

## Notice of Public Hearing – Committee of Adjustment Application

File # A-007/26 - 345 ASKIN AVE

Date Mailed: January 28, 2026

**Electronic hearing:**

By videoconference on February 12, 2026 at 3:30 PM

**Why am I receiving this notice?**

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on January 28, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City's website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

### APPLICANT AND PROPERTY INFORMATION

**LEGAL DESCRIPTION:** PLAN 51 LOT 42

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential RD2.1

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p><b>Owner Name:</b> 1000928562 ONTARIO INC.</p> <p><b>Applicant Name:</b> Gyemi Collaborative Architects Inc. (Tony Gyemi)</p>		345 ASKIN AVE

### PURPOSE OF APPLICATION

**Minor Variance** - Request for Relief from the Maximum Main Building Gross Floor Area and Maximum Accessory Building Lot Coverage for a Semi-detached Dwelling

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	11.1.5.10	Maximum Gross Floor Area – Main Building	400 m <sup>2</sup>	433 m <sup>2</sup>
Zoning By-law 8600	5.10.9.10	Maximum lot coverage for all accessory buildings	10%	12%

**How do I participate if I have comments or concerns?**

**Submit written comments**

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

**Participate in the hearing by videoconference (Microsoft Teams)**

**Two ways to register:** 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

**Applicant(s)** – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

**Notice of Decision**

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer ([jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



**Contact Information:**

Jessica Watson  
Secretary-Treasurer  
Committee of Adjustment  
Suite 320, 350 City Hall Square West  
Windsor, ON N9A6S1  
Phone: 519-255-6543 ext. 6450 or 6436  
[COAdjustment@citywindsor.ca](mailto:COAdjustment@citywindsor.ca)



