



COMMITTEE OF ADJUSTMENT

APPLICANT : 1000982881 ONTARIO INC

ADDRESS : 987 FORD BOULEVARD

 SUBJECT LANDS

N.T.S.



CITY OF WINDSOR

File: A-008/25

COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on February 26, 2025.

APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600

Owner: 1000982881 ONTARIO INC **Location:** 987 FORD BLVD

Legal Description: PLAN 709 LOT 373 **Zoning:** Residential RD1.2

Official Plan: Residential

Explanation: Proposed reduced minimum lot width and maximum lot coverage for an accessory building, thereby requesting the following relief:

Section 5.10.9.15 – Accessory Building Maximum Lot Coverage

By Law Requirements	Proposed
40.0 m ²	46.8 m ²

Section 10.2.5.1 – Minimum Lot Width

By Law Requirements	Proposed
12.0 m	9.1 m

COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450

When: March 13, 2025 at 3:30 pm

Where: VIA VIDEO CONFERENCE

(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

The applicant or agent must attend the meeting. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson
Secretary-Treasurer, Committee of Adjustment

Dated: February 27, 2025

Suite 210, 350 City Hall Square West
Windsor ON N9A 6S1

Tel: 519-255-6543
Fax: 519-255-6544
Email: jwatson@citywindsor.ca
Web: www.citywindsor.ca

1	Application Information		
	Name of ALL Owners 1000982881 Ont inc - JOSIANNE SAID - CRISTIANO FONTANA	Contact No. 519 - 551 - 9842	Business Telephone No.
	Address nathaniel@shermanhomes.ca 1875 TODD LANE LASALLE ON N9H 1J66		Postal Code N9H 1J66
	E-Mail Address:		
	Name of Contact Person/Agent (if different than owner) ANDREW LIBURDI	Contact No. 248-565-6827	Business Telephone No. 519 816 0918
Address 1163 LILLIAN AVE. WINDSOR, ON INFO@LIBURDIARCHITECTURAL. E-Mail Address: COM		Postal Code N9A 1V6	Fax No.
PAYMENT CONTACT INFORMATION ONLY:			
Name: Cristiano Fontana			
Contact No: 226 - 345 - 1888			
2	Date application submitted to the City of Windsor. FEB 6TH 2025		
3	Present Official Plan Provisions applying to the land: RESIDENTIAL		
4	Present Zoning By-law provisions applying to the land: RD 1.2		
5	Nature and extent of relief applied for: (you MUST list each By-law Section etc. and relief requested)		
6	State why it is NOT possible to comply with the provisions of the by-law. (Must be complete) THE PROPERTY ZONING RD 1.2 DOESN'T ALLOW FOR A NEW SINGLE UNIT DWELLING BASED ON THE LOTS WIDTH		
7	Legal Description of the Subject Land(s)		
	Municipality WINDSOR	Street Name FORD	Street Address 987
	Concession Number(s)	Registered/reference Plan No. plan 709	Lot/Part No.(s) lot 373
	Parcel No.	ROLL # 060-040-11702	
8	Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE		
	Lot Frontage/Width 30'-0" [9.0M]	Depth 132'- 5" [40.362M]	Lot Area 369.01M2/ (3972SF)
9	Access (check appropriate space)	Provincial Highway Municipal road, maintained all year Municipal road, seasonally maintained Other public road Right of way Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road _____	Yes No <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>
10	Water Supply	Publicly owned and operated piped water system... Privately owned and operated..... Individual or communal well..... Lake or other water body..... Other _____	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>
11	Sewage Disposal	Publicly owned and operated piped sewage system..... Privately owned and operated individual or communal septic tank system..... Pit, privy, or other _____	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>

12	Storm Drainage	Municipal Sewers Ditches or Swales Other (specify)	<input checked="checked" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="checked" type="checkbox"/> <input checked="checked" type="checkbox"/>
13 The existing uses of the subject land: NOTE: legal non-conforming use applications <u>must</u> provide evidence to support its status to the Planning Department (Zoning Coordinator and Planner).				
14 The proposed uses of the subject land: RESIDENTIAL				
15 Whether any buildings or structures are proposed to be built on the subject land. <input checked="checked" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown If the answer to item 15 is yes, for each building or structure please provide on the drawing submitted the type of building or structure, the setback from the front lot line, rear lot line, and side lot lines, the height in metres of the building or structure and the dimensions or floor area of the building or structure.				
16 Date the subject land was acquired by the current owner. <input type="checkbox"/> Unknown NOV 27TH 2025				
17 The date the existing buildings or structures on the subject land were constructed. <input type="checkbox"/> Unknown N/A				
18 The length of time that the existing uses of the subject land have continued. <input type="checkbox"/> Unknown N/A				
19 If known, whether the subject land has ever been the subject of an application under section 45 of the Act? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="checked" type="checkbox"/> Unknown If yes, describe briefly: Year: _____ Type of Relief: _____				
20 If known, whether the subject land is the subject of an application under the Act for approval of a plan of subdivision or a consent? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="checked" type="checkbox"/> Unknown If yes, the status of the application:				
21 <u>Applications submitted without the noted requirements will be considered incomplete and will be returned.</u> <u>Minimum Standards for Drawings:</u> Ontario Regulations 200/96 of the Planning Act provides the requirement of a sketch showing the following: its: a) The boundaries and dimensions of the subject land. b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and side yard lot lines. c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream bands, wetlands, wooded areas, wells and septic tank. d) The current uses on land that is adjacent to the subject land. e) The location, width and name of any roads withing or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way. f) If access to the subject land is by water only, the location of the parking and docking facilities to be used. g) The location and nature of any easement affecting the subject land. The required sketch map has been included with this application form. <input checked="checked" type="checkbox"/> Yes <input type="checkbox"/> No			Included <input type="checkbox"/> <input checked="checked" type="checkbox"/> <input checked="checked" type="checkbox"/> <input checked="checked" type="checkbox"/> <input checked="checked" type="checkbox"/> <input checked="checked" type="checkbox"/> <input checked="checked" type="checkbox"/> <input type="checkbox"/>	Not Applicable <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="checked" type="checkbox"/>

Note: Drawings must be in metric units.
Examples of acceptable drawings can be obtained upon request.



