

Notice of Public Hearing – Committee of Adjustment Application

File # A-007/26 - 345 ASKIN AVE

Date Mailed: January 28, 2026

Electronic hearing:

By videoconference on February 12, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on January 28, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 51 LOT 42

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential RD2.1

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p>Owner Name: 1000928562 ONTARIO INC.</p> <p>Applicant Name: Gyemi Collaborative Architects Inc. (Tony Gyemi)</p>		345 ASKIN AVE

PURPOSE OF APPLICATION

Minor Variance - Request for Relief from the Maximum Main Building Gross Floor Area and Maximum Accessory Building Lot Coverage for a Semi-detached Dwelling

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	11.1.5.10	Maximum Gross Floor Area – Main Building	400 m ²	433 m ²
Zoning By-law 8600	5.10.9.10	Maximum lot coverage for all accessory buildings	10%	12%

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca



18-634

345 askin avenue

windsor, ontario

VARIANCE - NEW SEMI-DETACHED WITH ADDITIONAL DWELLING UNITS

CLIENT:

2531823 ONTARIO LIMITED

PROJECT:

VARIANCE - NEW SEMI-DETACHED WITH ADDITIONAL DWELLING UNITS
345 ASKIN AVE., WINDSOR, ON

NOTES:

- THESE DRAWINGS PROVIDE DESIGN AND SCOPE OF WORK FOR ARCHITECTURAL WORK ONLY. MECHANICAL AND ELECTRICAL DESIGN AND DRAWINGS TO BE PROVIDED BY OTHERS UNDER SEPARATE CONTRACT.
- THE ONTARIO BUILDING CODE, 2012 EDITION, O. REG. 332/12, INCLUDING LATEST REVISIONS UP TO DATE OF PERMIT ISSUANCE, SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THIS STRUCTURE.
- ALL DIMENSIONS GIVEN ON THE DRAWINGS MUST BE VERIFIED AND ANY INCONSISTENCIES REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT, O. REG. 218/91, LATEST AMENDMENTS.
- ELECTRICAL CONTRACTOR TO PROVIDE INTERCONNECTED SMOKE ALARMS AND CARBON MONOXIDE ALARMS WITH STROBE IN ACCORDANCE WITH OBC 9.10.13 AND 9.33.4.
- ANY SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT PRIOR TO PROCEEDING. SEE ALL SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT NOTE ON A-1.

ALL SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT

Any substitution from the work specified in these documents is to be submitted to the Architect for approval prior to proceeding with the work. Submit full paperwork showing how the substitution complies with the Ontario Building Code (OBC) and maintains the performance and quality of the originally specified product or system. The cost of reviewing any changes to confirm compliance and acceptance by the Owner and Architect will be the responsibility of the Owner and may be passed on to the Contractor or Sub-Contractor requesting the change. The Architect will not be able to sign off on the project to allow the Permit to be closed and the Owner to occupy, if they do review and accept all changes. If the Contractor or Sub-Contractor proceeds without prior approval they will be responsible for the cost to expose and replace non-compliant work and for the cost to the Owner for delays in the schedule. Acceptance by City Inspectors does not ensure acceptance by the Architect, who must accept all work independently from City Authorities.

OBC 2012 DATA

PART 3 BUILDING GROUP C, UP TO 3 STOREYS AND LESS THAN 6000m².

REQUIRED TO FACE ONE (1) STREET.

SPRINKLER & STANDPIPE SYSTEMS NOT REQUIRED.

NOTES:

REFUSE WILL BE COLLECTED AT THE RIGHT-OF-WAY BY MUNICIPAL SERVICES.

A BUILDING SHALL NOT BE LOCATED BENEATH EXISTING ABOVE GRADE ELECTRICAL CONDUCTORS, WHERE A BUILDING IS TO BE CONSTRUCTED IN PROXIMITY TO ABOVE GROUND ELECTRICAL CONDUCTORS HORIZONTAL CLEARANCES BETWEEN BUILDINGS AND CONDUCTORS SHALL COMPLY WITH SUBSECTION 3.1.9 OF THE ONTARIO BUILDING CODE.

Site Plan Notes:

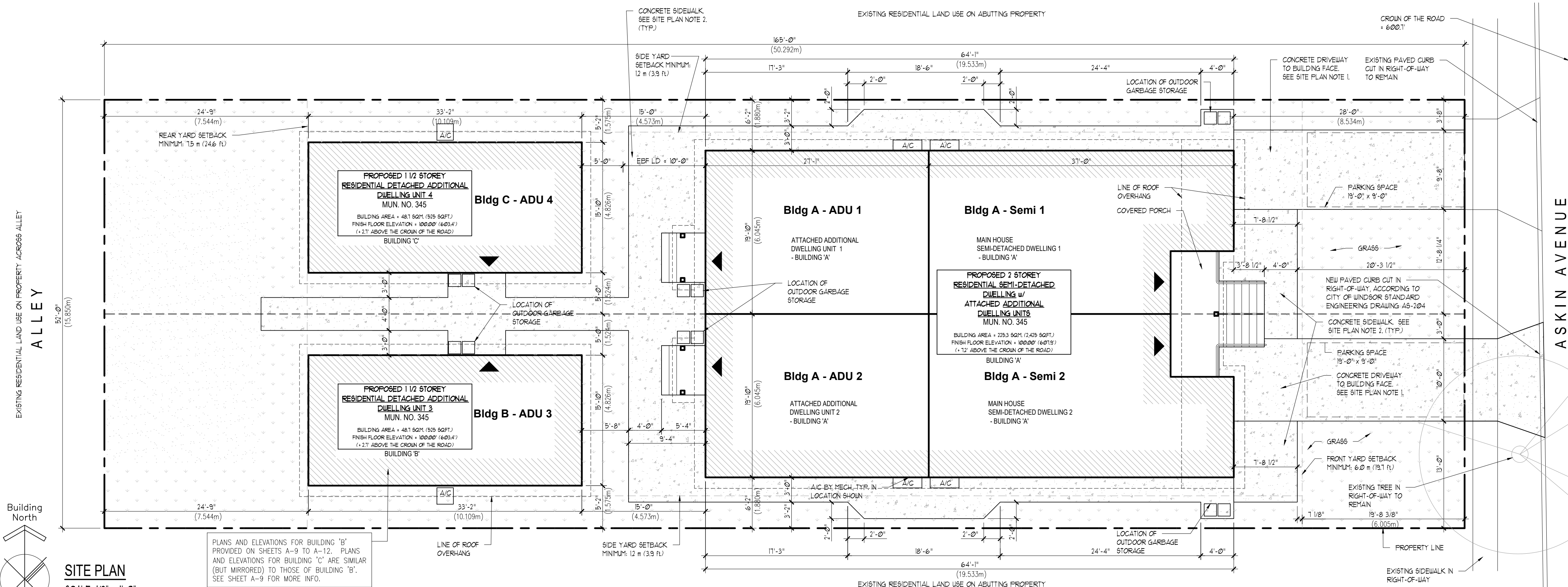
- Parking Areas to be 4" 1/2" Poured Concrete 32 MPA with air entrainment on 6" Granular A compacted to 100% SPMDD.
- Sidewalks to be 4" Poured Concrete 32 MPA with air entrainment on 6" Granular A compacted to 100% SPMDD.

