

COMMITTEE OF ADJUSTMENT

APPLICANT : 1000982881 ONTARIO INC

ADDRESS : 0 WESTMINSTER BOULEVARD

 SUBJECT LANDS

N.T.S.



CITY OF WINDSOR

File: A-010/25

COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on February 26, 2025.

APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600

Owner: 1000982881 ONTARIO INC **Location:** 0/2451 WESTMINSTER BLVD

Legal Description: PLAN 1167 LOT 14 **Zoning:** Residential RD1.4

Official Plan: Residential

Explanation: Proposed single-family dwelling and additional dwelling units (ADUs) with reduced minimum lot width and minimum lot area requirements, thereby requesting the following relief:

Section 10.4.5.1 – Minimum Lot Width

By Law Requirements	Proposed
18.0 m	12.2 m

Section 10.4.5.2 – Minimum Lot Area

By Law Requirements	Proposed
540.0 m ²	475.7 m ²

COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450

When: March 13, 2025 at 3:30 pm

Where: VIA VIDEO CONFERENCE

(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

The applicant or agent must attend the meeting. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson
Secretary-Treasurer, Committee of Adjustment

Dated: February 27, 2025

Suite 210, 350 City Hall Square West
Windsor ON N9A 6S1

Tel: 519-255-6543

Fax: 519-255-6544

Email: jwatson@citywindsor.ca

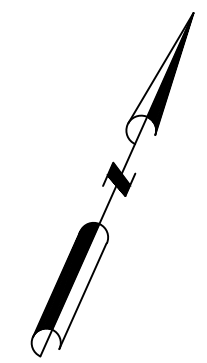
Web: www.citywindsor.ca

1	Application Information		
	Name of ALL Owners 1000982881 Ont inc - JOSIANNE SAID - CRISTIANO FONTANA	Contact No. 519 - 551 - 9842	Business Telephone No.
	Address 1875 TODD LANE LASALLE ON		Postal Code N9H 1J6
	E-Mail Address:		
	Name of Contact Person/Agent (if different than owner) ANDREW LIBURDI	Contact No. 248-565-6827	Business Telephone No. 519 816 0918
Address 1163 LILLIAN AVE. WINDSOR, ON INFO@LIBURDIARCHITECTURAL. E-Mail Address: COM		Postal Code N9A 1V6	Fax No.
PAYMENT CONTACT INFORMATION ONLY:			
Name: Cristiano Fontana			
Contact No: (226) 345-1888			
2	Date application submitted to the City of Windsor. JAN 27TH 2025		
3	Present Official Plan Provisions applying to the land: RESIDENTIAL		
4	Present Zoning By-law provisions applying to the land: Residential District 1.4 (RD1.4)		
5	Nature and extent of relief applied for: (you MUST list each By-law Section etc. and relief requested) Relief: minimum lot width and minimum lot area requirements - SEE PAGE 6 - NOT ENOUGH ROOM IN THE TEXT BOX		
6	State why it is NOT possible to comply with the provisions of the by-law. (Must be complete) THE PROPERTY ZONING RD 1.4 DOESNT ALLOW FOR A NEW SINGLE UNIT DWELLING BASED ON THE LOTS WIDTH AND AREA NOT MEETING THE MINIMUMS		
7	Legal Description of the Subject Land(s)		
	Municipality WINDSOR	Street Name WESTMINSTER	Street Address 2451 WESTMINSTER
	Concession Number(s)	Registered/reference Plan No. PLAN 1167	Lot/Part No.(s) LOT 14
	Parcel No.	ROLL # 070-470-01900	
8	Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE		
	Lot Frontage/Width 40'-0" [12.192M]	Depth 128'-0" [39.014M]	Lot Area 475.66M2 (5120SF)
9	Access (check appropriate space)	Provincial Highway Municipal road, maintained all year Municipal road, seasonally maintained Other public road Right of way Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road _____	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>
10	Water Supply	Publicly owned and operated piped water system... Privately owned and operated..... Individual or communal well..... Lake or other water body..... Other _____	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>
11	Sewage Disposal	Publicly owned and operated piped sewage system..... Privately owned and operated individual or communal septic tank system..... Pit, privy, or other _____	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>

12	Storm Drainage	Municipal Sewers Ditches or Swales Other (specify)	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
13	The existing uses of the subject land: NOTE: legal non-conforming use applications <u>must</u> provide evidence to support its status to the Planning Department (Zoning Coordinator and Planner).			
14	The proposed uses of the subject land: Residential			
15	Whether any buildings or structures are proposed to be built on the subject land. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown If the answer to item 15 is yes, for each building or structure please provide on the drawing submitted the type of building or structure, the setback from the front lot line, rear lot line, and side lot lines, the height in metres of the building or structure and the dimensions or floor area of the building or structure.			
16	Date the subject land was acquired by the current owner.		<input type="checkbox"/> Unknown JAN 13TH 2025	
17	The date the existing buildings or structures on the subject land were constructed.		<input type="checkbox"/> Unknown N/A	
18	The length of time that the existing uses of the subject land have continued.		<input type="checkbox"/> Unknown N/A	
19	If known, whether the subject land has ever been the subject of an application under section 45 of the Act? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown If yes, describe briefly: Year: _____ Type of Relief: _____			
20	If known, whether the subject land is the subject of an application under the Act for approval of a plan of subdivision or a consent? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown If yes, the status of the application:			
21	Applications submitted without the noted requirements will be considered incomplete and will be returned. <u>Minimum Standards for Drawings:</u> Ontario Regulations 200/96 of the Planning Act provides the requirement of a sketch showing the following: its:		Included	Not Applicable
	a)	The boundaries and dimensions of the subject land.	<input type="checkbox"/>	<input type="checkbox"/>
	b)	The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and side yard lot lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	c)	The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream bands, wetlands, wooded areas, wells and septic tank.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	d)	The current uses on land that is adjacent to the subject land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	e)	The location, width and name of any roads withing or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	f)	If access to the subject land is by water only, the location of the parking and docking facilities to be used.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	g)	The location and nature of any easement affecting the subject land.		
	The required sketch map has been included with this application form. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			

**Note: Drawings must be in metric units.
Examples of acceptable drawings can be obtained upon request.**

SURVEYOR'S REAL PROPERTY REPORT PART 1

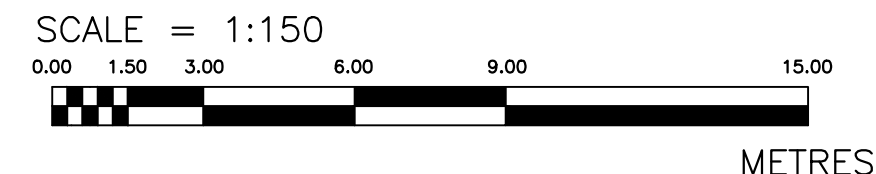


PLAN OF SURVEY
OF
LOT 14 ON
PLAN RP-1167, SANDWICH EAST
(IN THE GEOGRAPHIC TOWNSHIP OF SANDWICH)
IN THE
TOWN OF WINDSOR
COUNTY OF ESSEX

© TOTAL TECH SURVEYING INC.

PART 2 THIS PLAN MUST BE READ IN CONJUNCTION WITH THE REPORTING LETTER DATED FEBRUARY 07, 2025.

"THIS PLAN WAS PREPARED FOR MR. SHERMAN HOMES"



BEARING REFERENCE

BEARINGS ARE UTM GRID, [NAD83 UTM ZONE 17, (CSRS), (2010)], AND ARE REFERRED TO THE NORTH LIMIT OF WESTMINSTER BLVD AND HAVING A BEARING OF N24°06'35"W.

A CLOCKWISE ROTATION OF 01°21'55" MUST BE APPLIED TO PLAN RP-1167 FOR COMPARISONS.