NTS - ILLUSTRATION PURPOSE ONLY

FORD 3

987 FORD BLVD.
WINDSOR ON
N8S 2E8

ISSUED FOR

	M	D	Y
MINOR VARIANCE APPLICATION	01	27	2025

TABLE TO CONTENT

CS	COVER SHEET
A-01	ARCHITECTURAL LOT FIT PLAN
A-06	EXTERIOR ELEVATIONS
A-07	EXTERIOR ELEVATIONS
A-04	DETACHED ADU ELEVATIONS

DESIGNER

ANDREW LIBURDI
248 - 565 - 6827
INFO@LIBURDIARCHITECTURAL.COM

DESIGNER BCIN: 114482

FIRM

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FIRM BCIN: 116428

OWNER

1000982881 Ont inc
CRISTIANO FONTANA
226 - 345 - 1888
CRISTIANO@FRONTLINEBUILDERS.CA
JOSIANNE SAID
519 - 551 - 9842
NATHANIEL@SHERMANHOMES.CA

PROJECT

PROJECT No.: 20038
ADDRESS: 987 FORD BLVD. WINDSOR ON N8S 2E8
SCOPE: CONSTRUCT A NEW SINGLE FAMILY HOME w/ AN ATTACHED ADU.

VICINITY MAP



SITE LOCATION



SB-12 COMPLIANCE MATRIX

PRESCRIPTIVE COMPLIANCE		
TABLE	3.1.1.2.A	
COMPLIANCE PACKAGE	A1	
PROJECT DESIGN CONDITIONS		
ZONE	1	
AREA OF WALLS	2437 SQ. FT. - 266.4m2	
AREA OF W, S & G	239 SQ. FT. - 21.8m2	
W, S & G PERCENTAGE	9.8 %	
SPACE HEATING SOURCE	GAS (UNIT A) ELEC (UNIT B)	
BUILDING SPECIFICATIONS BASED ON COMPLIANCE PACKAGE 1		
THERMAL INSULATION	MIN NOMINAL	PROVIDED
CEILING WITH ATTIC SPACE	R-60	R-60
CEILING WITHOUT ATTIC SPACE	R-31	N/A
EXPOSED FLOOR	R-35	N/A
WALLS ABOVE GRADE	R-22	R22
BASEMENT WALLS (NOTE 3.1.1.2.A (6))	R-20 CI	R-12+10ci
BELOW GRADES SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
HEATED SLAB OR SLAB < 600MM BELOW GRADE	R-10	N/A
EDGE OF BELOW GRADE SLAB < 600MM BELOW GRADE	R-10	N/A
WINDOW AND DOORS	REQUIRED	PROVIDED
WINDOWS / SLIDING GLASS DOORS	U-28 ER=25	U-28 ER=25
SKYLIGHT	U-28	N/A
MECHANICAL	REQUIRED	PROVIDED
SPACE HEATING EQUIP. (MIN AFUE)	96%	96%
HRV EFFICIENCY (SRE %)	75%	75%
DOMESTIC WATER HEATER	0.80	0.80

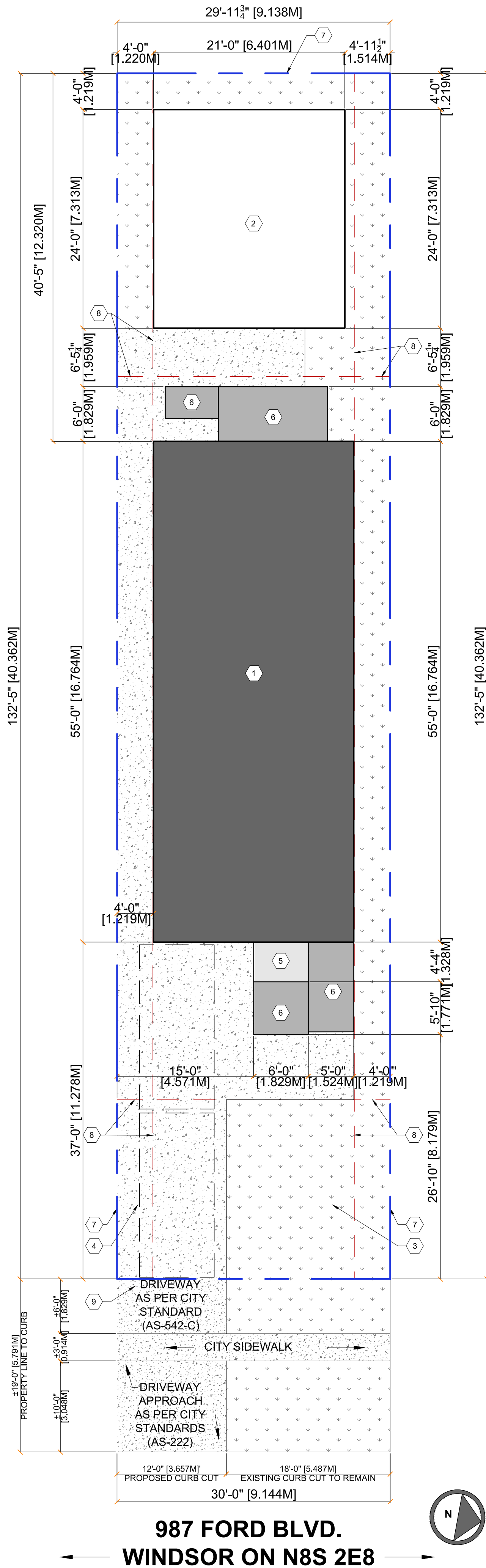


SITE DATA MATRIX

BUILDING INFORMATION		
BUILDING CLASSIFICATION:	PART 9	
FACING STREETS	ONE	
PRIMARY ENTRY:	STREET	
PRIMARY FIREFIGHTERS ENTRY	N/A	
BARRIER FREE ENTRY	N/A	
LOT COVERAGE (MAIN)		
	SQ. FT.	SQ. M.
FIRST FLOOR (FOOTPRINT)	1210	112.41
SECOND FLOOR	0	0
FRONT PORCH (COVERED)	26	2.42
BACK PORCH	0 (NO ROOF ABOVE)	
TOTAL COVERAGE	1236	114.83
LOT COVERAGE (DETACHED ADU)		
	SQ. FT.	SQ. M.
FIRST FLOOR (FOOTPRINT)	504	46.82
SECOND FLOOR	0	0
FRONT PORCH (COVERED)	0	0
BACK PORCH	0	0
TOTAL COVERAGE	504	46.82
SITE INFORMATION		
ZONING	RD 1.2	
PROPOSED USE	RESIDENTIAL	
ZONING DATA		
	REQUIRED / MAX	PROVIDED / PROPOSED
MINIMUM LOT FRONTAGE	12M (39.37')	9.14M (30'-0")
MINIMUM LOT AREA	360 M ²	369.01M ² (3972SF)
MAXIMUM LOT COVERAGE	45% (MAX)	28.4% MAIN (1236SF) KEYNOTE 1 + 11.6% DETACHED ADU (504SF) KEYNOTE 2 43.8 %
MAXIMUM BUILDING HEIGHT	9M (29.5276')	7.15M (23'-5 3/4")
MINIMUM FRONT YARD DEPTH	6M (19.685')	11.27M (37'-0")
MINIMUM REAR YARD DEPTH	7.5M (24.6063')	16.17M (53'-0 3/4")
MINIMUM SIDE YARD WIDTH	1.2M	1.22M / 4'-0"
MAXIMUM GROSS FLOOR AREA	400M ²	112.41M ² (UNIT A UPPER) 112.41M ² (UNIT B LOWER) 93.6M ² (UNIT C DETACHED ADU) 318.42M ²
LANDSCAPE OPEN SPACE	50%	50%