DESIGN DATA TABLE

ZONING:	PERMITTED / REQUIRED	PROPOSED / PROVIDED
345 ASKIN ROAD ZONED RD.1 PER BY-LAW 8600		
INTENDED USE	SEMI-DETACHED DWELLINGS	SEMI-DETACHED DWELLINGS
GRADE	average elevation of crown of road abutting front lot line	600.7' (93.1' RELATIVE TO FIN. FLOOR AT 100.00')
MINIMUM LOT AREA	4,843.76 ft ² (450 m ²)	6,580.00 ft ² (797.11 m ²) 0.197 acres (0.080 ha)
MINIMUM LOT FRONTAGE	49.21' (15.0 m)	52.0' (15.85 m)
MAXIMUM LOT COVERAGE	45.0 %	3,605 ft ² (334.9 m ²) or 42.0 %
MINIMUM FRONT YARD DEPTH	19'-8 1/4" (6.0 m)	28'-0" (8.53 m)
MINIMUM REAR YARD DEPTH	24'-7 3/8" (7.5 m)	24'-9" (7.54 m)
MINIMUM SIDE YARD WIDTH	3'-11 1/4" (1.2 m)	NORTH : 6'-2" (1.88 m) SOUTH : 6'-2" (1.88 m)
MIN. LANDSCAPED OPEN SPACE YARD	N/A	4,228 sq.ft. = 49.2 %
MAXIMUM BUILDING HEIGHT	32'-9 5/8" (10.0 m)	30'-11" (9.4 m)
BUILDING AREA	N/A	3,474 ft ² (322.7 m ²)
NUMBER OF FLOORS	N/A	MAIN : 2 storeys + cellar DETACHED A.D.U. : 1.75 storeys
GROUND FLOOR AREA	N/A	MAIN : 2,425 ft ² (225.3 m ²) DETACHED A.D.U. : 525 ft ² (48.8 m ²) x2 = 1,050 ft ² (97.6 m ²)
SECOND FLOOR AREA	N/A	MAIN : 1,150 ft ² (106.8 m ²) DETACHED A.D.U. : 477 ft ² (44.3 m ²) x2 = 954 ft ² (88.6 m ²)
GROSS FLOOR AREA (GFA)	N/A	MAIN : 3,575 ft ² (332.1 m ²) DETACHED A.D.U. : 1,002 ft ² (93.1 m ²) x2 = 2,004 ft ² (186.2 m ²)
FLOOR AREA RATIO (FAR / lot area)	N/A	1 : 1.54
PAVED AREA	N/A	1,552 ft ² (144.2 m ²)
PARKING SPACES	1 space for each semi-detached unit = 2 spaces required	2 spaces provided
ACCESSIBLE (H.C.) PARKING SPACES	N/A	N/A

BUILDING DESIGN SUMMARY ONTARIO BUILDING CODE 2012 - DATA MATRIX:

PROJECT DESCRIPTION:	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> PART 3
NEW SEMI-DETACHED DWELLING w/ A.D.U.'s	<input type="checkbox"/> ALTERATION	<input checked="" type="checkbox"/> PART 9
345 ASKIN ROAD	<input type="checkbox"/> CHANGE OF USE	<input checked="" type="checkbox"/> PART 11
MAJOR OCCUPANCY(IES) (OBC 3.1.2.1.(1), 9.10.2)	GROUP C - RESIDENTIAL	
BUILDING AREA	MAIN 225.3 m ² A.D.U. 48.7 m ² x2 TOTAL 322.7 m ²	
GROSS AREA	MAIN 556.8 m ² A.D.U. 83.1 m ² x2 TOTAL 743.0 m ²	
NUMBER OF STOREYS	ABOVE GRADE 2 BELOW GRADE 1	
HIGH BUILDING (OBC 3.2.6. - GRADE TO FL. OF TOP STOREY)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
HEIGHT OF BUILDING (GRADE TO ROOF)	MAIN 8.8 m A.D.U. 6.5 m	
NUMBER OF STREETS/ACCESS ROUTES (OBC 3.2.2.10., 3.2.5., 9.10.20)	1	
BUILDING CLASSIFICATION	PART 9 - RESIDENTIAL HOUSE	
STANDPIPE REQUIRED (OBC 3.2.9.)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
WATER SERVICE/SUPPLY IS ADEQUATE (OBC 3.2.5.7)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
SPRINKLER SYSTEM PROPOSED (OBC 3.2.2.20.-83., 3.2.1.5., 3.2.2.17., 9.10.8.2)	<input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS	
<input checked="" type="checkbox"/> NOT REQUIRED	<input type="checkbox"/> BASEMENT ONLY	
<input type="checkbox"/> ENTIRE BUILDING	<input type="checkbox"/> IN LIEU OF ROOF RATING	
FIRE ALARM REQUIRED (OBC 3.2.4., 9.10.18)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
AS PER OBC 9.10.18.2.(2)	<input type="checkbox"/> 1 STAGE <input type="checkbox"/> 2 STAGE <input type="checkbox"/> 1 OR 2 STAGE	
PERMITTED CONSTRUCTION	<input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBUSTIBLE OR BOTH	
ACTUAL CONSTRUCTION	<input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBUSTIBLE OR BOTH	
IMPORTANCE CATEGORY	<input type="checkbox"/> LOW <input checked="" type="checkbox"/> NORMAL <input type="checkbox"/> HIGH <input type="checkbox"/> POST-DISASTER	
(OBC 4.1.2.1.(3), 5.2.2.1.(2), 9.4.1.1)		
SITE CLASS (A,B,C,D,E FROM GEOTECHNICAL REPORT, OBC 4.1.8.4)	-	
EARTHQUAKE IMPORTANCE FACTOR (I _e) (OBC 1.4.1.8.5)	-	
ACCELERATION BASED COEFFICIENT (C _a) (OBC 1.4.1.8.4.9)	-	
5% SPECTRAL RESPONSE ACCELERATION S _a (OBC 4.1.8.4.(1), SB-1, T.1.2)	-	
SEISMIC HAZARD INDEX (OBC 4.1.8.18.(1))	-	
DESIGN FOR SEISMIC REQUIRED FOR CATEGORIES 6 TO 21, TABLE 4.1.8.18. (EQUAL OR ABOVE 0.355) (YES OR NO) (OBC 4.1.8.18.(2), 9.20.1.2, 9.31.6.2.(3))	-	
MEZZANINE(S) AREA (OBC 3.2.1.1.(3)-(8), 9.10.4.1)	-	
BARrier-FREE DESIGN (OBC 3.8., 9.5.2) <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN - 3.8.1.1.(1),(a))		
BARrier-FREE ENTRANCES (OBC 3.8.1.2.) NO. OF PEDESTRIAN ENTRANCES	6	
NO. OF B.F. ENTRANCES REQ'D	0	
NO. OF B.F. ENTRANCES PROVIDED	0	
HAZARDOUS SUBSTANCES (OBC 3.3.1.2, 3.3.1.19, 9.10.1.3.(4))	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
OCCUPANT LOAD BASED ON:	<input type="checkbox"/> AREA/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	
(OBC 3.1.1.7, 9.3.1.3)		
MAIN HOUSE (NORTH & SOUTH):	OCCUPANCY C LOAD 10 x2 = 20 PERSONS	
ATTACHED A.D.U. (NORTH & SOUTH):	OCCUPANCY C LOAD 4 x2 = 8 PERSONS	
DETACHED A.D.U. (NORTH & SOUTH):	OCCUPANCY C LOAD 4 x2 = 8 PERSONS	
TOTAL:	18 x2 = 36 PERSONS	
SANITARY FACILITIES (OBC 3.7.4., 9.31.)	TOTAL OCCUPANT LOAD = 36 PERSONS	
6 DWELLINGS (2 MAIN HOUSES, 2 ATTACHED A.D.U., 2 DETACHED A.D.U.)		
UNIT	OCCUP. LOAD	FIXTURES PROVIDED
		TABLE NO. FIXTURES REQ'D PER DWELLING
		BATHROOM W.C. SHW. LAV. SINK
		KITCHEN W. D.
		LAUNDRY W. D.
MAIN	10 x2 = 20	9.31.4.1, 1 KIT, SHW. 5 5 5 2 1 1
A. A.D.U.	4 x2 = 8	9.31.4.1, 1 W.C., LAV. 2 2 2 1 1 1
D. A.D.U.	4 x2 = 8	9.31.4.1, 1 BATH/SH. 2 2 2 1 1 1
		1 LAUNDRY 9 9 9 4 3 3
Total	18 x2 = 36	x2 18 18 18 8 6 6
FIRE RESISTANCE RATINGS: (O.B.C. 3.2.2.20.-83, 3.2.1.4, 9.10.8, 9.10.9, AND AS NOTED)	CONSTRUCTION TYPE USED (COMBUSTIBLE / NON-COMB.)	REMARKS
FLOOR ASSEMBLIES	COMB.	N/A OBC 9.10.8.10.(1)
FLOOR ASSEMBLY OVER BASEMENT	COMB.	N/A OBC 9.10.8.10.(1)
MEZZANINES	-	N/A
LOADBEARING WALLS, COLUMNS & ARCHES	COMB.	N/A OBC 9.10.8.10.(1) OBC 9.10.8.3
ROOF ASSEMBLIES	COMB.	N/A OBC 9.10.8.10.(1)
FIRE SEPARATION BETWEEN MAJOR OCCUPANCIES	N/A	N/A - ONLY ONE MAJOR OCCUPANCY
EXITS	N/A	-
SUITES	45 min.	9.10.9.14.(4)
SERVICE ROOMS WITH FUEL-FIRED APPLIANCE	N/A	9.10.10.1
SERVICE ROOMS WITHOUT FUEL-FIRED APPLIANCE	N/A	9.10.10.1
SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS (O.B.C. 3.2.3., 3.9.3.2., 3.10.3.2., 3.10.4.3, 3.14.2.3, 9.10.14, 9.10.15)		
WALL	AREA OF E.B.F. (sq. m.)	LIMITING DIST. (meters)
	ALLOW. % MAX. UNPROT. OPENING	PROPOSED % OF UNPROT. OPENING
	RETO. F.R.R. (hours)	TYPE OF CONST. COMB. NON COMB.
	TYPE OF CLADDING COMB. NON COMB.	
MAIN SEMI-DETACHED HOUSE (BLDG 'A')		
NORTH	69.6	1.9 9.125 9.08 N/A
EAST	40.9	8.5 100 14.4 N/A
SOUTH	69.6	1.9 9.125 9.08 N/A
ATTACHED A.D.U. (BLDG 'A')		
NORTH	33.3	1.9 10.92 10.72 N/A
WEST	21	3 28 23 N/A
SOUTH	33.3	1.9 10.92 10.72 N/A
DETACHED A.D.U. (BLDG 'B' / 'C')		
NORTH/SOUTH	49.1	1.5 8 8 N/A
WEST	25	7.5 100 11.5 N/A
EAST	25	1.5 9 9 N/A
SOUTH/NORTH	49.1	1.5 8 6 N/A



