJECT LANDS

 SEVERED LANDS

N.T.S.



# CITY OF WINDSOR

File: A-025/25

## COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on March 26, 2025.

### APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600

**Owner:** REIGNS 740 KIRPA INC. **Location:** 0 DOUGALL AVE (VACANT LOT NEXT NORTH OF 4155 DOUGALL AVE)

**Roll#** 080-090-10502-0000

**Legal Description:** PLAN 1478; PT LOT 126; RP 12R28654; PARTS 2 & 3 **Zoning:** Residential RD1.4

**Official Plan:** Residential

**Explanation:** Proposed single family dwelling with reduced minimum lot width and area for both the retained and severed lots, thereby requesting the following relief:

#### Section 10.4.5.1 – Minimum Lot Width (Retained and Severed)

By Law Requirements	Proposed
18.0 m	14.1 m

#### Section 10.4.5.2- Minimum Lot Area (Retained and Severed)

By Law Requirements	Proposed
540.0 m <sup>2</sup>	507.2 m <sup>2</sup>

### COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450

**When:** April 10, 2025 at 3:30 pm

**Where:** VIA VIDEO CONFERENCE

*(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)*

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

**The applicant or agent must attend the meeting.** If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson  
Secretary-Treasurer, Committee of Adjustment

Dated: March 27, 2025

Suite 210, 350 City Hall Square West  
Windsor ON N9A 6S1

Tel: 519-255-6543  
Fax: 519-255-6544  
Email: [jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)  
Web: [www.citywindsor.ca](http://www.citywindsor.ca)

1	<b>Application Information</b>		
	Name of ALL Owners REIGNS 740 KIRPA INC. ( SITAL SINGH GARHA)	Contact No. PH -519-566-6713	Business Telephone No.
	Address 4633 Southwood Lakes Blvd, Windsor ON		Postal Code N9G 3C4
	E-Mail Address: sitalsingh@hotmail.com		
	Name of Contact Person/Agent (if different than owner)	Contact No.	Business Telephone No.
	Address	Postal Code	Fax No.
E-Mail Address:			
<b>PAYMENT CONTACT INFORMATION ONLY:</b>			
<b>Name:</b>			
<b>Contact No:</b>			
2	<b>Date application submitted to the City of Windsor.</b> February 4th 2025		
3	<b>Present Official Plan Provisions applying to the land:</b> RESIDENTIAL		
4	<b>Present Zoning By-law provisions applying to the land:</b> RESIDENTIAL RD 1.4		
5	<b>Nature and extent of relief applied for:</b> (you MUST list each By-law Section etc. and relief requested) Minimum Lot Width (Retained Lot)- (10.4.5.1) · 18.0 m (Required) · 14.1 m (Provided) Minimum Lot Area (Retained Lot)- (10.4.5.2) · 540.0 m <sup>2</sup> (Required) · 507.2 m <sup>2</sup> (Provided)		
6	<b>State why it is NOT possible to comply with the provisions of the by-law. ( Must be complete)</b> Relief from Minimum lot width required and minimum lot area required for single family dwelling. To allow us to sever the vacant land and commence building of two single family homes.		
7	<b>Legal Description of the Subject Land(s)</b>		
	Municipality Windsor	Street Name V/L (0)	Street Address DOUGALL AVE
	Concession Number(s) PLAN 1478	Registered/reference Plan No.	Lot/Part No.(s)
	Parcel No.	PT LOT 126; RP 12R28654; PARTS 2 & 3	
8	<b>Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE</b>		
	Lot Frontage/Width 46.28 ft	Depth 118 ft	Lot Area 5461.04 SQ FT
9	<b>Access</b> (check appropriate space)	Provincial Highway ..... Municipal road, maintained all year ..... Municipal road, seasonally maintained ..... Other public road ..... Right of way ..... Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road _____	Yes No <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
10	<b>Water Supply</b>	Publicly owned and operated piped water system... Privately owned and operated..... Individual or communal well..... Lake or other water body..... Other _____	Yes No <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
11	<b>Sewage Disposal</b>	Publicly owned and operated piped sewage system..... Privately owned and operated individual or communal septic tank system..... Pit, privy, or other _____	Yes No <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