"METRIC" DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

DISTANCES

DISTANCES HEREON ARE HORIZONTAL GROUND AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99997640439

LEGEND

SIB	DENOTES 25 mm X 25 mm X 1.22 m STANDARD IRON BAR	⊥	DENOTES PERPENDICULAR
SSIB	DENOTES 25 mm X 25 mm X 0.61 m SHORT STANDARD IRON BAR	(S)	DENOTES MEASURED
IB	DENOTES 16 mm X 16 mm X 0.61 m IRON BAR	(PROP)	DENOTES SET PROPORTIONALLY
IBØ	DENOTES 19 mm Diameter X 0.61 m ROUND IRON BAR	(N.T.S.)	DENOTES NOT TO SCALE
■	DENOTES SURVEY MONUMENT FOUND	±	DENOTES NOT TO SCALE
□	DENOTES SURVEY MONUMENT SET AND MARKED 1858	(OU)	DENOTES ORIGIN UNKNOWN
WIT.	DENOTES WITNESS	(S/W)	DENOTES 3" X 3/8Ø SPIKE/WASHER
(S)	DENOTES SET	(NB)	DENOTES NO BAR FOUND
(M)	DENOTES MEASURED	(D)	DENOTES DEED INST. No.
(C)	DENOTES CALCULATED	(P)	DENOTES PLAN RP-1167
±	DENOTES SET BY INTERSECTION		

"NOTE"

This plan has been prepared for the limited use of Sherman Homes, and for the purpose of SRPR plan and cannot be used by other parties.
This plan is to remain confidential, is prepared under copyright and must not be used without the permission of the signing surveyor or the company responsible for the plan.

SURVEYOR'S CERTIFICATE

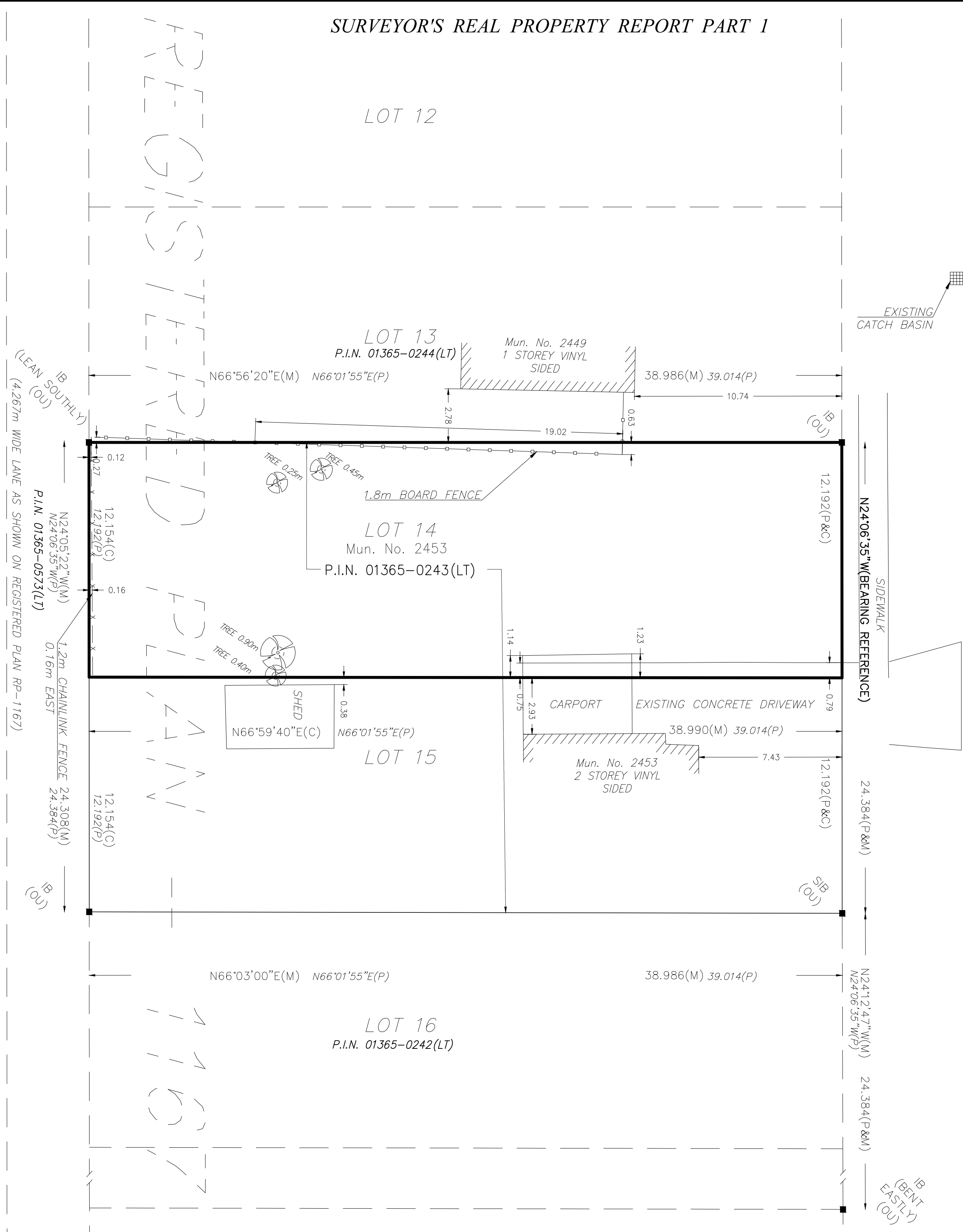
I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 6th DAY OF FEBRUARY, 2025.

DATE: FEBRUARY 07, 2025

Bloss J. Sutherland
BLOSS J. SUTHERLAND
ONTARIO LAND SURVEYOR
for TOTAL TECH SURVEYING INC.

WESTMINSTER BLVD
(30.48m WIDE AS SHOWN ON REGISTERED PLAN RP-1167)
P.I.N. 01366-0154(LT)



Total Tech Surveying Inc.

341 Talbot St. N.
Units 2 & 3
Essex, ON N8M 2W3
(519) 776-9887



NTS - ILLUSTRATION PURPOSE ONLY

WESTMINSTER

2451 WESTMINSTER BLVD,
WINDSOR, ON N8T 1X9

ISSUED FOR

	M	D	Y
MINOR VARIANCE APPLICATION	01	27	2025

TABLE TO CONTENT

CS	COVER SHEET
A-01	ARCHITECTURAL LOT FIT PLAN
A-06	EXTERIOR ELEVATIONS
A-07	EXTERIOR ELEVATIONS
A-08	DETACHED ADU ELEVATIONS

DESIGNER

ANDREW LIBURDI
248 - 565 - 6827
INFO@LIBURDIARCHITECTURAL.COM

DESIGNER BCIN: 114482

FIRM

LIBURDI ARCHITECTURAL
248 - 565 - 6827
WWW.LIBURDIARCHITECTURAL.COM

FIRM BCIN: 116428

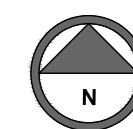
OWNER

1000982881 Ont inc
CRISTIANO FONTANA
226 - 345 - 1888
CRISTIANO@FRONTLINEBUILDERS.CA
JOSIANNE SAID
519 - 551 - 9842
NATHANIEL@SHERMANHOMES.CA

PROJECT

PROJECT No.: 20040
ADDRESS: 2451 WESTMINSTER BLVD, WINDSOR, ON N8T 1X9
SCOPE: CONSTRUCT A NEW SINGLE FAMILY HOME w/ AN ATTACHED ADU.