SITE PLAN

SCALE: 1/8" = 1'-0"

PLANS AND ELEVATIONS FOR BUILDING 'B' PROVIDED ON SHEETS A-9 TO A-12. PLANS AND ELEVATIONS FOR BUILDING 'C' ARE SIMILAR (BUT MIRRORRED) TO THOSE OF BUILDING 'B'. SEE SHEET A-9 FOR MORE INFO.

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DWN BY: S.L.S. DSGN BY: A.J.G.

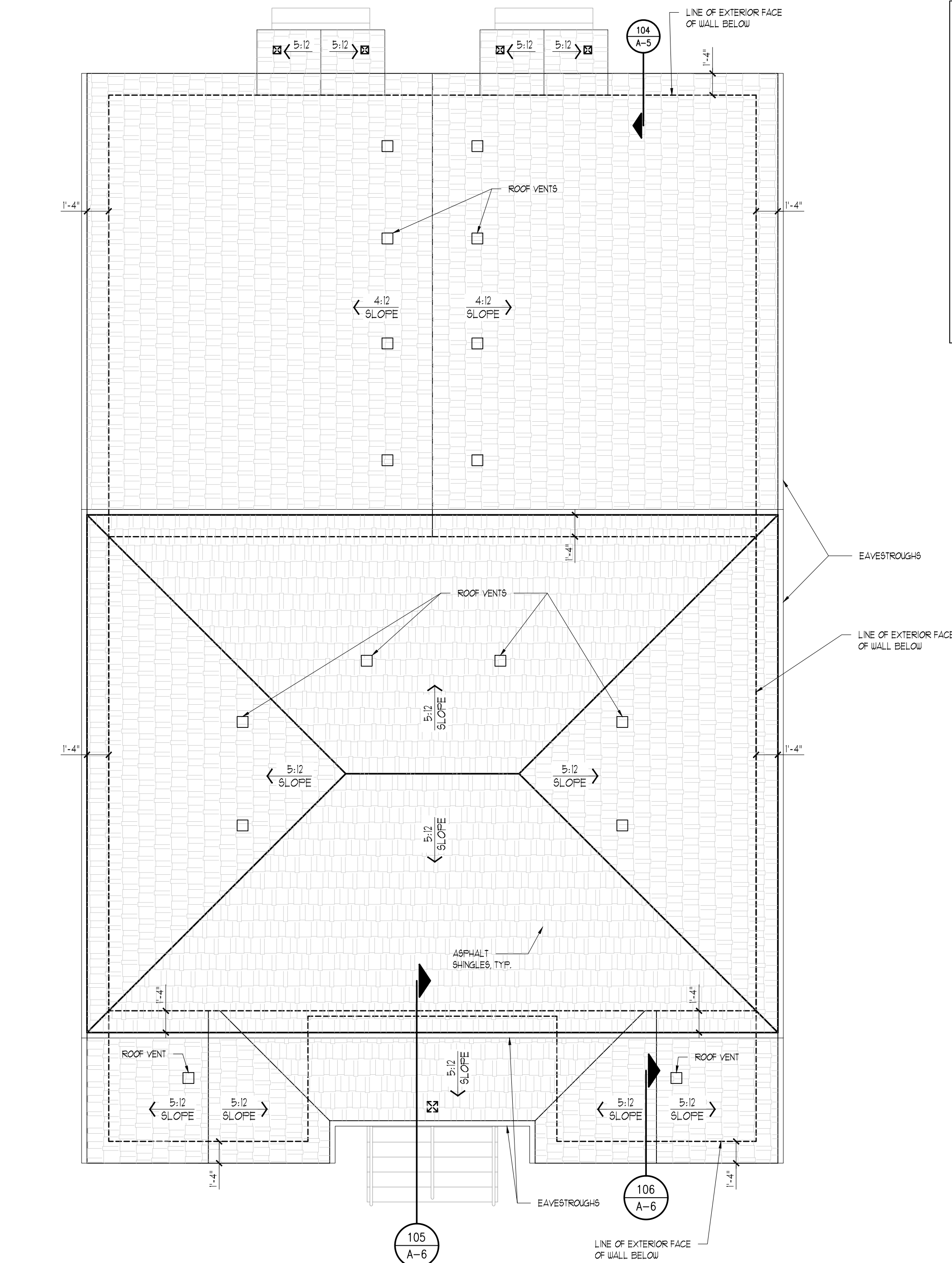
DATE: SCALE: AS NOTED

CHKD BY: A.J.G. FILE:

PROJECT NO: SHEET NO:

18-634A

A-1

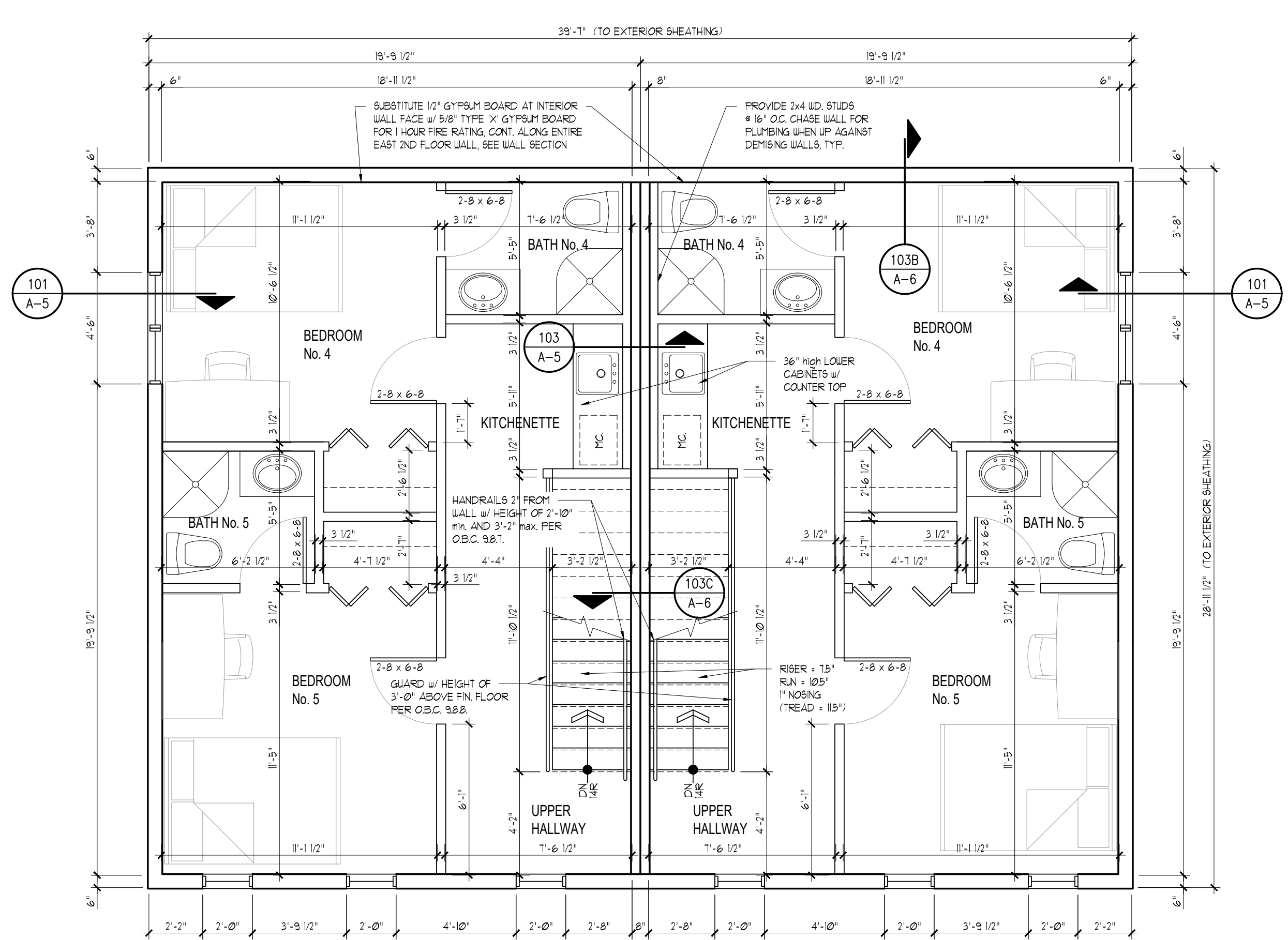


**BUILDING 'A' -
ROOF PLAN**
SCALE: 3/16" = 1'-0"

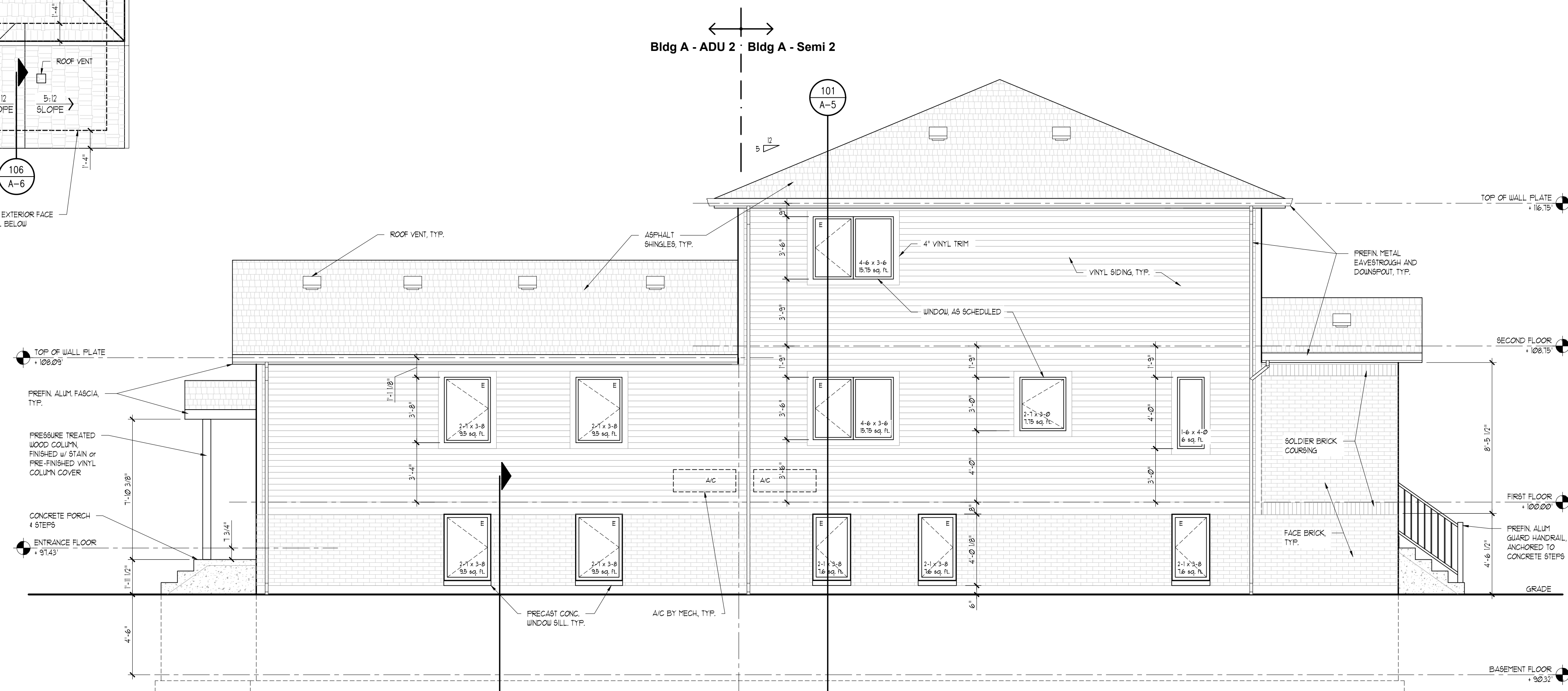
OUTLINE SPECIFICATIONS

HANDRAIL SPEC. IN COMPLIANCE w/ O.B.C. 9.8.1.
INSTALL TO BE CONTINUOUS THROUGHOUT THE ENTIRE LENGTH OF THE STAIR, EXCEPT AT LANDINGS, DOORWAYS, AND NEUEL POSTS.
TOP OF HANDRAIL SHALL BE INSTALLED TO BE 865mm (34" TO 42") ABOVE FINISHED STAIR TREAD NOSINGS.
HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE ALONG THE ENTIRE LENGTH AND MOUNTED A MINIMUM OF 2" AWAY FROM THE WALL, TO WITHSTAND A CONCENTRATED LOAD OF AT LEAST 89kN AT ANY POINT. (WHEN A HANDRAIL IS MOUNTED TO WOOD WALL STUDS AND/OR BLOCKING, LOCATE ATTACHMENT POINTS AT MAX 12m (47") O.C. HORIZ. AND NOT MORE THAN 300mm (12") FROM EITHER END. USE AT LEAST TWO NO. 8 WOOD SCREWS AT EACH ATTACHMENT POINT, AT LEAST 32mm (1 1/4") INTO SOLID WOOD.)

GUARD SPEC. IN COMPLIANCE w/ O.B.C. 9.8.8.
ALL GUARDS SHALL BE A MINIMUM HEIGHT OF 900mm (36") WITH ANY OPENINGS PREVENTING THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 100mm (3 9/16"). NO MEMBER, ATTACHMENT, OR OPENING LOCATED BETWEEN 140mm TO 900mm (5 1/2" TO 36") ABOVE THE FLOOR SHALL FACILITATE CLIMBING ON THE GUARD.
INSTALL TO RESIST A HORIZONTAL LOAD OF 89kN/m (OR CONCENTRATED LOAD OF 10kN/m APPLIED AT ANY POINT) APPLIED INWARDS OR OUTWARDS AT ANY POINT AT THE HEIGHT OF 900mm (36"). ELEMENTS WITHIN THE GUARD (INCLUDING PICKETS OR SOLID PANELS) SHALL BE INSTALLED TO RESIST A HORIZONTAL LOAD OUTWARD OF 89 kN APPLIED OVER A MAXIMUM WIDTH AND HEIGHT OF 300mm (11 3/4"). SHALL BE DESIGNED TO WITHSTAND A MINIMUM VERTICAL LOAD OF 15 kN/m EVENLY DISTRIBUTED AT THE TOP OF THE GUARD.
ANY GLASS IN GUARDS SHALL BE LAMINATED OR TEMPERED SAFETY GLASS CONFORMING TO CAN/CGSB-10.1-M.



**BUILDING 'A' -
SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"



**BUILDING 'A' -
SOUTH ELEVATION**
SCALE: 1/4" = 1'-0"

CLIENT:
2531823 ONTARIO LIMITED

PROJECT:
**VARIANCE - NEW SEMI-DETACHED
WITH ADDITIONAL DWELLING UNITS
345 ASKIN AVE., WINDSOR, ON**

VARIANCE APPLICATION	06 JAN. 2026
ISSUED FOR:	DATE:

DRAWING TITLE:
**BUILDING 'A' - SECOND FLOOR
PLAN, ROOF PLAN,
& SOUTH ELEVATION**

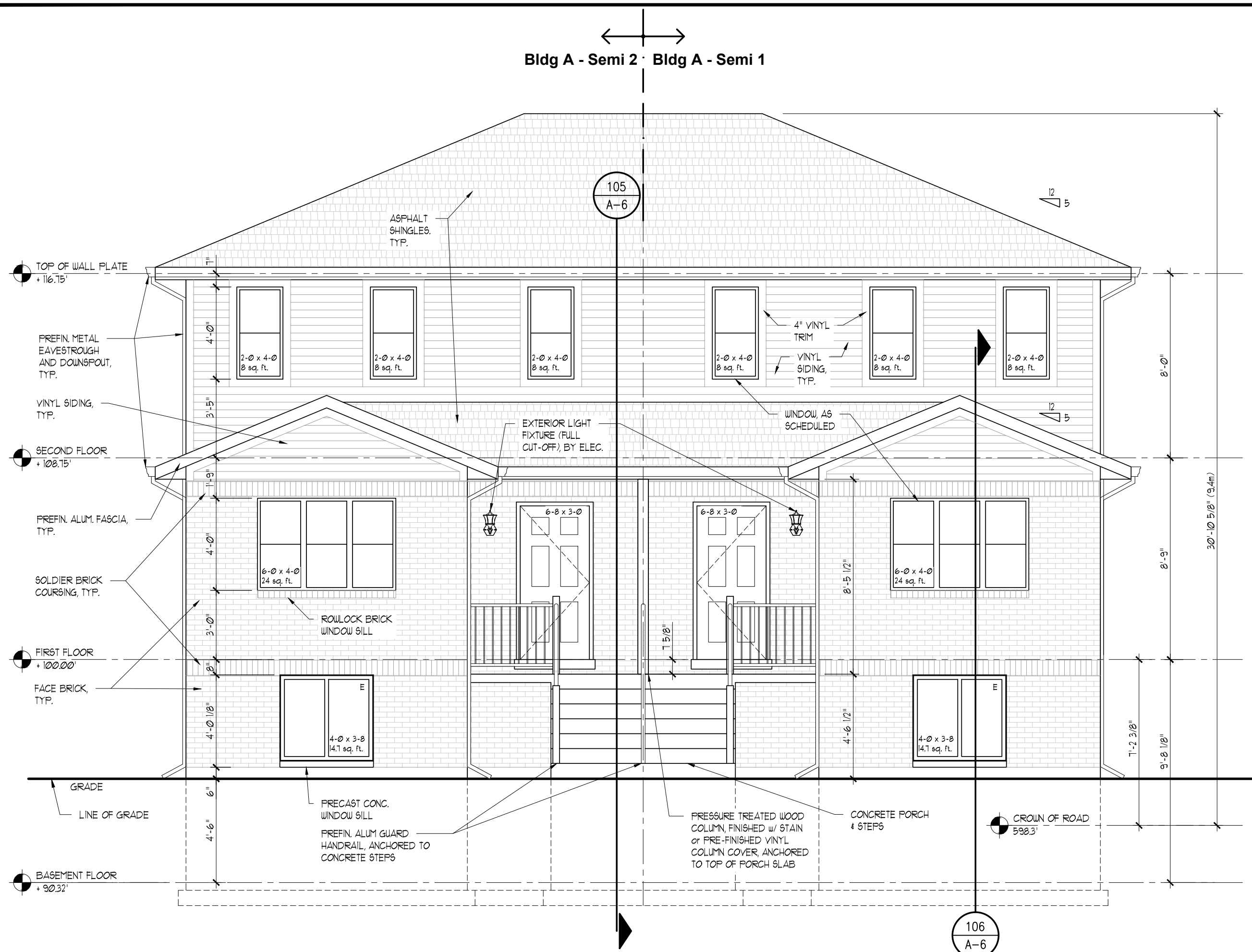
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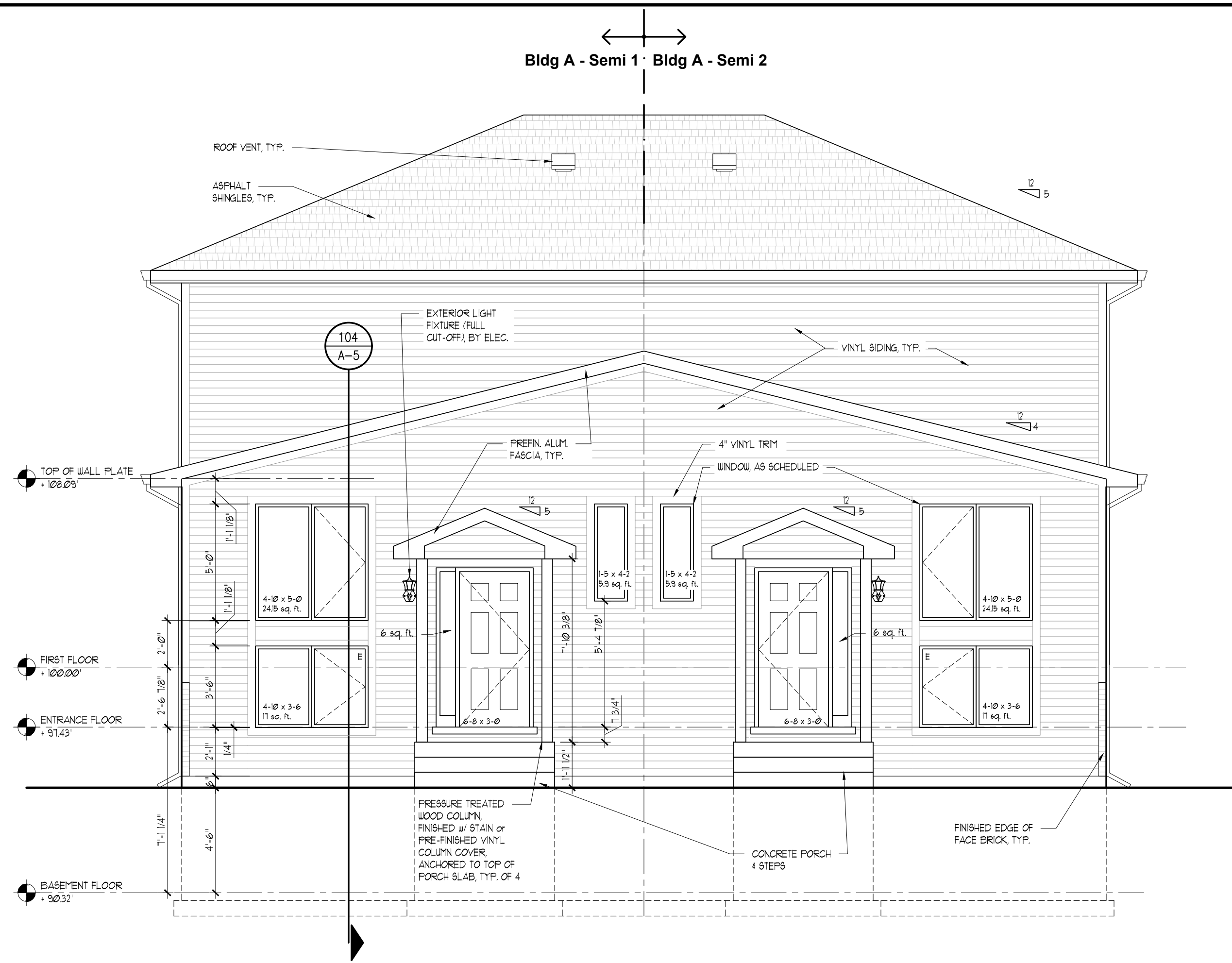
Tel. (519) 818-0648