12	<b>Storm Drainage</b> Municipal Sewers Ditches or Swales Other (specify)	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13	<b>The existing uses of the subject land:</b>  NOTE: legal non-conforming use applications <u>must</u> provide evidence to support its status to the Planning Department (Zoning Coordinator and Planner).		
14	<b>The proposed uses of the subject land:</b> <b>RESIDENTIAL SINGLE FAMILY DWELLING</b>		
15	<b>Whether any buildings or structures are proposed to be built on the subject land.</b>  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown  If the answer to item 15 is yes, for each building or structure please provide on the drawing submitted the type of building or structure, the setback from the front lot line, rear lot line, and side lot lines, the height in metres of the building or structure and the dimensions or floor area of the building or structure.		
16	<b>Date the subject land was acquired by the current owner.</b>	<input type="checkbox"/> Unknown	
17	<b>The date the existing buildings or structures on the subject land were constructed.</b>	<input type="checkbox"/> Unknown	
18	<b>The length of time that the existing uses of the subject land have continued.</b>	<input checked="" type="checkbox"/> Unknown	
19	<b>If known, whether the subject land has ever been the subject of an application under section 45 of the Act?</b>  <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown  If yes, describe briefly:   Year: _____   Type of Relief: _____		
20	<b>If known, whether the subject land is the subject of an application under the Act for approval of a plan of subdivision or a consent?</b>  <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown  If yes, the status of the application:		
21	<p><b>Applications submitted without the noted requirements will be considered incomplete and will be returned.</b></p> <p><b>Minimum Standards for Drawings:</b></p> <p>Ontario Regulations 200/96 of the Planning Act provides the requirement of a sketch showing the following: its:</p> <p>a) The boundaries and dimensions of the subject land.</p> <p>b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and side yard lot lines.</p> <p>c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream bands, wetlands, wooded areas, wells and septic tank.</p> <p>d) The current uses on land that is adjacent to the subject land.</p> <p>e) The location, width and name of any roads withing or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.</p> <p>f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.</p> <p>g) The location and nature of any easement affecting the subject land.</p> <p><b>The required sketch map has been included with this application form.</b></p> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Included  <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	Not Applicable  <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>

**Note: Drawings must be in metric units.**  
**Examples of acceptable drawings can be obtained upon request.**

EACH LOT AREA: 5439 SQFT (505.29 SQ.MT)  
 45% OF LOT AREA : 2447.55 SQFT (227.33 SQ.MT.)  
 PROPOSED BUILDING FOOTPRINT : 2139 SQFT (198.71 SQ.MT.)  
 ALLOWABLE GROSS FLOOR AREA: 4303.36 SQFT (400 SQ.MT.)  
 PROPOSED GROSS FLOOR AREA : 4278 SQFT (397.43 SQ.MT.)  
 BUILDING HEIGHT : 7.77 M < 9 M

**PROJECT DETAILS**  
 PROPOSED DWELLING

**LOCATION**  
 4145 DOUGALL AVE ,  
 WINDSOR, ON

**DRAWING**  
 SITE PLAN

**CLIENT**  
 REIGNS 740 INC.

**SCALE**      **DRAWING NO.**  
 NTS              A-1.0

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<b>NO.</b>	<b>LETTER</b>	<b>ISSUE FOR :-</b>