SITE PLAN KEYNOTES

#	KEYNOTE
1	PROPOSED SINGLE FAMILY HOUSE w/ ATTACHED ADU
2	PROPOSED DETACHED ADU - SEPARATE PERMIT SUBMITTAL - PROJECT #20039
3	LANDSCAPING
4	CONCRETE SURFACE
5	COVERED PORCH
6	UNCOVERED STAIRS AND DECK
7	PROPERTY LINE
8	SETBACK LINE
9	EXISTING DRIVEWAY +/- 12'-0". TO REMAIN.



987 FORD BLVD.
WINDSOR ON N8S 2E8

1
A-01

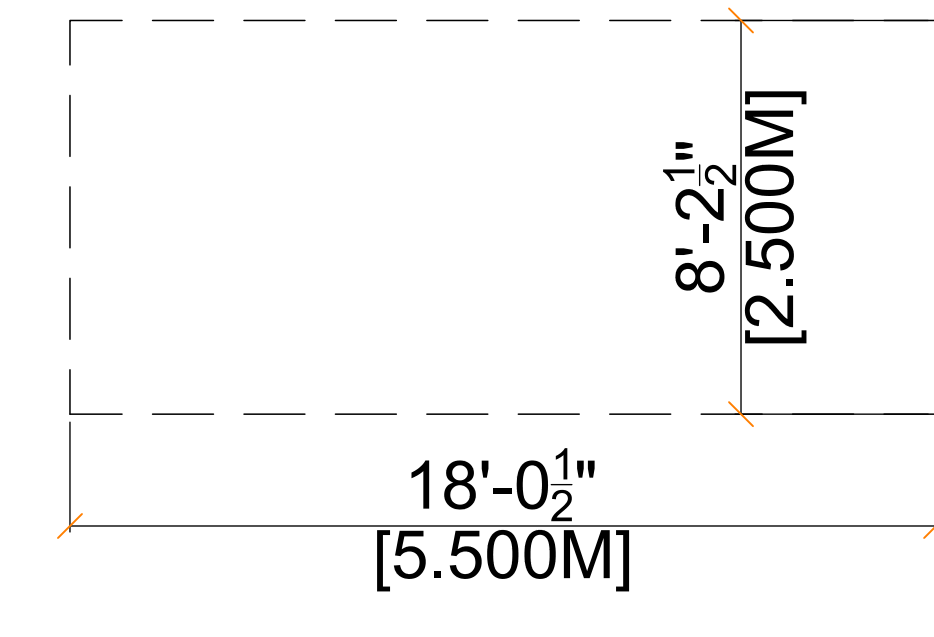
ARCHITECTURAL LOT FIT PLAN

SCALE: 1/8" = 1'-0"

SITE PLAN LEGEND

DESCRIPTION	KEYNOTE
PROPOSED SINGLE FAMILY HOUSE w/ ATTACHED ADU	1
PROPOSED DETACHED ADU - SEPARATE PERMIT - PROJECT #20039	2
LANDSCAPING	3
CONCRETE SURFACE	4
COVERED PORCH	5
UNCOVERED STAIRS AND DECK	6
PROPERTY LINE	7
SETBACK LINE	8

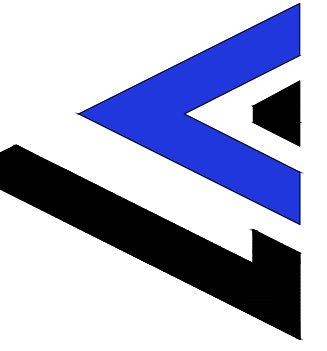
PARKING SPACE CITY OF WINDSOR STANDARD



SITE PLAN GENERAL NOTES

- 1 ARCHITECTURAL LOT FIT PLAN CREATED BASED ON INFORMATION PROVIDED BY TOTAL TECH SURVEYING INC.
- 2 REFER TO SHEET G1 FOR GENERAL SITE PLAN INFORMATION.

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FIRM BCIN

116428

DESIGNER BCIN

114482

ISSUED FOR

MDY
01.27.2025
MINOR VARIANCE APPLICATION

OWNER

1000982881 Ont Inc
CRISTIANO FONTANA & JOSIANNE SAID

PROJECT NAME

FORD 3

PROJECT ADDRESS

987 FORD BLVD.
WINDSOR ON
N8S 2E8

PROJECT No

20038

SHEET NAME

ARCHITECTURAL
LOT FIT PLAN

SHEET No

A-01

EXTERIOR MATERIAL SCHEDULE

TYPE	KEYNOTE	COLOR	SIZE	MANUFACTURE
BRICK	1	BY OWNER / GC	3.5" X 3.5" X 11.5"	BY OWNER / GC
STONE LEDGE	2	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SIDING	3	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SHINGLES	4	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
EAVE AND DOWNSPOUTS	5	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC

A-06 & A-07 KEYNOTES

#	KEYNOTE
6	36" HIGH HANDRAIL AS PER OBC. REF GENERAL NOTES ON G1 FOR ADDITIONAL NOTES AND OBC REFERENCE.
7	42" HIGH GUARDRAIL AS PER OBC. REF GENERAL NOTES ON G1 FOR ADDITIONAL NOTES AND OBC REFERENCE.
8	ROOF VENT. REF ROOF PLAN ON A-03.
9	ALL DOWNSPOUT CONNECTIONS AS PER SUBDIVISION AGREEMENT OR PUBLIC WORK DEPT.
10	6 X 6 P.T. WD. POST COVERED WITH ALUMINUM OR VINYL FLASHING FINISH.