tgyemi@collaborativearchitects.ca

ONTARIO ASSOCIATION
OF
ARCHITECTS
66 JAN 2026
ANTHONY A. D'AMICO
LICENSEE
48328

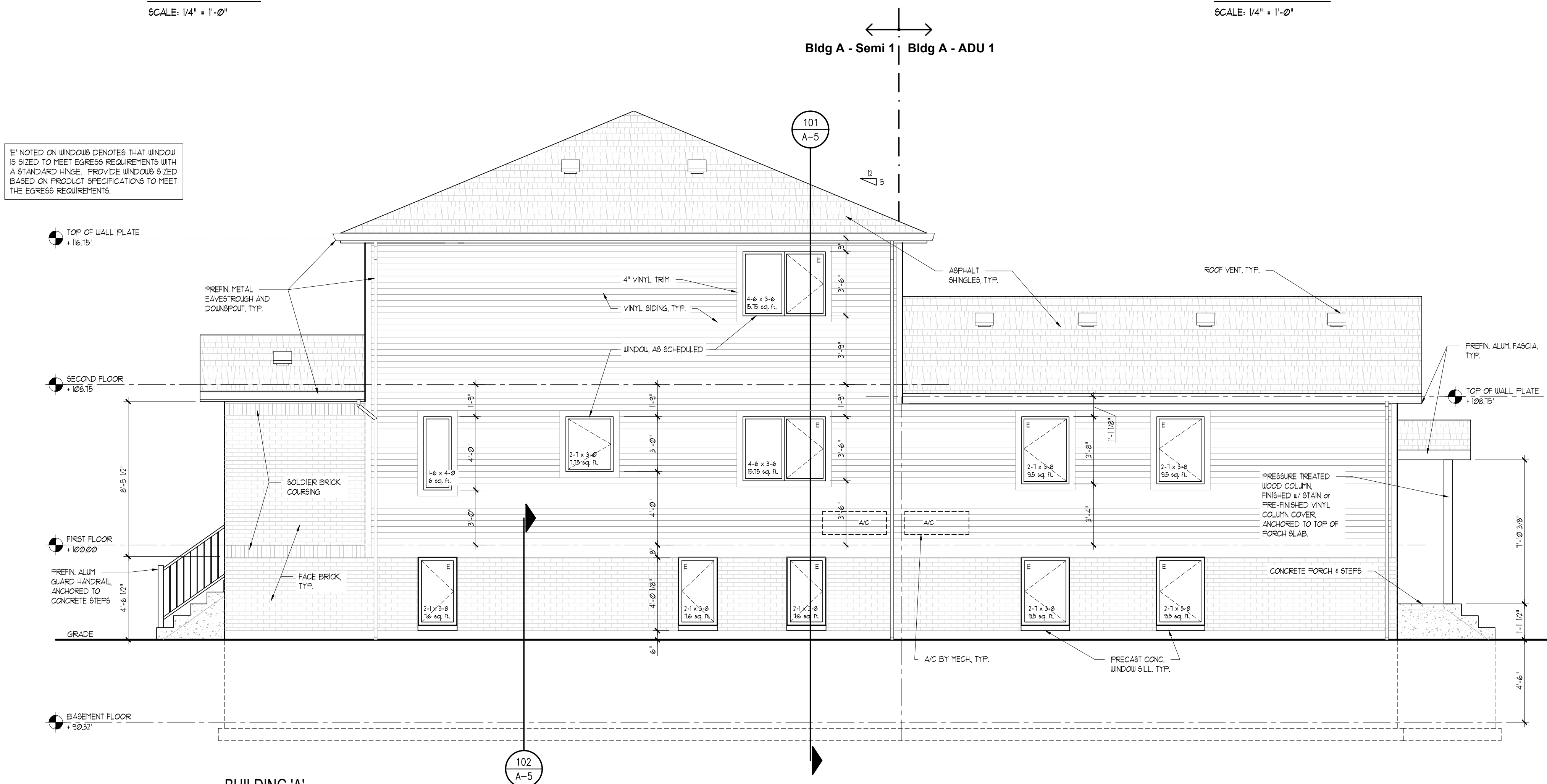
DWN BY:	S.L.S.	DSGN BY:	A.J.G.
DATE:		SCALE:	AS NOTED
CHKD BY:	A.J.G.	FILE:	
PROJECT NO:		SHEET NO:	A-3