**DATE :**

**COMMENTS**

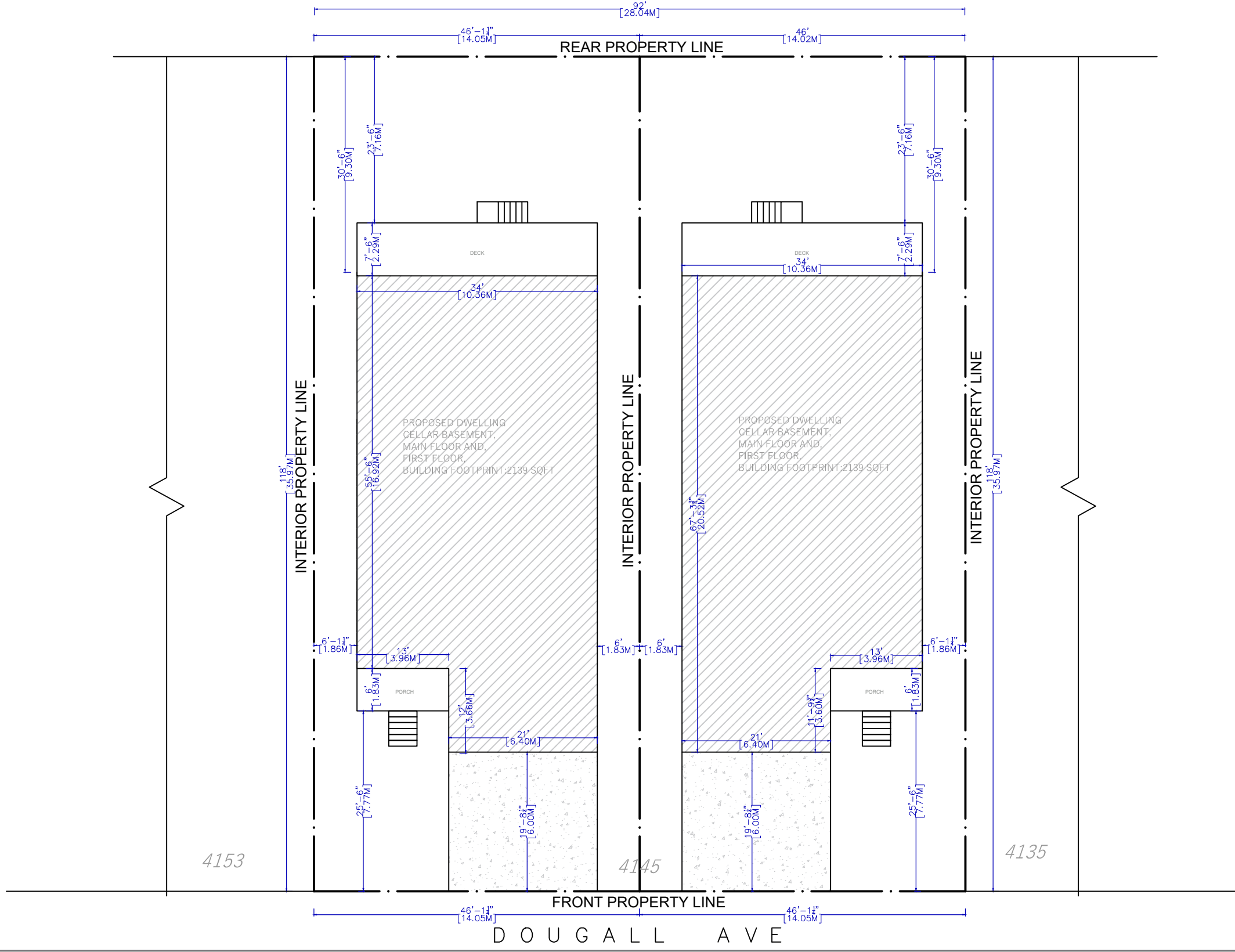
HVAC, PLUMBING, MECHANICAL DESIGNED BY OTHERS.