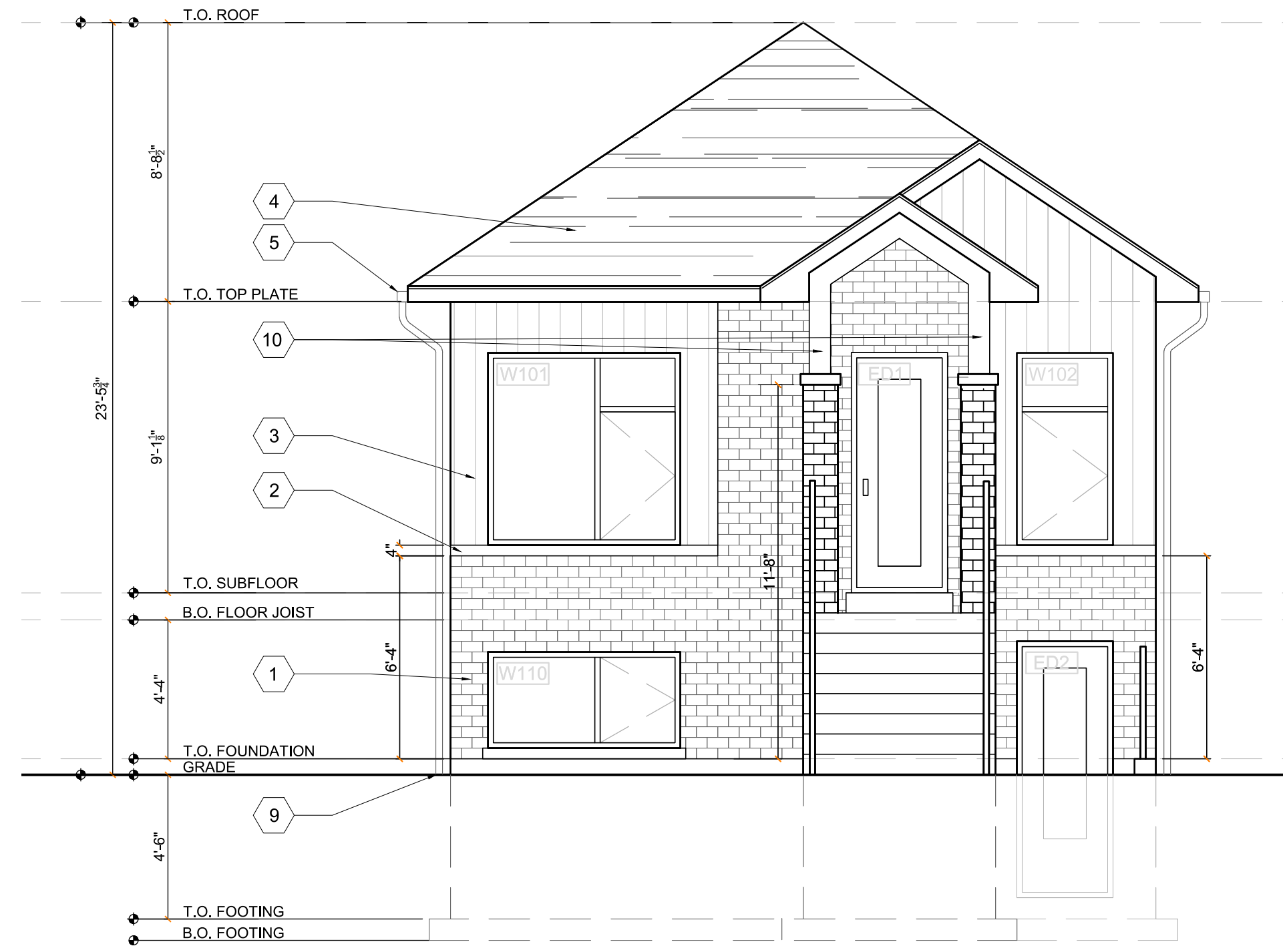
WINDOW WALL COVERAGE

ELEVATION	WALL AREA	WINDOW AREA	TOTAL WINDOW / WALL COVERAGE
EAST (FRONT)	(350) SQ. FT.	(78) SQ. FT.	78 / 350 = 22 %
NORTH (RIGHT)	(881) SQ. FT.	(44) SQ. FT.	44 / 881 = 5 %
WEST (REAR)	(325) SQ. FT.	(70) SQ. FT.	70 / 325 = 20.5 %
SOUTH (LEFT)	(881) SQ. FT.	(47) SQ. FT.	47 / 881 = 5 %
TOTAL:	(2437) SQ. FT.	(239) SQ. FT.	

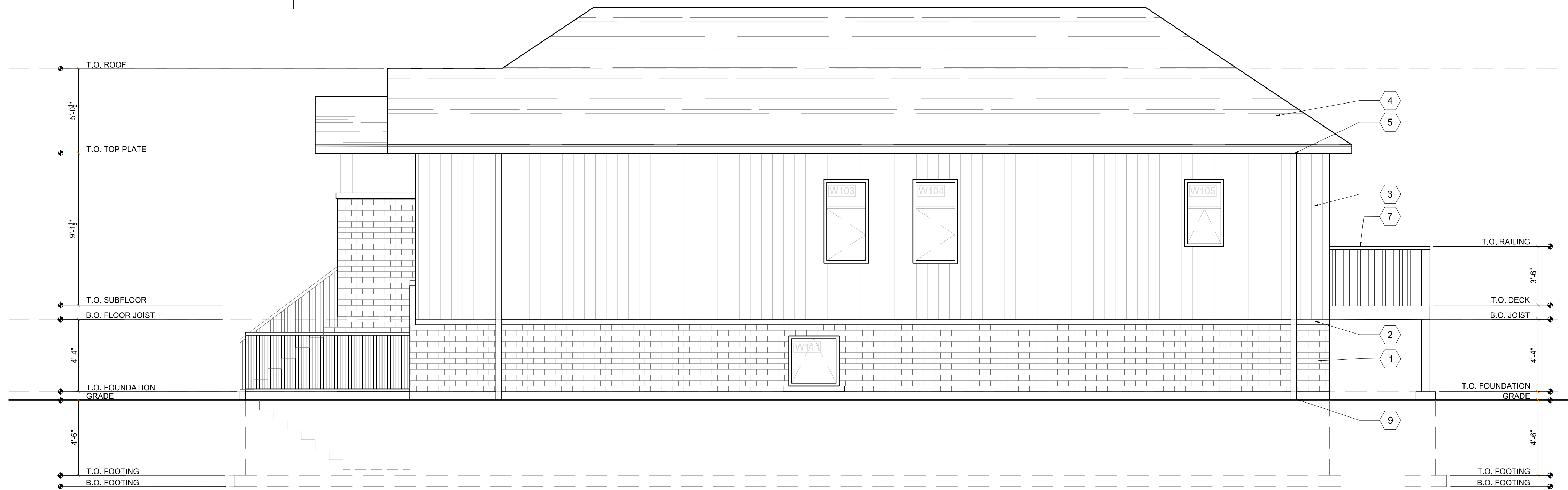
TOTAL WINDOW / WALL COVERAGE : 239 / 2437 = 9.8 %

GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY REF TABLE 9.7.2.3

MAX AGGREGATE AREA OF UNPROTECTED OPENINGS IN EXTERIOR WALL REF TABLE 9.10.14.4

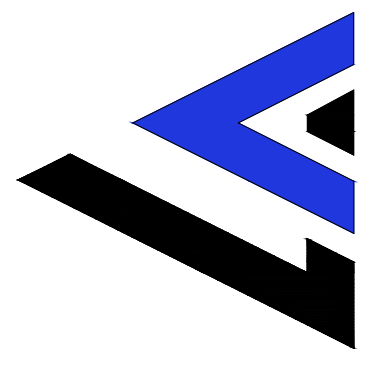


1 EAST ELEVATION
A-06 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
A-06 SCALE: 1/4" = 1'-0"

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PROJECT NAME
FORD 3

PROJECT ADDRESS
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WINDSOR ON
N8S 2E8

PROJECT No
20038

SHEET NAME
EXTERIOR ELEVATIONS

SHEET No
A-06

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SIDING	3	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SHINGLES	4	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
EAVE AND DOWNSPOUTS	5	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC

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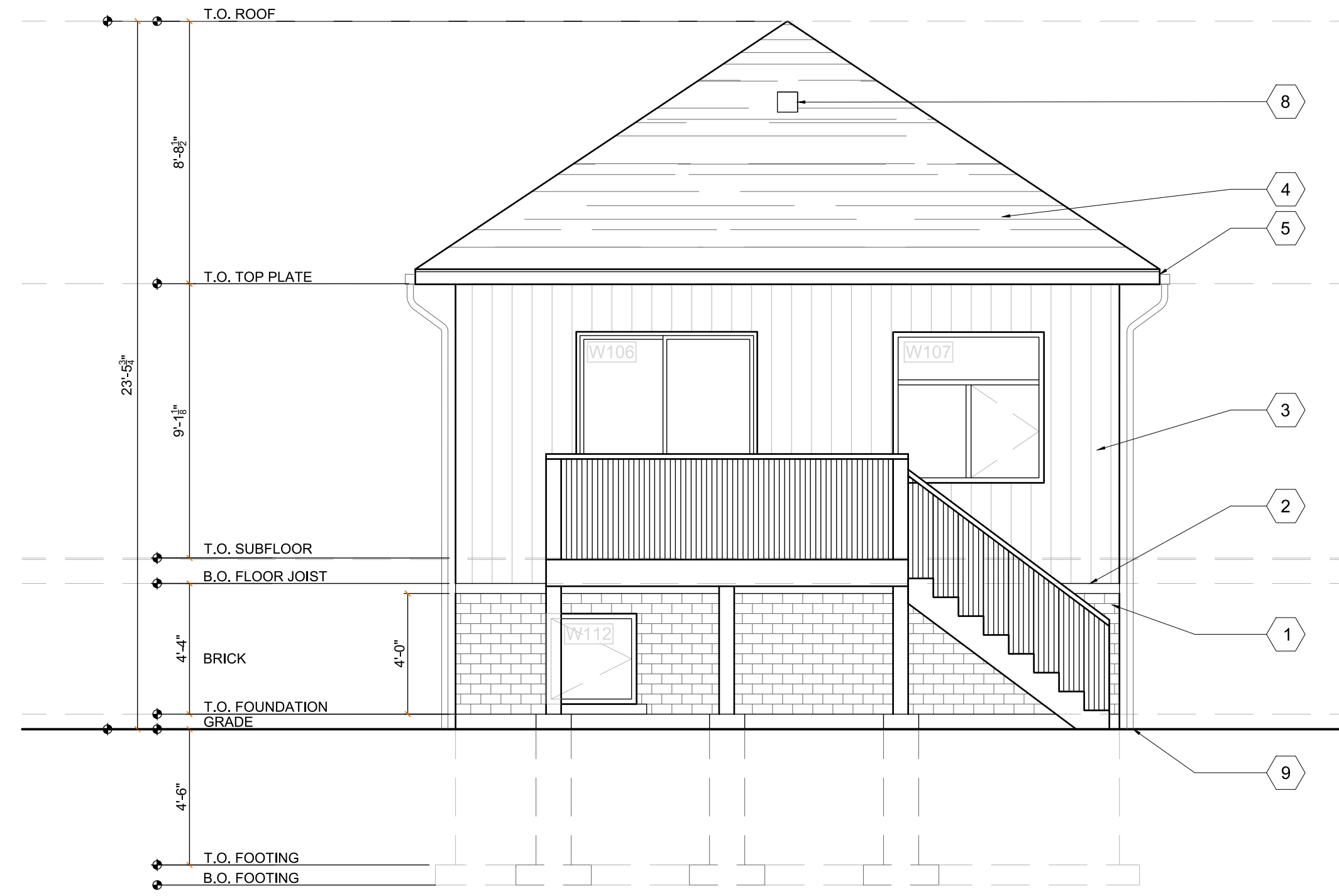
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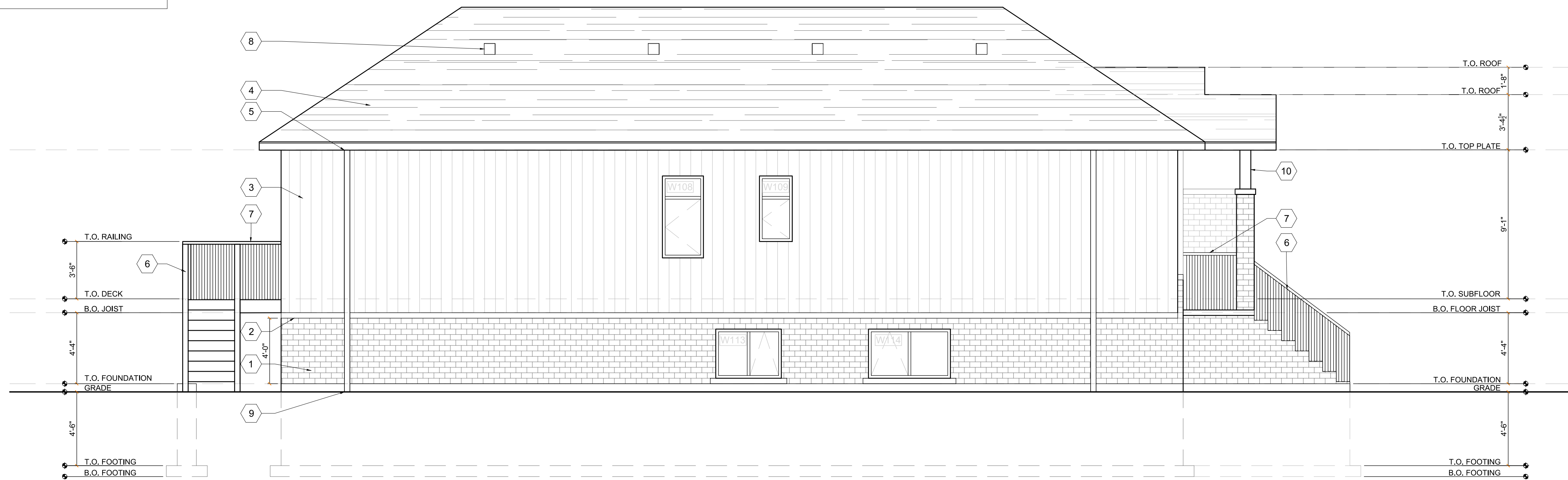
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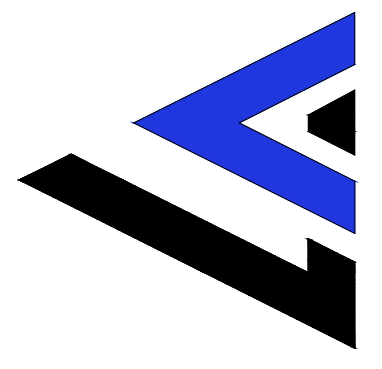