BUILDING 'A' - EAST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 'A' - WEST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 'A' - NORTH ELEVATION
SCALE: 1/4" = 1'-0"

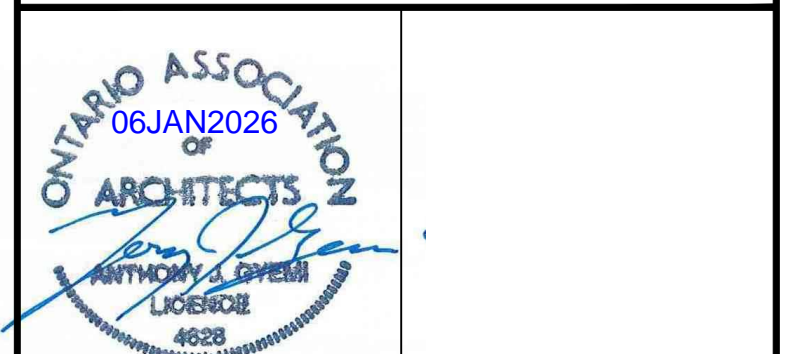
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PROJECT:
VARIANCE - NEW SEMI-DETACHED
WITH ADDITIONAL DWELLING UNITS
345 ASKIN AVE., WINDSOR, ON

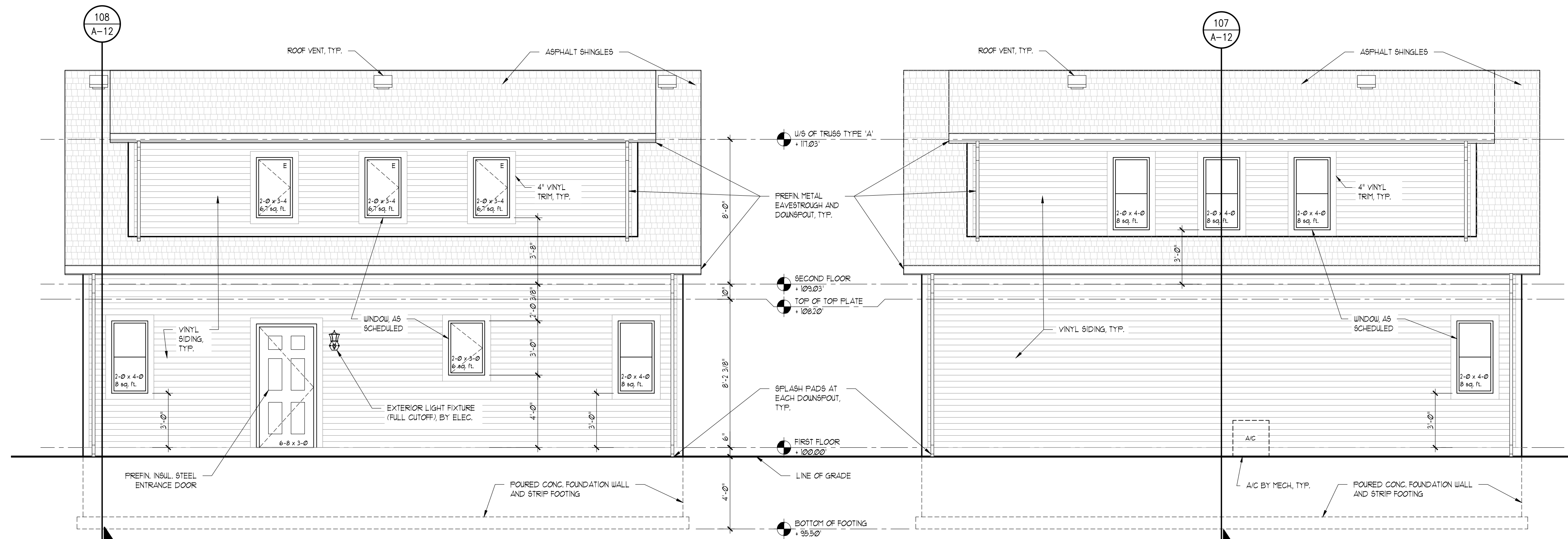
VARIANCE APPLICATION 06 JAN. 2026
ISSUED FOR: DATE:

DRAWING TITLE:
BUILDING 'A' - ELEVATIONS

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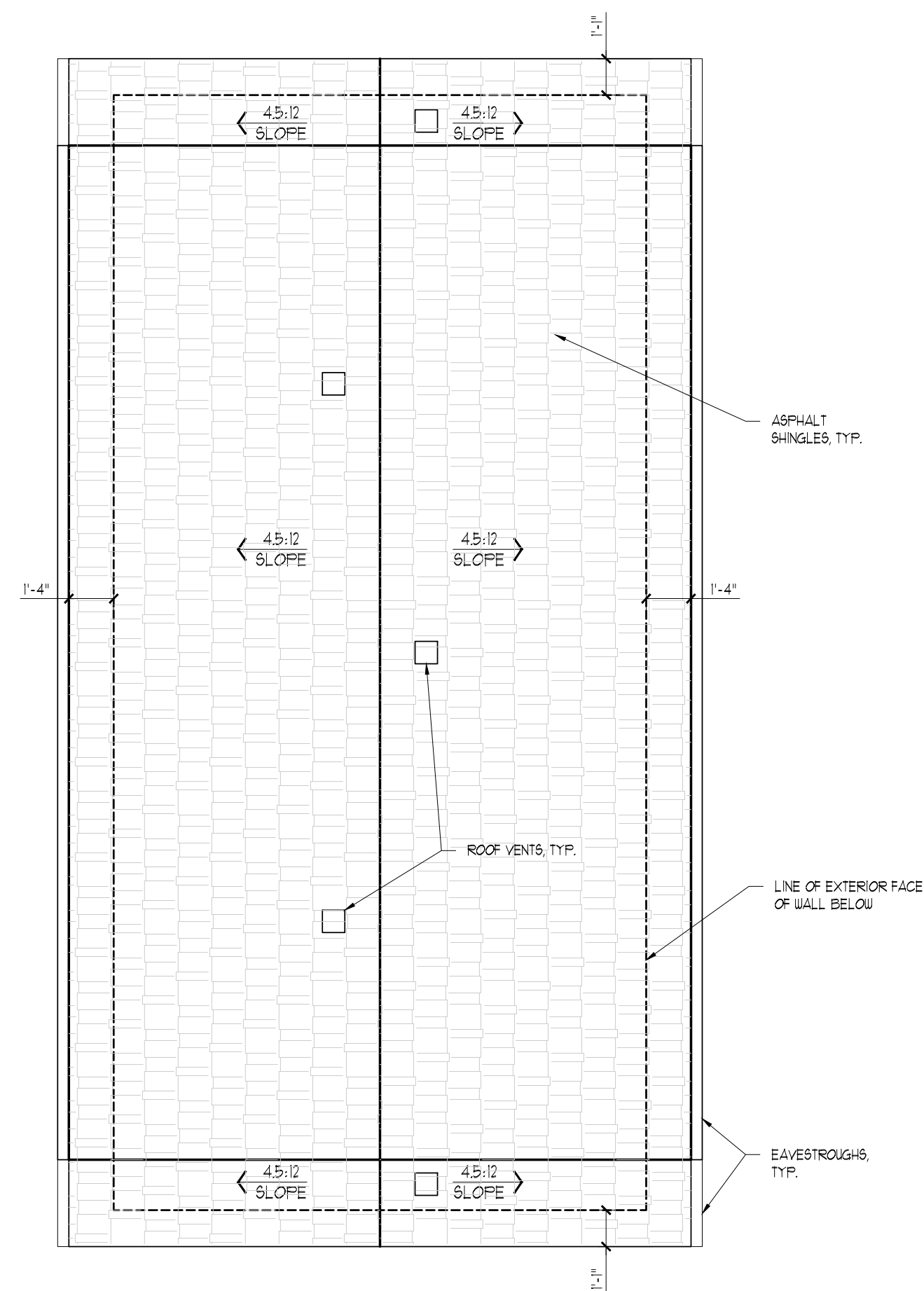