18-634 | 345 askin avenue

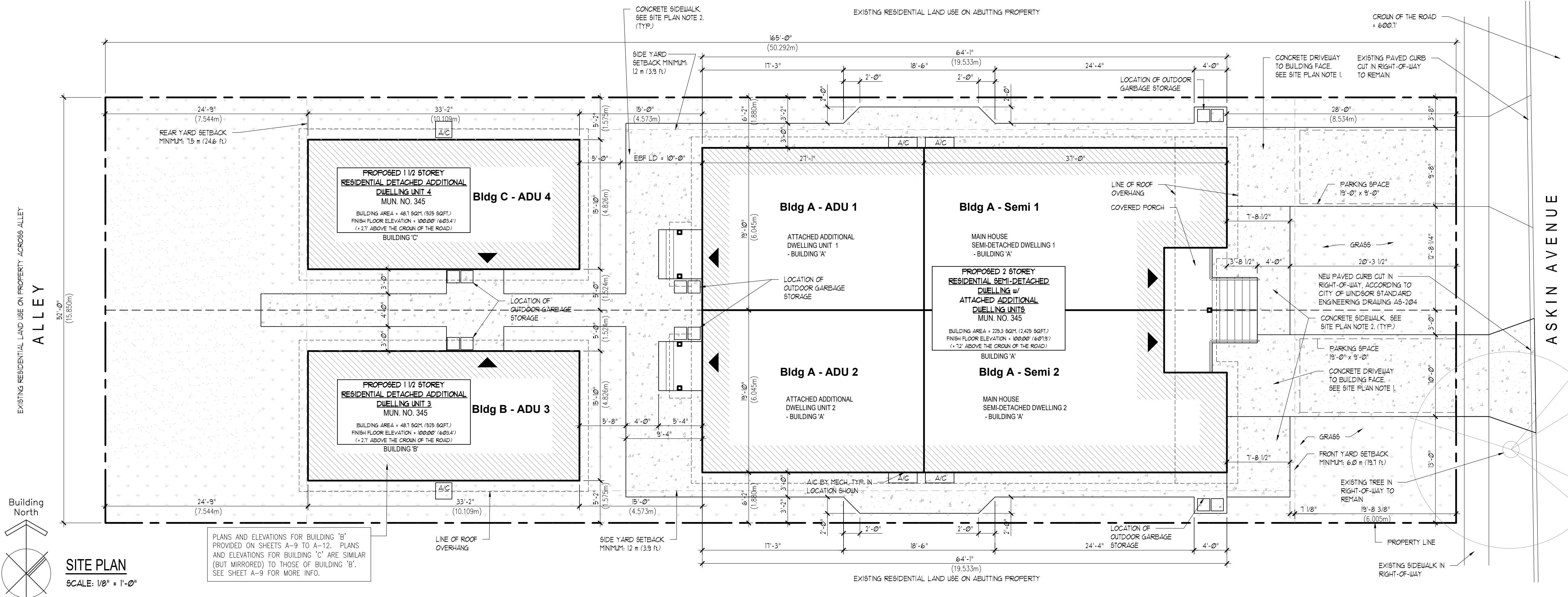
# VARIANCE - NEW SEMI-DETACHED WITH ADDITIONAL DWELLING UNITS

windsor, ontario

**ALL SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT**  
Any substitution from the work specified in these documents is to be submitted to the Architect for approval prior to proceeding with the work. Submit full paperwork showing how the substitution complies with the Ontario Building Code (OBC) and maintains the performance and quality of the originally specified product or system. The cost of reviewing any changes to confirm compliance and acceptance by the Owner and Architect will be the responsibility of the Owner and may be passed on to the Contractor or Sub-Contractor requesting the change. The Architect will not be able to sign off on the project to allow the Permit to be closed and the Owner to occupy, if they do review and accept all changes. If the Contractor or Sub-Contractor proceeds without prior approval they will be responsible for the cost to expose and replace non-compliant work and for the cost to the Owner for delays in the schedule. Acceptance by City Inspectors does not ensure acceptance by the Architect, who must accept all work independently from City Authorities.

**OBC 2012 DATA**  
PART 3 BUILDING  
GROUP C, UP TO 3 STOREYS AND LESS THAN 600m.  
REQUIRED TO FACE ONE (1) STREET.  
SPRINKLER & STANDPIPE SYSTEMS NOT REQUIRED.  
  
NOTES:  
REFUSE WILL BE COLLECTED AT THE RIGHT-OF-WAY BY MUNICIPAL SERVICES.  
  
A BUILDING SHALL NOT BE LOCATED BEHIND EXISTING ABOVE GROUND ELECTRICAL CONDUCTORS. IF A BUILDING IS TO BE LOCATED IN PROXIMITY TO ABOVE GROUND ELECTRICAL CONDUCTORS, HORIZONTAL CLEARANCES BETWEEN BUILDINGS AND CONDUCTORS SHALL COMPLY WITH SUBSECTION 3.1.9 OF THE ONTARIO BUILDING CODE.

**Site Plan Notes:**  
1. Parking Areas to be 4 1/2" Poured Concrete 32 MPa with air entrainment on 6" Granular A compacted to 100% SPMDD.  
2. Sidewalks to be 4" Poured Concrete 32 MPa with air entrainment on 6" Granular A compacted to 100% SPMDD.



## DESIGN DATA TABLE

ZONING:	PERMITTED / REQUIRED	PROPOSED / PROVIDED
345 ASKIN ROAD ZONED RD2.1 PER BY-LAW 8600		GROUP C - RESIDENTIAL
INTENDED USE	SEMI-DETACHED DWELLINGS	SEMI-DETACHED DWELLINGS
GRADE	perge elevation of crown of road abutting front lot line	600.7' (93.1' RELATIVE TO FIN. FLOOR AT 100.00')
MINIMUM LOT AREA	4,843.76 ft <sup>2</sup> (450 m <sup>2</sup> )	8,580.00 ft <sup>2</sup> (792.11 m <sup>2</sup> ) 0.197 acres (0.080 ha)
MINIMUM LOT FRONTRAGE	49.21' (15.0 m)	52.0' (15.8 m)
MAXIMUM LOT COVERAGE	45.0 %	3,605 ft <sup>2</sup> (334.9 m <sup>2</sup> ) or 42.0 %
MINIMUM FRONT YARD DEPTH	19'-8 1/4" (6.0 m)	28'-0" (8.5 m)
MINIMUM REAR YARD DEPTH	24'-7 3/8" (7.5 m)	24'-0" (7.54 m)
MINIMUM SIDE YARD WIDTH	3'-11 1/4" (1.2 m)	NORTH : 6'-2" (1.88 m) SOUTH : 6'-2" (1.88 m)
MIN. LANDSCAPED OPEN SPACE YARD	N/A	4,228 sq.ft. = 49.2 %
MAXIMUM BUILDING HEIGHT	32'-9 5/8" (10.0 m)	30'-11" (9.4 m)
BUILDING AREA	N/A	3,474 ft <sup>2</sup> (322.7 m <sup>2</sup> )
NUMBER OF FLOORS	N/A	MAIN : 2 stories + cellar DETACHED A.D.U. : 1.75 stories
GROUND FLOOR AREA	N/A	MAIN : 2,425 ft <sup>2</sup> (225.3 m <sup>2</sup> ) DETACHED A.D.U. : 525 ft <sup>2</sup> (48.8 m <sup>2</sup> ) x2 = 1,050 ft <sup>2</sup> (97.6 m <sup>2</sup> )
SECOND FLOOR AREA	N/A	MAIN : 1,150 ft <sup>2</sup> (108.8 m <sup>2</sup> ) DETACHED A.D.U. : 477 ft <sup>2</sup> (44.3 m <sup>2</sup> ) x2 = 954 ft <sup>2</sup> (88.6 m <sup>2</sup> )
GROSS FLOOR AREA (GFA)	N/A	MAIN : 3,575 ft <sup>2</sup> (332.1 m <sup>2</sup> ) DETACHED A.D.U. : 1,002 ft <sup>2</sup> (93.1 m <sup>2</sup> ) x2 = 2,004 ft <sup>2</sup> (186.2 m <sup>2</sup> )
FLOOR AREA RATIO (GFA / lot area)	N/A	1 : 1.54
PAVED AREA	N/A	1,552 ft <sup>2</sup> (144.2 m <sup>2</sup> )
PARKING SPACES	1 space for each semi-detached unit = 2 spaces required	2 spaces provided
ACCESSIBLE (H.C.) PARKING SPACES	N/A	N/A