VICINITY MAP

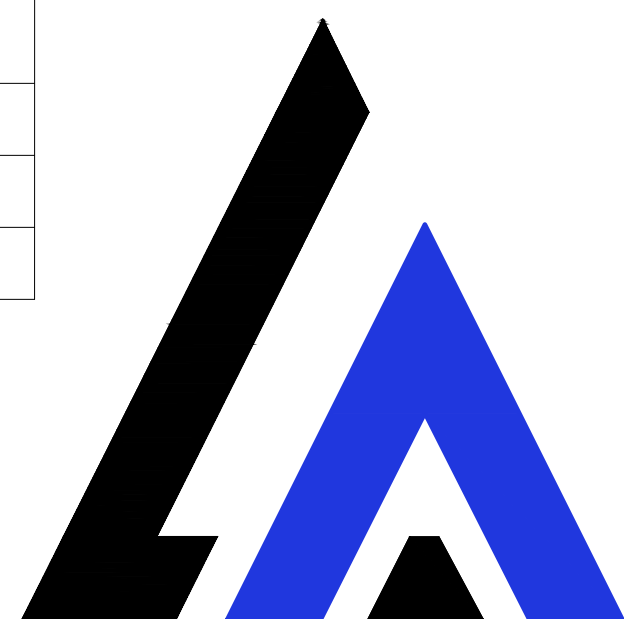


SITE LOCATION



SB-12 COMPLIANCE MATRIX

PRESCRIPTIVE COMPLIANCE		
TABLE	3.1.1.2.A	
COMPLIANCE PACKAGE	A1	
PROJECT DESIGN CONDITIONS		
ZONE	1	
AREA OF WALLS	2296 SQ. FT. - 213.3m2	
AREA OF W, S & G	239 SQ. FT. - 22.2m2	
W, S & G PERCENTAGE	10.7 %	
SPACE HEATING SOURCE	GAS (UNIT A UPPER) ELEC (UNIT B LOWER)	
BUILDING SPECIFICATIONS BASED ON COMPLIANCE PACKAGE 1		
THERMAL INSULATION	MIN NOMINAL	PROVIDED
CEILING WITH ATTIC SPACE	R-60	R-60
CEILING WITHOUT ATTIC SPACE	R-31	N/A
EXPOSED FLOOR	R-35	N/A
WALLS ABOVE GRADE	R-22	R22
BASEMENT WALLS (NOTE 3.1.1.2.A (6))	R-20 CI	R-12+10ci
BELOW GRADES SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
HEATED SLAB OR SLAB < 600MM BELOW GRADE	R-10	N/A
EDGE OF BELOW GRADE SLAB < 600MM BELOW GRADE	R-10	N/A
WINDOW AND DOORS	REQUIRED	PROVIDED
WINDOWS / SLIDING GLASS DOORS	U-28 ER=25	U-28 ER=25
SKYLIGHT	U-28	N/A
MECHANICAL	REQUIRED	PROVIDED
SPACE HEATING EQUIP. (MIN AFUE)	96%	96%
HRV EFFICIENCY (SRE %)	75%	75%
DOMESTIC WATER HEATER	0.80	0.80

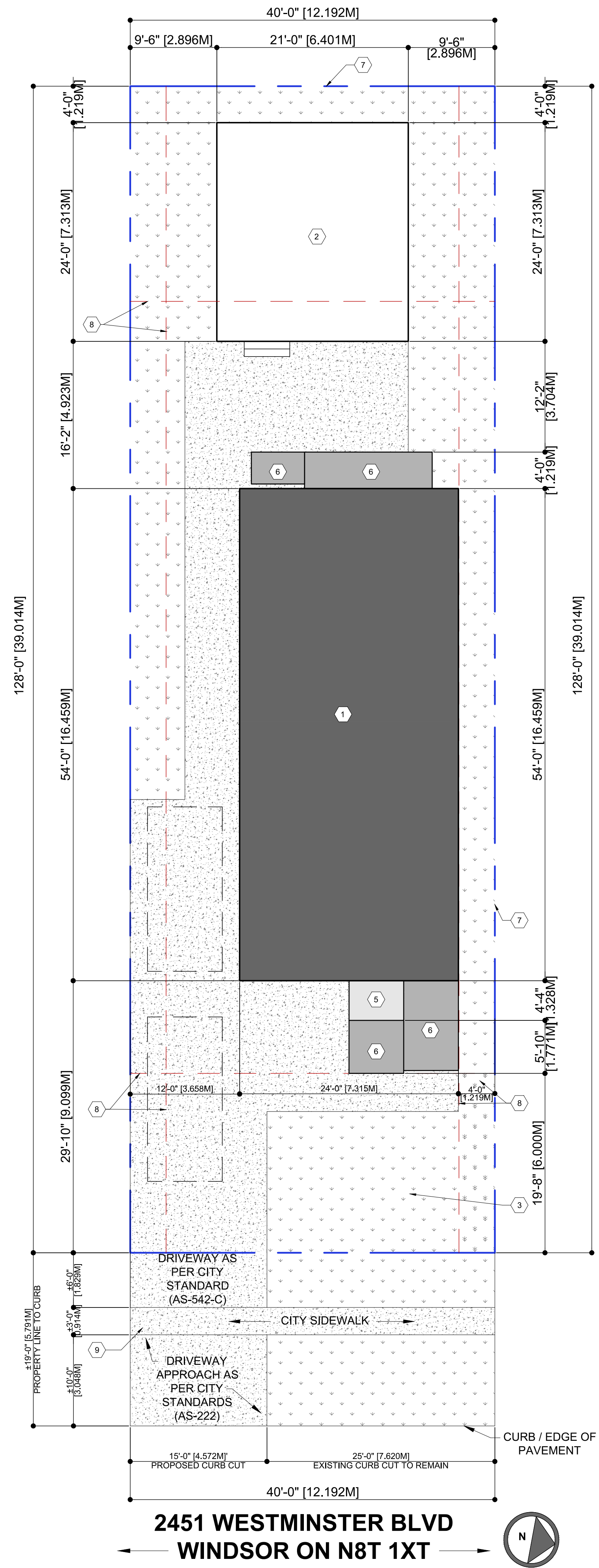


SITE DATA MATRIX

BUILDING INFORMATION		
BUILDING CLASSIFICATION:	PART 9	
FACING STREETS	ONE	
PRIMARY ENTRY:	STREET	
PRIMARY FIREFIGHTERS ENTRY	N/A	
BARRIER FREE ENTRY	N/A	
LOT COVERAGE		
	SQ. FT.	SQ. M.
FIRST FLOOR (FOOTPRINT)	1296	120.40
SECOND FLOOR	0	0
FRONT PORCH (COVERED)	26	2.42
BACK PORCH	0 (NO ROOF ABOVE)	
TOTAL BUILDING AREA	1322	122.82
SITE INFORMATION		
ZONING	RD 1.4	
PROPOSED USE	RESIDENTIAL	
ZONING DATA		
	REQUIRED / MAX	PROVIDED / PROPOSED
MINIMUM LOT FRONTAGE	18M	12.192M (40'-0")
MINIMUM LOT AREA	540 M ²	475.66M ² (5120SF)
MAXIMUM LOT COVERAGE	45% (MAX)	1322 SQ.FT. = 25.8% (KEYNOTE 1) + 504 SQ.FT. = 9.8% (KEYNOTE 2) 35.6% TOTAL
MAXIMUM BUILDING HEIGHT	9M (29.5276')	7.36M (24.145')
MINIMUM FRONT YARD DEPTH	6M (19.685')	7.771M (25.5')
MINIMUM REAR YARD DEPTH	7.5M (24.6063')	14.92M (65.36')
MINIMUM SIDE YARD WIDTH	1.2M	1.22M / 4'-0"
MAXIMUM GROSS FLOOR AREA	400M ²	120.4M ² (UNIT A UPPER) 120.4M ² (UNIT B LOWER) 93.6M ² (UNIT C DETACHED ADU) 334.4M ²
LANDSCAPE OPEN SPACE	50%	> 50%

SITE PLAN KEYNOTES

#	KEYNOTE
1	PROPOSED SINGLE FAMILY HOUSE w/ ATTACHED ADU
2	PROPOSED DETACHED ADU (SEPARATE PERMIT SUBMITTAL) PROJECT #20041
3	LANDSCAPING
4	CONCRETE SURFACE
5	COVERED PORCH
6	UNCOVERED STAIRS OR DECK
7	PROPERTY LINE
8	SETBACK LINE
9	SIDEWALK TO REMAIN. +/- 3'-0"