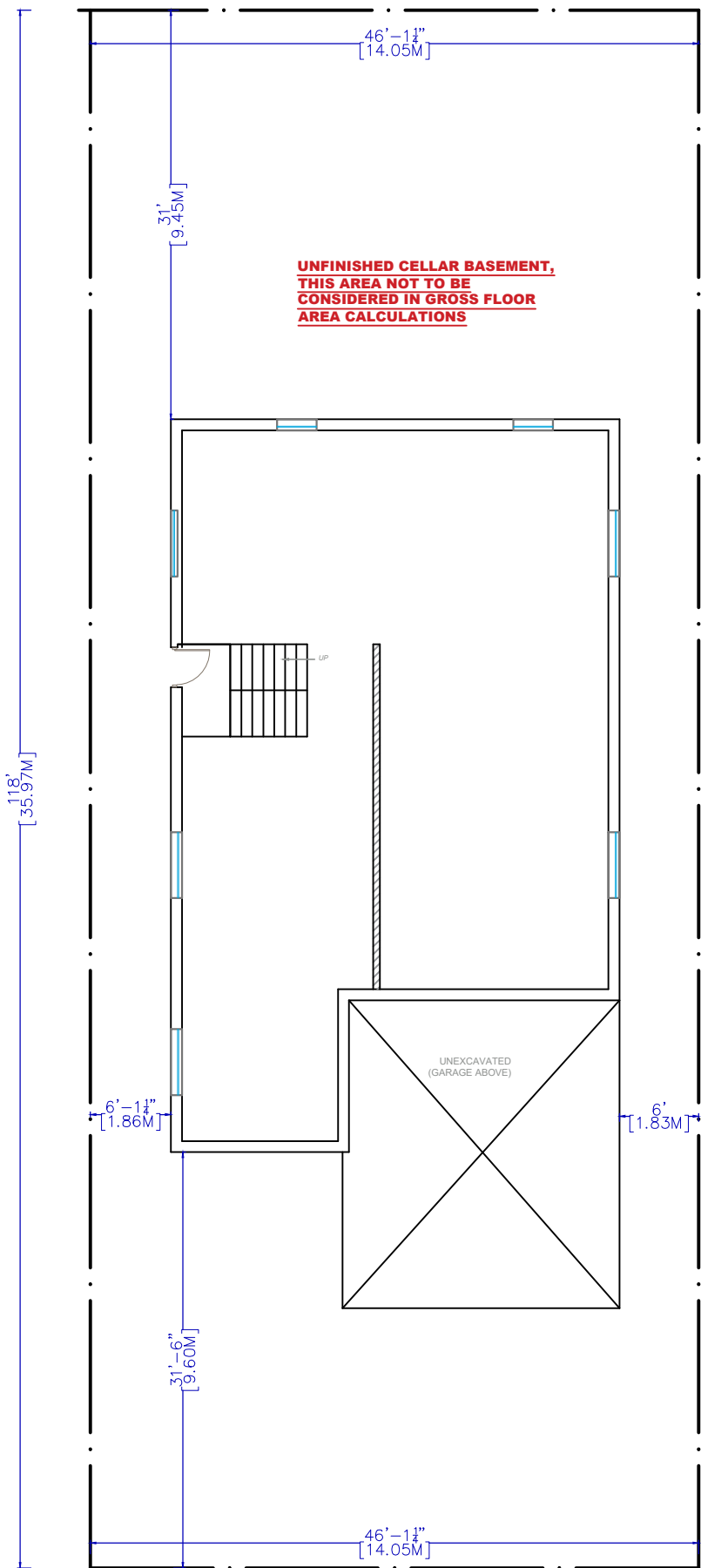
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO DESIGNER BEFORE PROCEEDING WITH WORK. THIS DESIGNER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ERRORS OR OMISSIONS NOT REPORTED BY THE CONTRACTOR OR HIS SUBTRADES.

THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE CONTRACTOR OR HIS SUBTRADES FAILURE TO CARRY OUT THE WORK ACCORDING TO THESE PLANS, SPECIFICATIONS AND RELATED DOCUMENTS.