1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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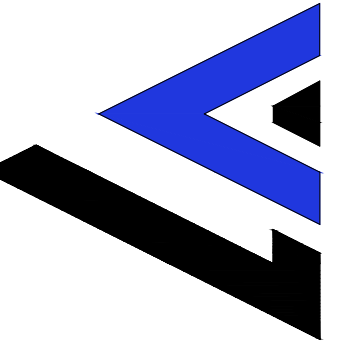
PROJECT NAME
FORD 3

PROJECT ADDRESS
987 FORD BLVD.
WINDSOR ON
N8S 2E8

PROJECT No
20038

SHEET NAME
EXTERIOR ELEVATIONS

SHEET No
A-07



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 116428
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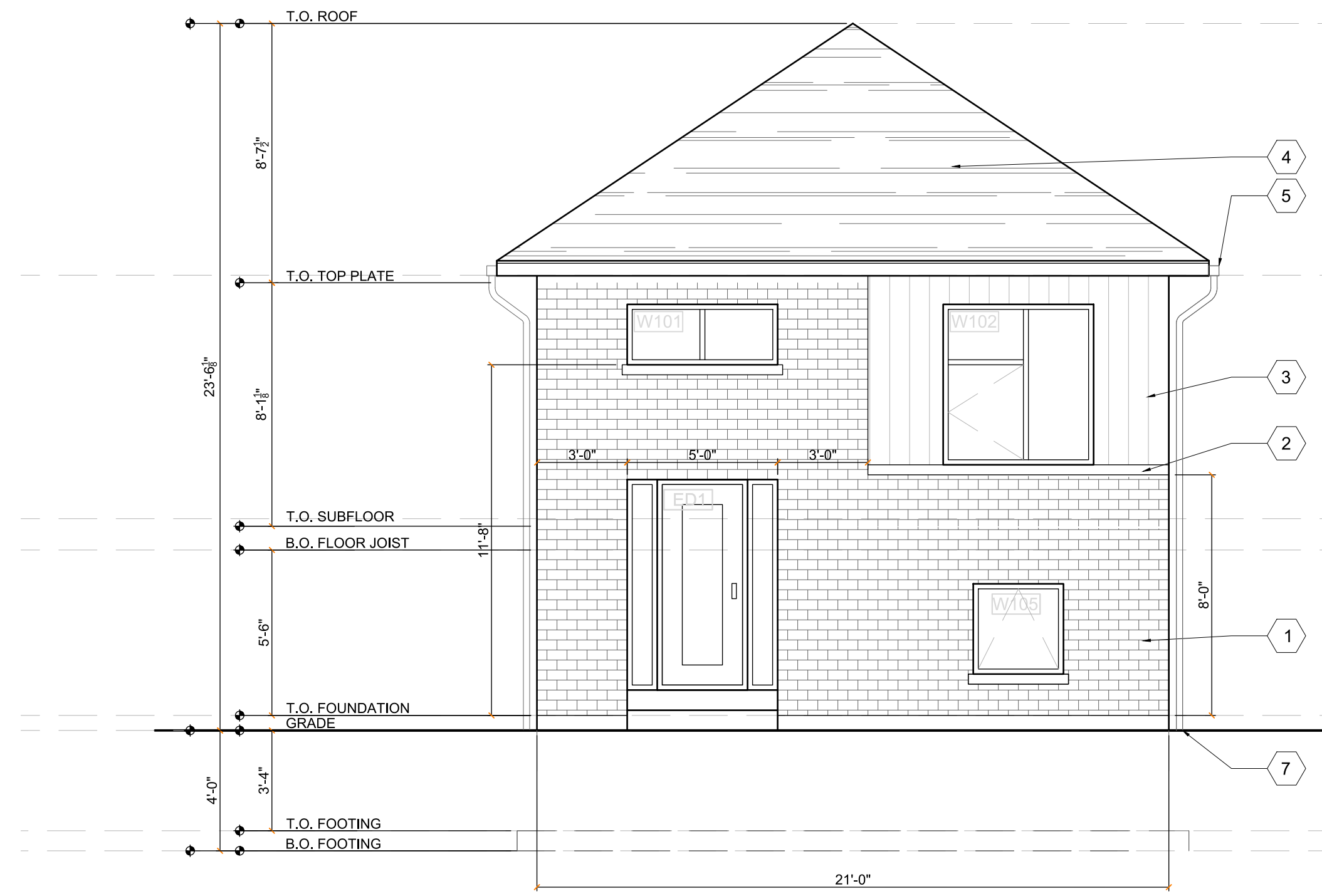
PROJECT NAME
 FORD 3 DETACHED ADU