2451 WESTMINSTER BLVD
WINDSOR ON N8T 1XT

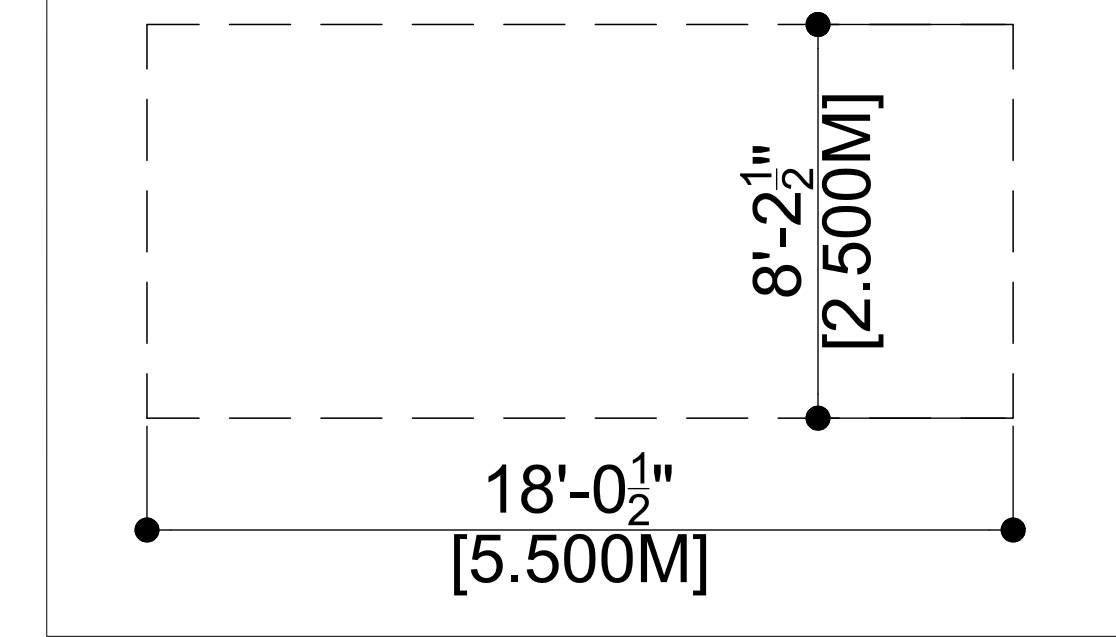
1
A-01

ARCHITECTURAL LOT FIT PLAN
SCALE: 1/8" = 1'-0"

SITE PLAN LEGEND

DESCRIPTION	KEYNOTE
PROPOSED SINGLE FAMILY HOUSE w/ ATTACHED ADU	1
ADU - SEPARATE PERMIT - PROJECT #20041	2
LANDSCAPING	3
CONCRETE SURFACE	4
COVERED PORCH	5
UNCOVERED STAIRS AND DECK	6
PROPERTY LINE	7
SETBACK LINE	8

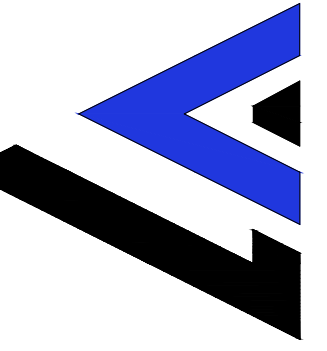
PARKING SPACE CITY OF WINDSOR STANDARD



SITE PLAN GENERAL NOTES

- ARCHITECTURAL LOT FIT PLAN CREATED BASED ON INFORMATION PROVIDED BY TOTAL TECH SURVEYING INC.
- REFER TO SHEET G1 FOR GENERAL SITE PLAN INFORMATION.

LIBURDI ARCHITECTURAL



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248 - 565 - 6827
INFO@LIBURDIARCHITECTURAL.COM
WWW.LIBURDIARCHITECTURAL.COM

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FIRM BCIN

116428

DESIGNER BCIN

114482

ISSUED FOR

MINOR VARIANCE APPLICATION
MDY
01.27.2025

OWNER

1000982881 Ont Inc
CRISTIANO FONTANA & JOSIANNE SAID

PROJECT NAME

WESTMINSTER

PROJECT ADDRESS

2451 WESTMINSTER BLVD
WINDSOR, ON N8T 1X9

PROJECT No

20040

SHEET NAME

ARCHITECTURAL LOT FIT PLAN

SHEET No

A-01

EXTERIOR MATERIAL SCHEDULE

TYPE	KEYNOTE	COLOR	SIZE	MANUFACTURE
BRICK	1	BY OWNER / GC	3.5" X 3.5" X 11.5"	BY OWNER / GC
STONE LEDGE	2	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SIDING	3	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SHINGLES	4	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
EAVE AND DOWNSPOUTS	5	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC

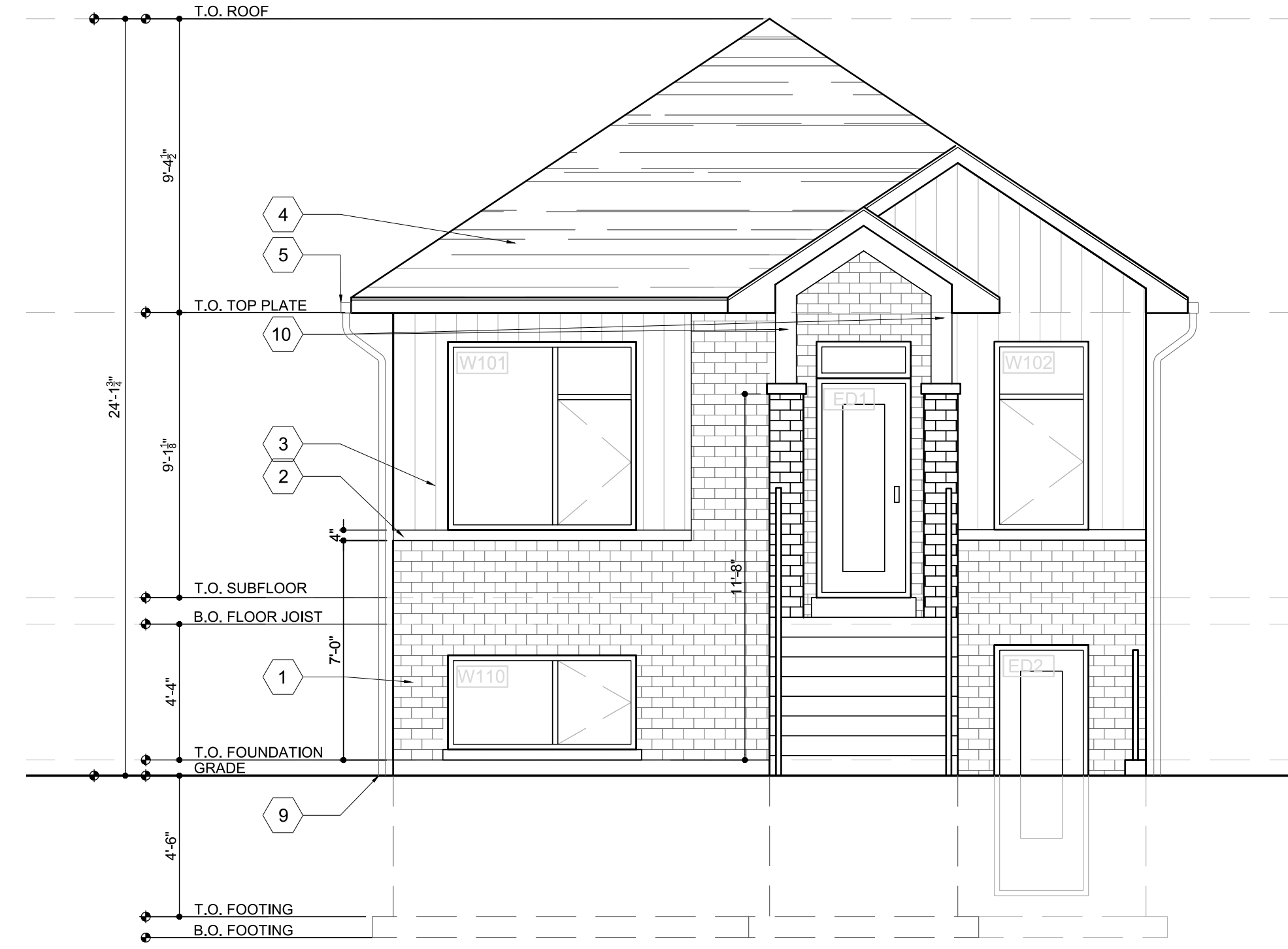
A-06 & A-07 KEYNOTES

#	KEYNOTE
6	36" HIGH HANDRAIL AS PER OBC. REF GENERAL NOTES ON G1 FOR ADDITIONAL NOTES AND OBC REFERENCE.
7	42" HIGH GUARDRAIL AS PER OBC. REF GENERAL NOTES ON G1 FOR ADDITIONAL NOTES AND OBC REFERENCE.
8	ROOF VENT. REF ROOF PLAN ON A-03.
9	ALL DOWNSPOUT CONNECTIONS PER SUBDIVISION AGREEMENT OR PUBLIC WORK DEPT.
10	6 X 6 P.T. WD. POST COVERED WITH ALUMINUM OR VINYL FLASHING FINISH.

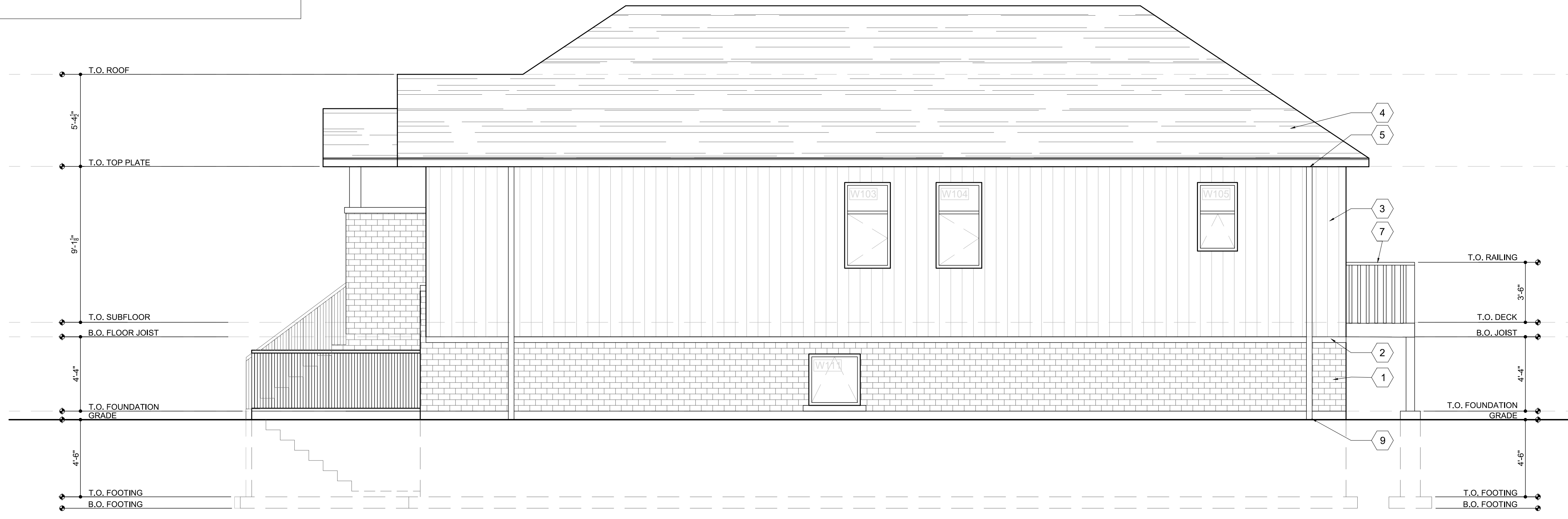
WINDOW WALL COVERAGE

ELEVATION	WALL AREA	WINDOW AREA	TOTAL WINDOW / WALL COVERAGE
EAST (FRONT)	(384) SQ. FT.	(78) SQ. FT.	78 / 384 = 20 %
NORTH (RIGHT)	(764) SQ. FT.	(44) SQ. FT.	44 / 764 = 5.7 %
WEST (REAR)	(384) SQ. FT.	(70) SQ. FT.	70 / 384 = 18 %
SOUTH (LEFT)	(764) SQ. FT.	(47) SQ. FT.	47 / 764 = 6.1 %
TOTAL:	(2296) SQ. FT.	(239) SQ. FT.	TOTAL WINDOW / WALL COVERAGE : 239 / 2296 = 10.7 %

GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY REF TABLE 9.7.2.3
MAX AGGREGATE AREA OF UNPROTECTED OPENINGS IN EXTERIOR WALL REF TABLE 9.10.14.4

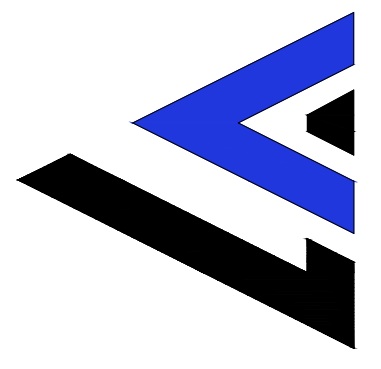


1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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FIRM BCIN
116428

DESIGNER BCIN
114482

ISSUED FOR
MDY
MINOR VARIANCE APPLICATION
01.27.2025

OWNER
1000982881 Ont Inc
CRISTIANO FONTANA &
JOSIANNE SAID

PROJECT NAME
WESTMINSTER

PROJECT ADDRESS
2451 WESTMINSTER BLVD
WINDSOR, ON N8T 1X9

PROJECT No
20040

SHEET NAME
EXTERIOR ELEVATIONS

SHEET No
A-06

EXTERIOR MATERIAL SCHEDULE

TYPE	KEYNOTE	COLOR	SIZE	MANUFACTURE
BRICK	1	BY OWNER / GC	3.5" X 3.5" X 11.5"	BY OWNER / GC
STONE LEDGE	2	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SIDING	3	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SHINGLES	4	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
EAVE AND DOWNSPOUTS	5	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC

A-06 & A-07 KEYNOTES

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10	6 X 6 P.T. WD. POST COVERED WITH ALUMINUM OR VINYL FLASHING FINISH.