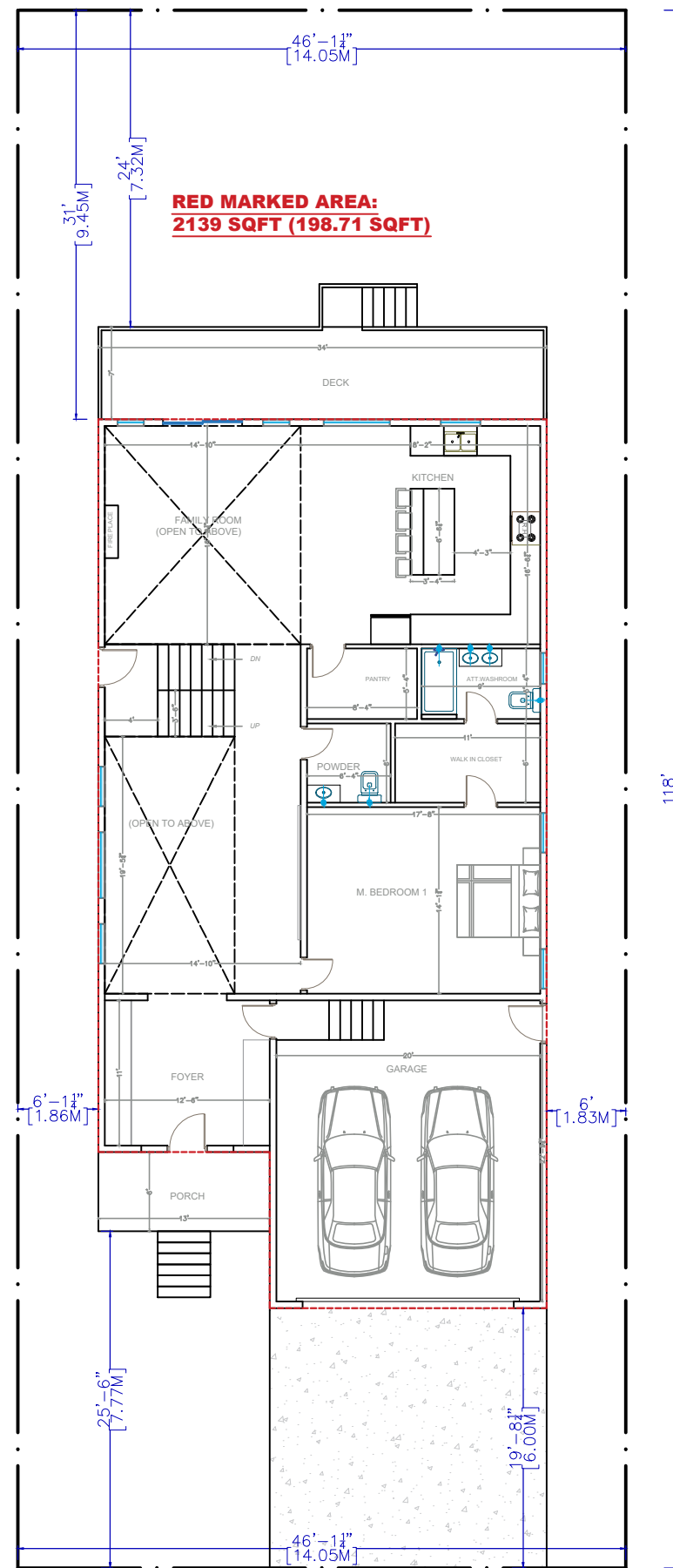
CONSTRUCTION MUST COMPLY WITH THE LATEST STANDARDS OF THE ONTARIO BUILDING CODE AND ANY OTHER APPLICABLE LAWS.

ALL DRAWINGS AND SPECIFICATION ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPY RIGHT.