DWN BY:	S.L.S.	DSGN BY:	A.J.G.
DATE:		SCALE:	AS NOTED
CHKD BY:	A.J.G.	FILE:	
PROJECT NO:	18-634A	SHEET NO:	A-4

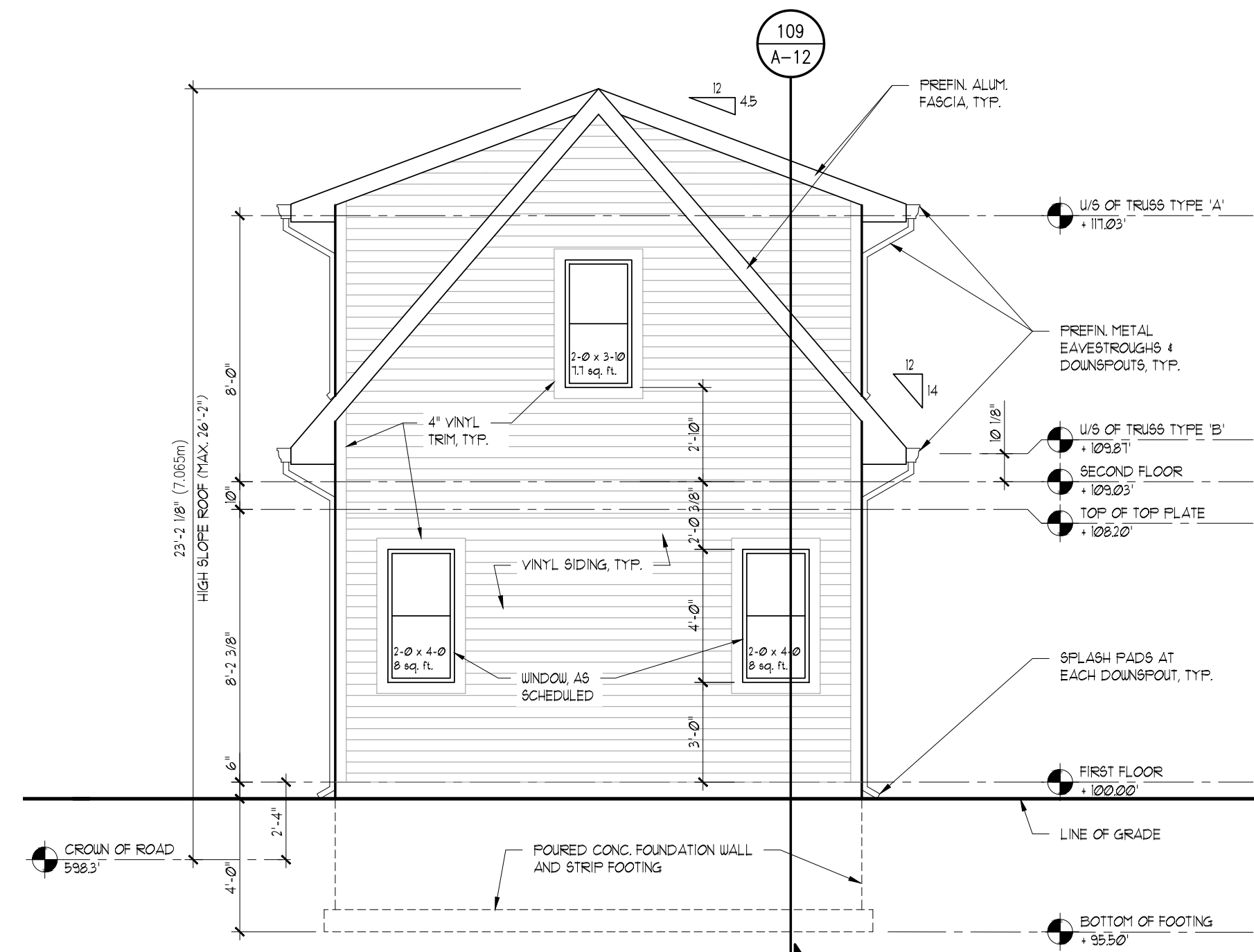


DETACHED ADU -
NORTH ELEVATION FOR BUILDING 'B'
(& TO BE MIRRORED FOR SOUTH ELEVATION FOR BUILDING 'C')
SCALE: 1/4" = 1'-0"

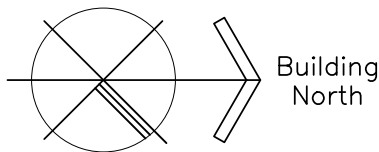
DETACHED ADU -
SOUTH ELEVATION FOR BUILDING 'B'
(& TO BE MIRRORED FOR NORTH ELEVATION FOR BUILDING 'C')
SCALE: 1/4" = 1'-0"



DETACHED ADU BUILDING 'B' & 'C' -
ROOF PLAN
SCALE: 1/4" = 1'-0"



DETACHED ADU -
EAST & WEST ELEVATIONS (SIMILAR) FOR BUILDING 'B' &
EAST & WEST ELEVATIONS (SIMILAR) FOR BUILDING 'C'
SCALE: 1/4" = 1'-0"



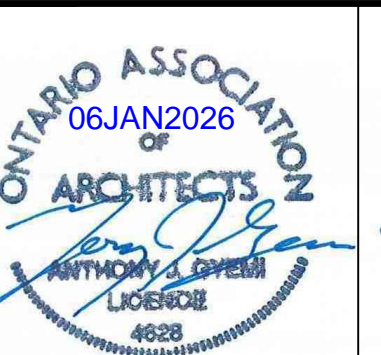
CLIENT:
2531823 ONTARIO LIMITED

PROJECT:
VARIANCE - NEW SEMI-DETACHED
WITH ADDITIONAL DWELLING UNITS
345 ASKIN AVE., WINDSOR, ON

VARIANCE APPLICATION
ISSUED FOR:
DATE:

DRAWING TITLE:
BUILDING 'B' - ELEVATIONS
(BUILDING 'C' - MIRRORED)

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