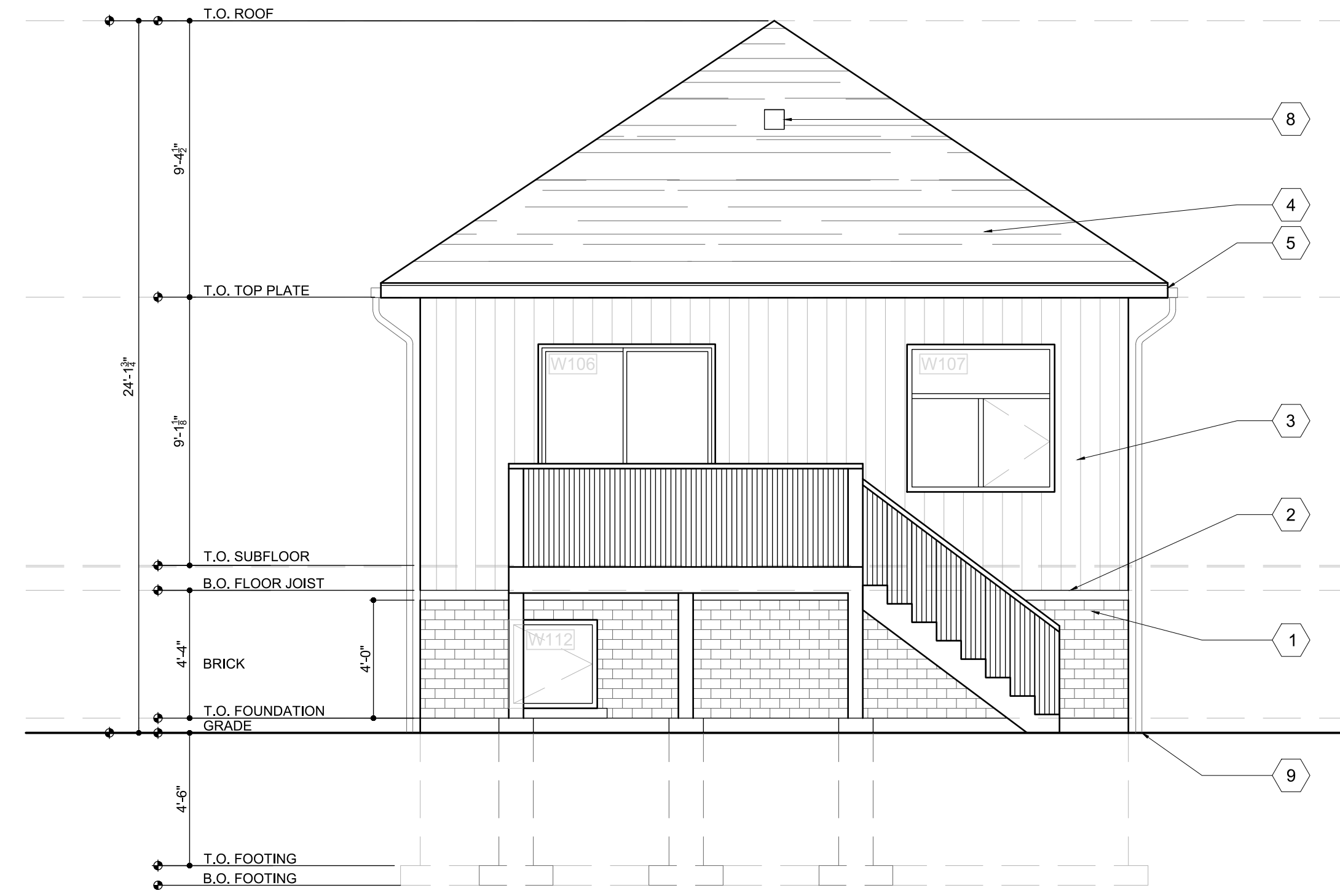
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WEST (REAR)	(384) SQ. FT.	(70) SQ. FT.	70 / 384 = 18 %
SOUTH (LEFT)	(764) SQ. FT.	(47) SQ. FT.	47 / 764 = 6.1 %
TOTAL:	(2296) SQ. FT.	(239) SQ. FT.	

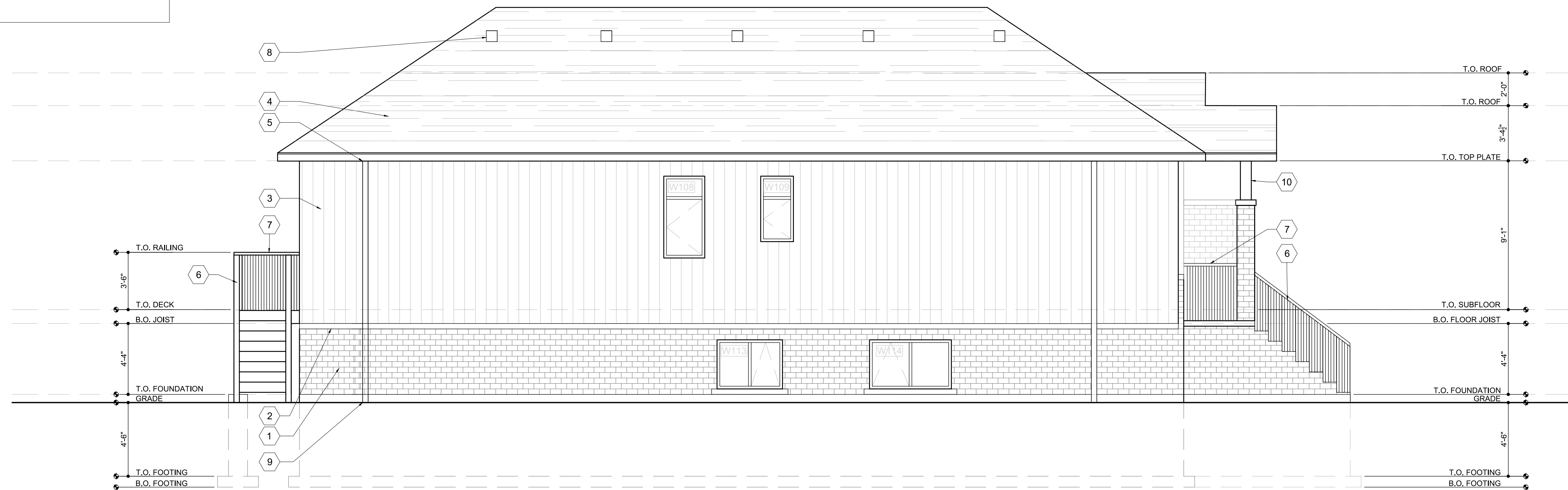
TOTAL WINDOW / WALL COVERAGE : 239 / 2296 = 10.7 %

GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY REF TABLE 9.7.2.3

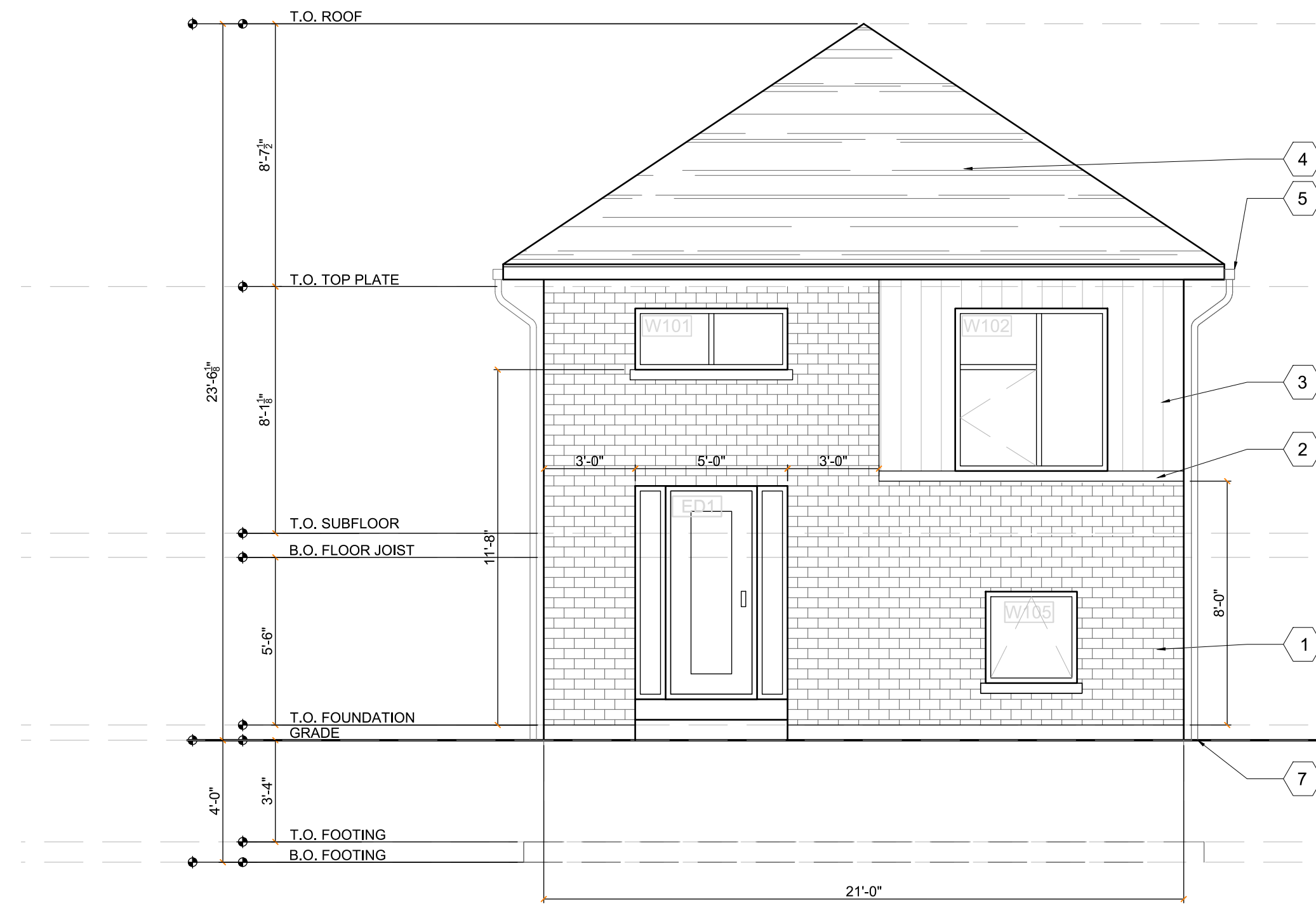
MAX AGGREGATE AREA OF UNPROTECTED OPENINGS IN EXTERIOR WALL REF TABLE 9.10.14.4



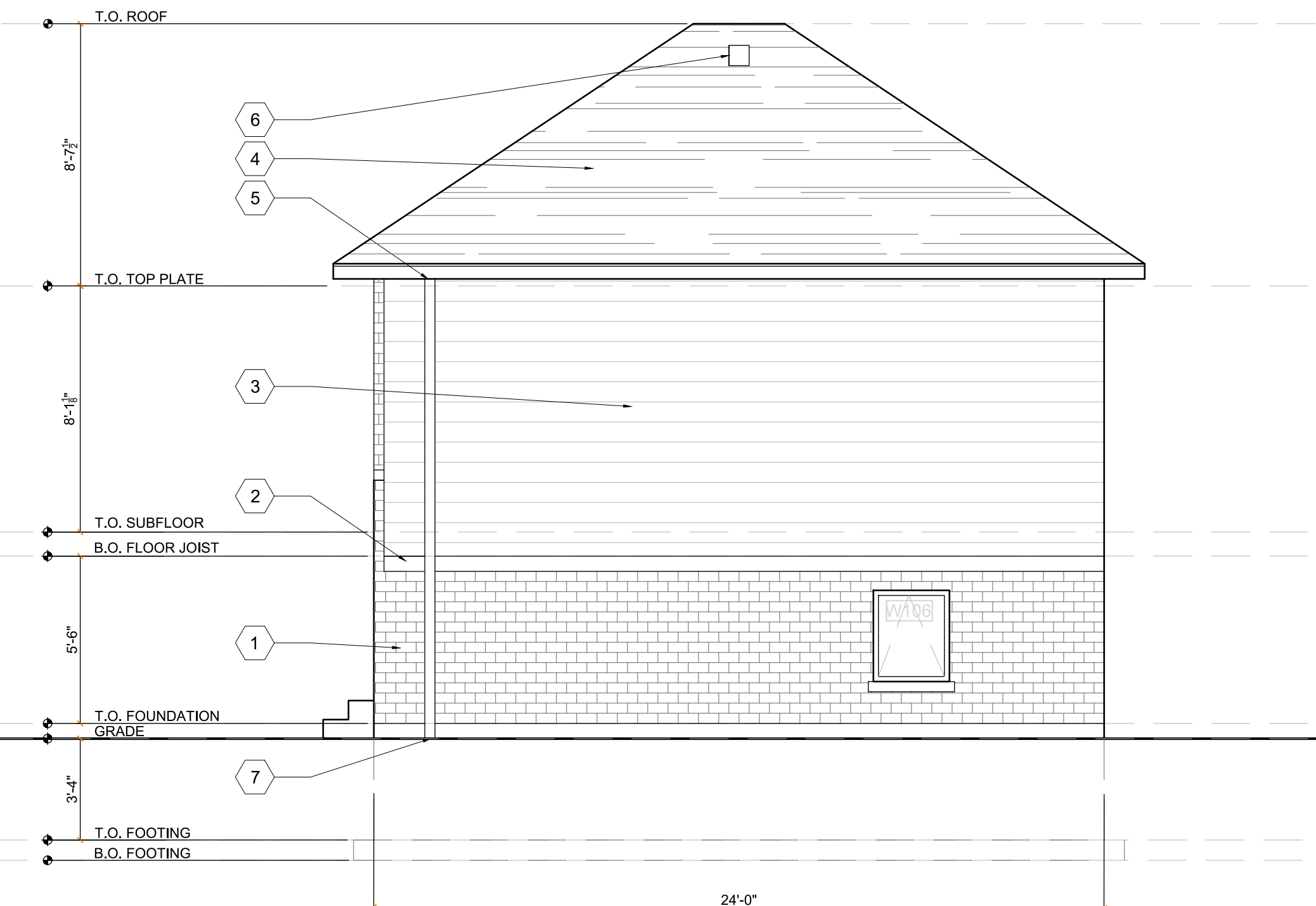
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



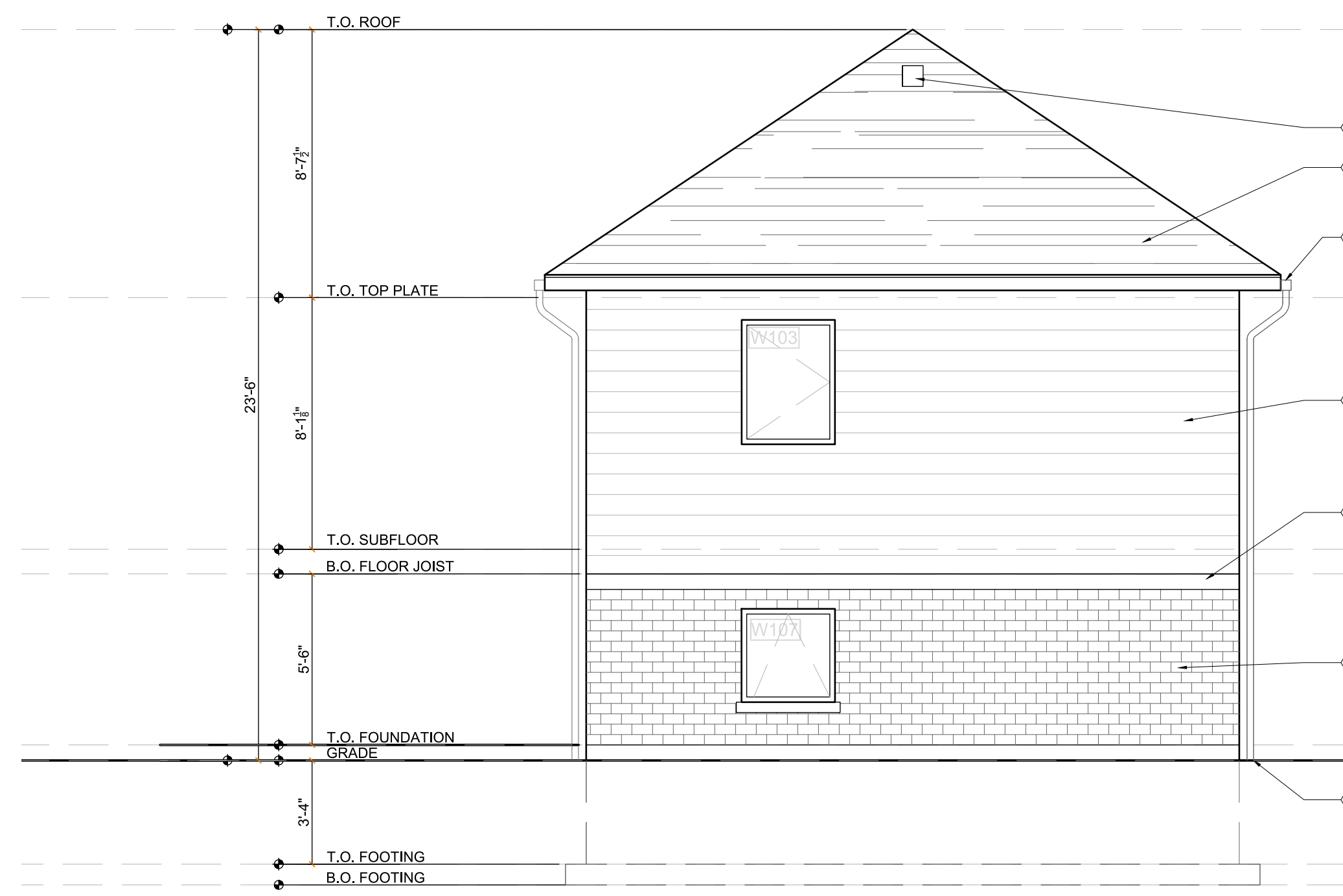
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