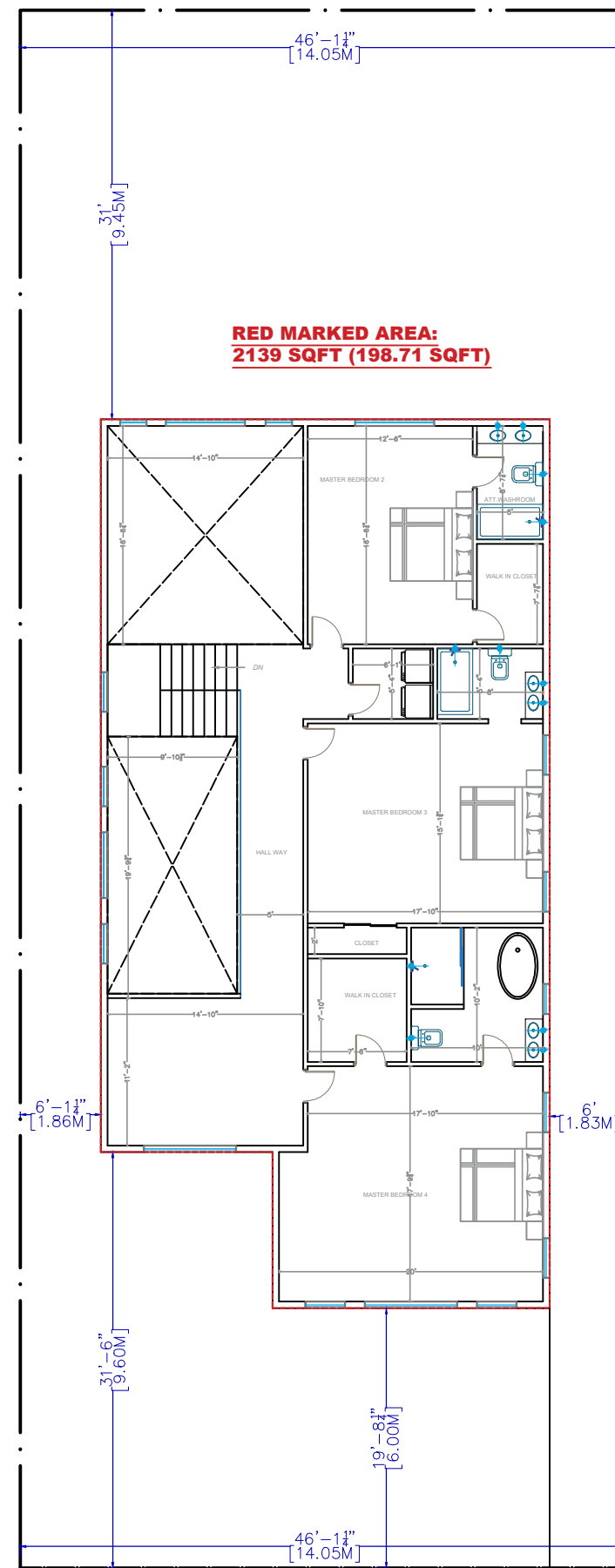




**CELLAR BASEMENT**



**MAIN FLOOR**



**FIRST FLOOR**

**PROJECT DETAILS**  
PROPOSED DWELLING

**LOCATION**  
4145 DOUGALL AVE ,  
WINDSOR, ON

**DRAWING**  
FLOOR PLANS

**CLIENT**  
REIGNS 740 INC.

<b>SCALE</b> NTS	<b>DRAWING NO.</b> A-2.0
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<b>NO.</b>	<b>LETTER</b>	<b>ISSUE FOR :-</b>

**DATE :**

**COMMENTS**

HVAC, PLUMBING, MECHANICAL DESIGNED BY OTHERS.  
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# PROPOSED ELEVATION

PROJECT DETAILS  
PROPOSED DWELLING

LOCATION  
4145 DOUGALL AVE ,  
WINDSOR, ON

DRAWING  
ELEVATIONS

CLIENT  
REIGNS 740 INC.