PROJECT ADDRESS
 987 FORD BLVD.
 WINDSOR ON
 N8S 2E8

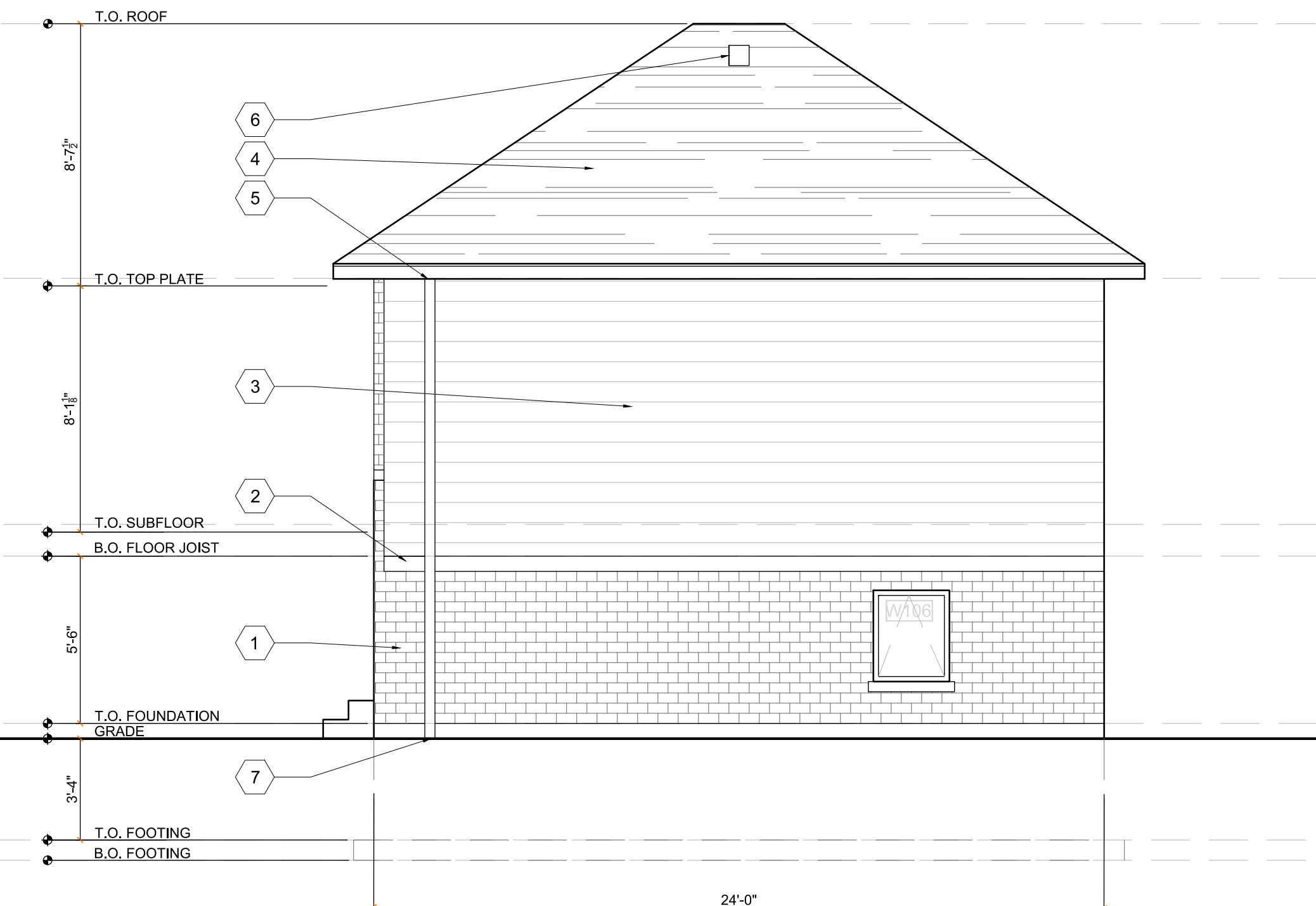
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SHEET NAME
EXTERIOR ELEVATIONS