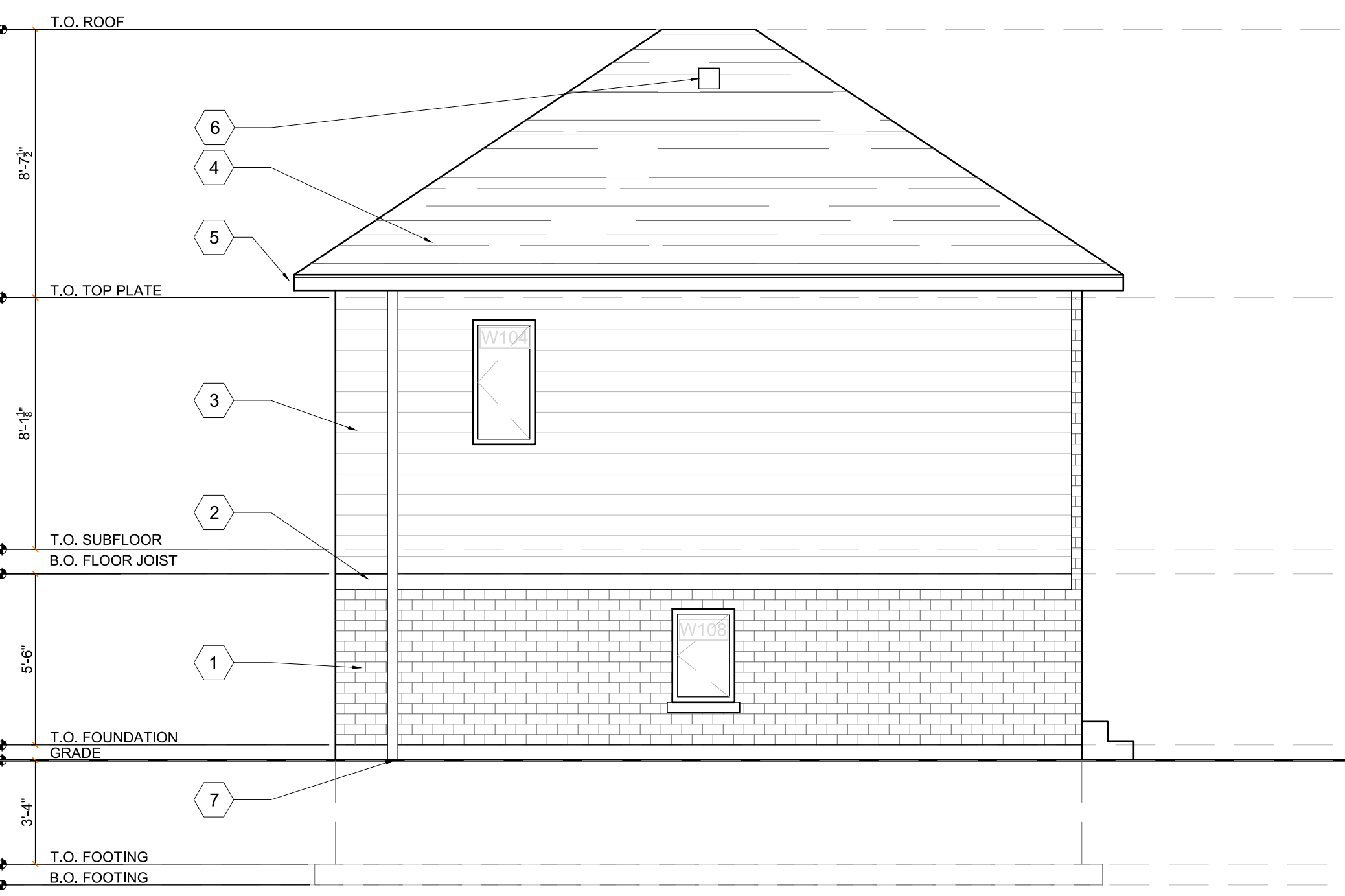
1 EAST ELEVATION
A-04 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
A-04 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
A-04 SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
A-04 SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

TYPE	KEYNOTE	COLOR	SIZE	MANUFACTURE
BRICK	1	BY OWNER / GC	3.5" X 3.5" X 11.5"	BY OWNER / GC
STONE LEDGE	2	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SIDING	3	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SHINGLES	4	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
EAVE AND DOWNSPOUTS	5	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC

A-04 KEYNOTES

#	KEYNOTE
6	ROOF VENT. REF ROOF PLAN ON A-02.
7	ALL DOWNSPOUT CONNECTIONS AS PER SUBDIVISION AGREEMENT OR PUBLIC WORK DEPT.

WINDOW WALL COVERAGE

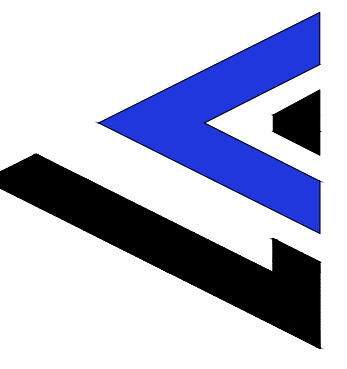
ELEVATION	WALL AREA	WINDOW AREA	TOTAL WINDOW / WALL COVERAGE
EAST (FRONT)	(317) SQ. FT.	(70) SQ. FT.	70 / 317 = 22%
NORTH (RIGHT)	(351) SQ. FT.	(8) SQ. FT.	8 / 351 = 2.3%
WEST (REAR)	(317) SQ. FT.	(21) SQ. FT.	21 / 317 = 6.6%
SOUTH (LEFT)	(351) SQ. FT.	(14) SQ. FT.	14 / 351 = 4 %
TOTAL:	(1336) SQ. FT.	(113) SQ. FT.	

TOTAL WINDOW / WALL COVERAGE : 113 / 1336 = 8.4%

GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY REF TABLE 9.7.2.3

MAX AGGREGATE AREA OF UNPROTECTED OPENINGS IN EXTERIOR WALL REF TABLE 9.10.14.4

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FIRM BCIN
116428
DESIGNER BCIN
114482

ISSUED FOR
MDY
MINOR VARIANCE APPLICATION
01.27.2025

OWNER
1000982881 Ont Inc
CRISTIANO FONTANA & JOSIANNE SAID

PROJECT NAME
WESTMINSTER ADU

PROJECT ADDRESS
2451 WESTMINSTER BLVD
WINDSOR, ON N8T 1X9

PROJECT No
20041

SHEET NAME
EXTERIOR ELEVATIONS

SHEET No
A-08