SCALE NTS	DRAWING NO. A-3.0
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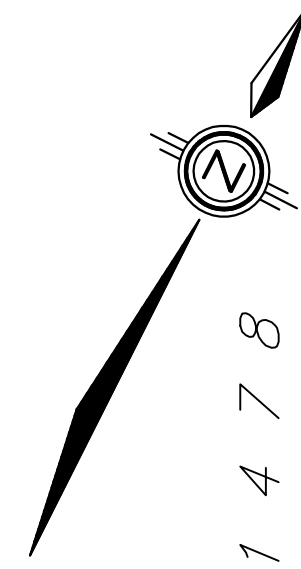
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DATE :

### COMMENTS

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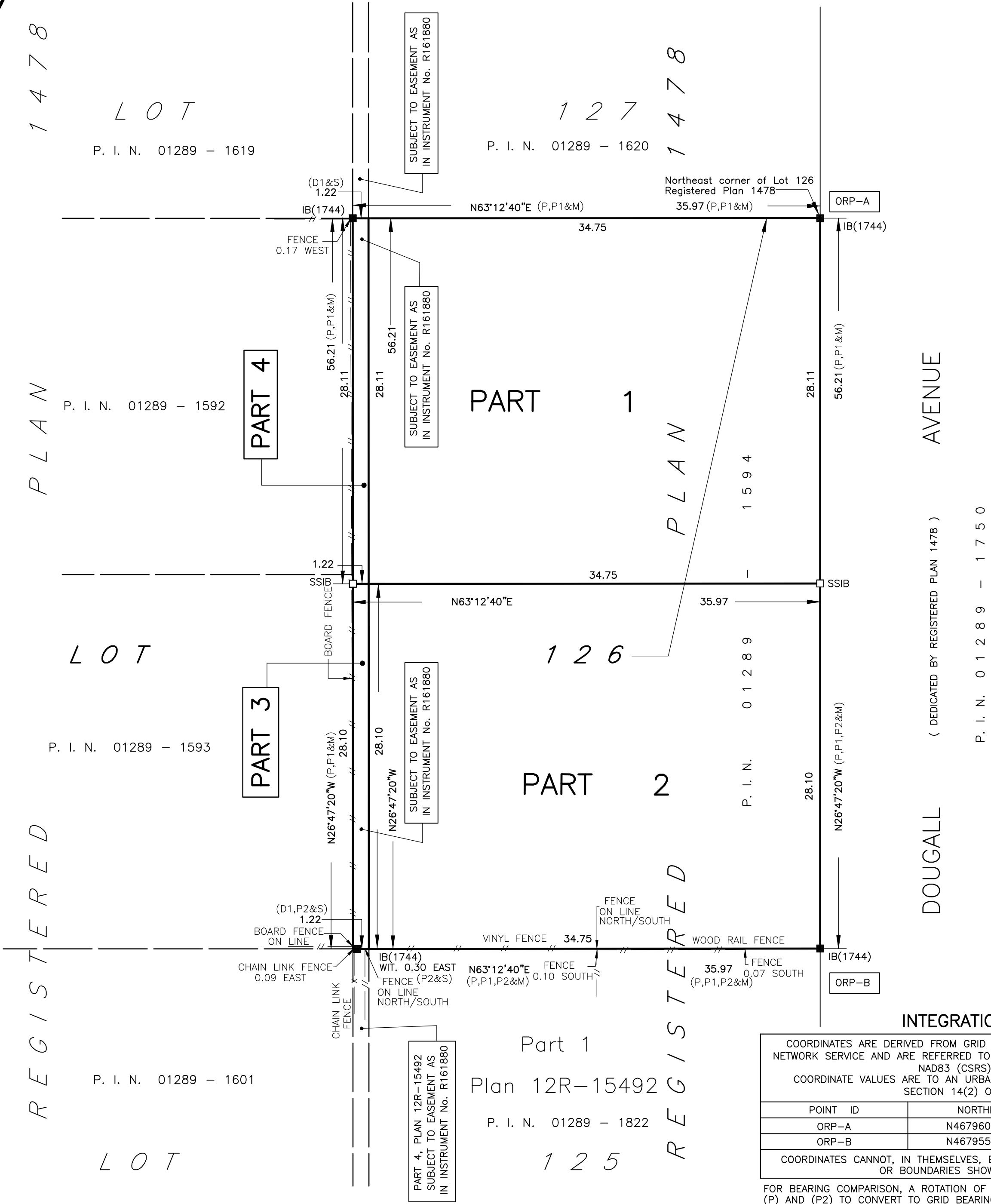