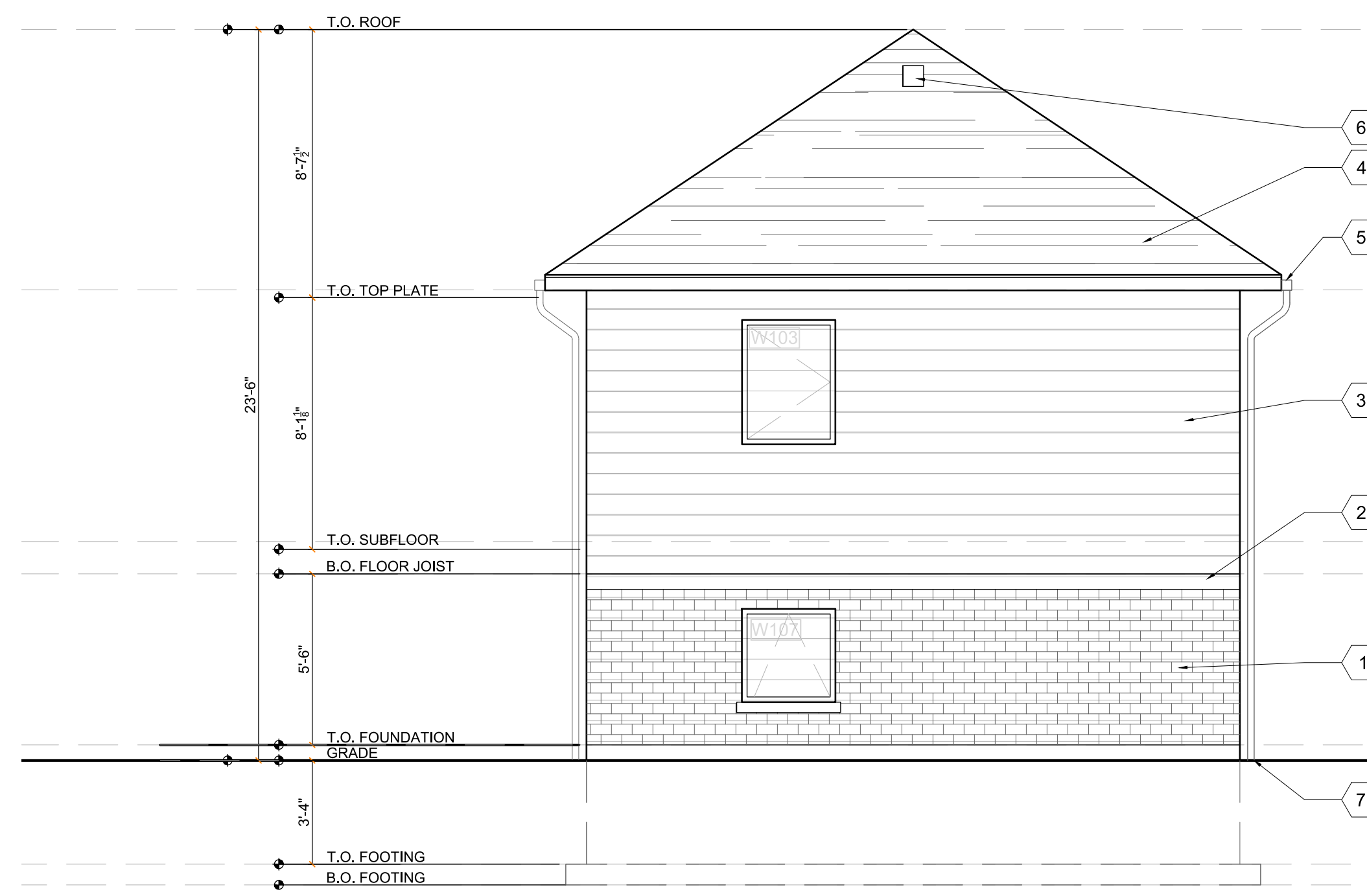
SHEET No
A-04



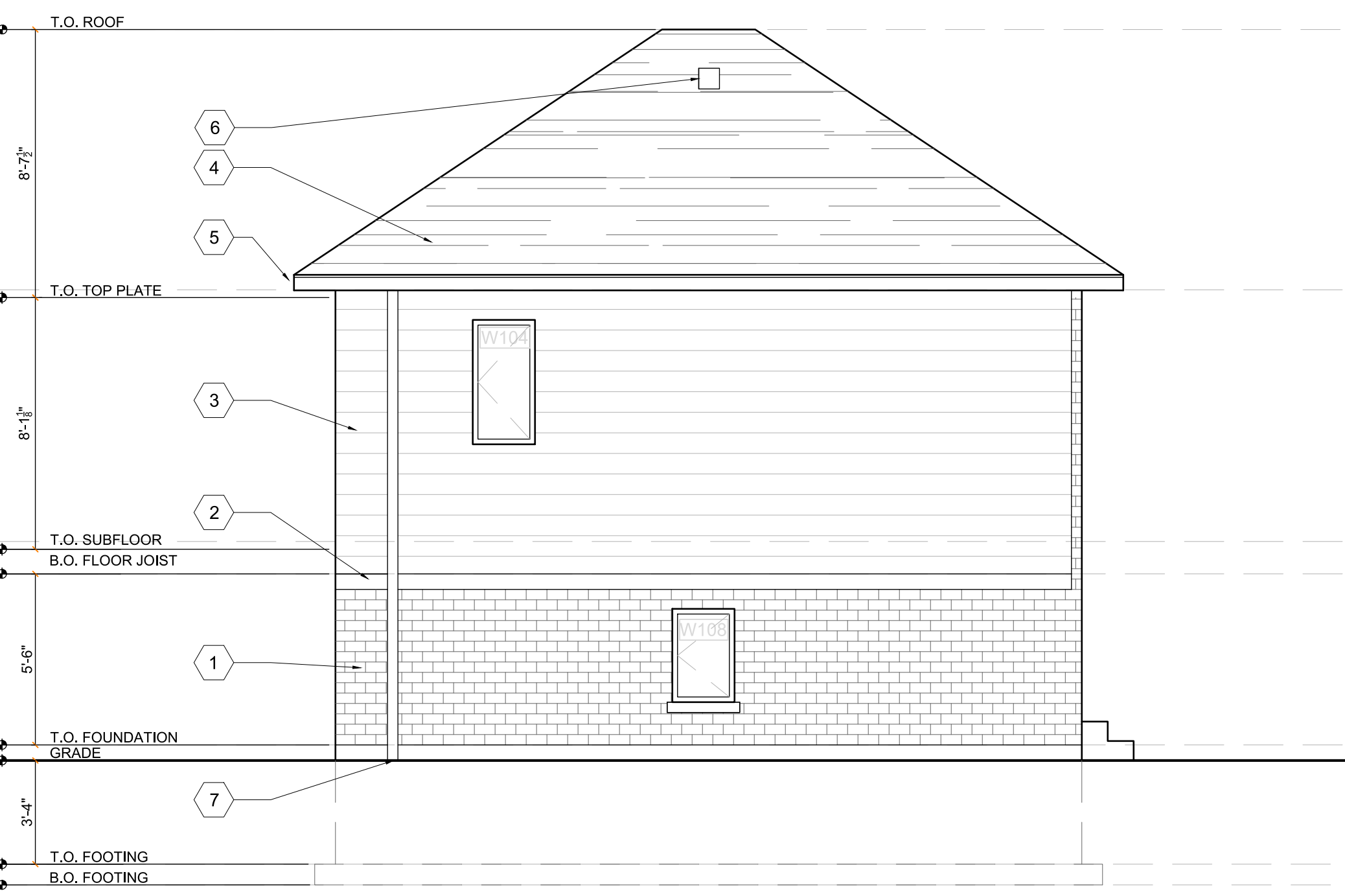
1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

TYPE	KEYNOTE	COLOR	SIZE	MANUFACTURE
BRICK	1	BY OWNER / GC	3.5" X 3.5" X 11.5"	BY OWNER / GC
STONE LEDGE	2	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SIDING	3	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
SHINGLES	4	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC
EAVE AND DOWNSPOUTS	5	BY OWNER / GC	BY OWNER / GC	BY OWNER / GC

A-04 KEYNOTES

6	ROOF VENT. REF ROOF PLAN ON A-02.
7	ALL DOWNSPOUT CONNECTIONS AS PER SUBDIVISION AGREEMENT OR PUBLIC WORK DEPT.

WINDOW WALL COVERAGE

ELEVATION	WALL AREA	WINDOW AREA	TOTAL WINDOW / WALL COVERAGE
EAST (FRONT)	(263) SQ. FT.	(52) SQ. FT.	52 / 263 = 19.7%
NORTH (RIGHT)	(348) SQ. FT.	(8) SQ. FT.	8 / 348 = 2%
WEST (REAR)	(263) SQ. FT.	(34.5) SQ. FT.	34.5 / 263 = 13.1%
SOUTH (LEFT)	(348) SQ. FT.	(13) SQ. FT.	13 / 348 = 4%
TOTAL:	(1222) SQ. FT.	(107.5) SQ. FT.	

TOTAL WINDOW / WALL COVERAGE : 107.5 / 1222 = 8.7%

GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY REF TABLE 9.7.2.3

MAX AGGREGATE AREA OF UNPROTECTED OPENINGS IN EXTERIOR WALL REF TABLE 9.10.14.4