**NOTES**  
 BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS "A" AND "B" BY REAL TIME NETWORK OBSERVATIONS AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD 83 (CSRS) (2010.0).  
 DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99991080.

PARTS SCHEDULE			
PART	LOT	CON/PLAN	P.I.N.
1			
2	PART OF LOT 126	REGISTERED PLAN 1478	ALL OF
3			01289 - 1594
4			

**PLAN 12R-28654**  
 Received and deposited  
June 9<sup>th</sup>, 2021  
Shaun Savard  
 Representative for the  
 Land Registrar for the  
 Land Titles Division of  
 Essex (No.12)

PARTS 3 AND 4 SUBJECT TO EASEMENT AS IN INST. No. R161880.



**PLAN OF SURVEY**  
 OF  
**PART OF LOT 126,**  
**REGISTERED PLAN 1478**  
 IN THE  
**CITY OF WINDSOR**  
**COUNTY OF ESSEX, ONTARIO**  
 VERHAEGEN LAND SURVEYORS

SCALE = 1:250

THE INTENDED PLOT SIZE OF THIS PLAN IS 609mm IN WIDTH BY 457mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:250

**"METRIC"** DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT SET
  - SIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - PB DENOTES PLASTIC BAR
  - WIT DENOTES WITNESS
  - MEAS DENOTES MEASURED
  - JDB DENOTES J.D. BARNES LIMITED
  - (P) DENOTES PLAN OF SURVEY PER 1744, Dated JULY 10, 2003, Plan File B-4598
  - (P1) DENOTES REGISTERED PLAN 1478
  - (P2) DENOTES PLAN 12R-15492
  - (D1) DENOTES R161880
  - ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.
  - (1744) DENOTES VERHAEGEN LAND SURVEYORS

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THIS SURVEY WAS COMPLETED ON THE 26<sup>th</sup> DAY OF MAY, 2021

DATE JUNE 2, 2021  
  
 ROY A. SIMONE  
 ONTARIO LAND SURVEYOR

**INTEGRATION DATA**

COORDINATES ARE DERIVED FROM GRID OBSERVATIONS USING THE CAN-NET NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) O.REG 216/10

POINT ID	NORTHING	EASTING
ORP-A	N4679607.09	E335038.78
ORP-B	N4679556.91	E335064.12

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

FOR BEARING COMPARISON, A ROTATION OF 01°18'30" CLOCKWISE WAS APPLIED TO (P) AND (P2) TO CONVERT TO GRID BEARINGS.  
 FOR BEARING COMPARISON, A ROTATION OF 01°29'40" CLOCKWISE WAS APPLIED TO (P1) TO CONVERT TO GRID BEARINGS.

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 2162843

**VERHAEGEN**  
 LAND SURVEYORS  
 A Division of  
**J. D. Barnes Limited**  
 944 OTTAWA STREET, WINDSOR, ON, N8X 2E1  
 T: (519) 258-1772 F: (519) 258-1791 www.jdbarnes.com

DRAWN BY: NMG	CHECKED BY: RAS	REFERENCE NO.: 21-47-209-00
FILE: E-1478-12		CAD Date: June 8, 2021 3:44 PM CAD File: 21-47-209-00.dwg