## BUILDING DESIGN SUMMARY ONTARIO BUILDING CODE 2012 - DATA MATRIX

PROJECT DESCRIPTION:	NEW	ADDITION	ALTERATION	CHANGE OF USE	
345 ASKIN ROAD	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
MAJOR OCCUPANCY(ES): (OBC 3.1.2.1.1), 9.10.2	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
BUILDING AREA	MAIN 225.3 m <sup>2</sup>	A.D.U. 48.7 m <sup>2</sup>	x2 TOTAL 322.7 m <sup>2</sup>		
GROSS AREA	MAIN 556.8 m <sup>2</sup>	A.D.U. 93.1 m <sup>2</sup>	x2 TOTAL 743.0 m <sup>2</sup>		
NUMBER OF STOREYS ABOVE GRADE	2	BELOW GRADE	1		
HIGH BUILDING (OBC 3.2.6. - GRADE TO FL. OF TOP STOREY)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
HEIGHT OF BUILDING (GRADE TO ROOF)	MAIN 8.8 m	A.D.U. 6.5 m			
NUMBER OF STREETS/ACCESS ROUTES (OBC 3.2.2.10., 3.2.5., 9.10.20)	1				
BUILDING CLASSIFICATION	PART 9 - RESIDENTIAL, HOUSE				
STANDPIPE REQUIRED (OBC 3.2.9.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WATER SERVICE/SUPPLY IS ADEQUATE (OBC 3.2.5.7)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SPRINKLER SYSTEM PROPOSED (OBC 3.2.2.0-83, 3.2.1.5., 3.2.2.17., 9.10.8.2)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NOT REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
IN LIEU OF ROOF RATING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
FIRE ALARM REQUIRED (OBC 3.2.4., 9.10.18.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
AS PER OBC 9.10.18.2(2)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
PERMITTED CONSTRUCTION	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
ACTUAL CONSTRUCTION	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
IMPORTANCE CATEGORY	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SITE CLASS (A,B,C,D,E FROM GEOTECHNICAL REPORT, OBC 4.1.8.4)					
EARTHQUAKE IMPORTANCE FACTOR (F <sub>1</sub> ) (OBC T.4.1.8.5)					
ACCELERATION BASED COEFFICIENT (F <sub>2</sub> ) (OBC T.4.1.8.4.B)					
5% SPECTRAL RESPONSE ACCELERATION Se (O.2) (OBC 4.1.8.4.(1), T.1.2)					
SEISMIC HAZARD INDEX (OBC 4.1.8.16)					
DESIGN FOR SEISMIC REQUIRED FOR CATEGORIES 6 TO 21, TABLE 4.1.8.18 (EQUAL OR ABOVE 0.352) (YES OR NO) (OBC 4.1.8.18.(2), 9.20.1.2., 9.31.6.2.(3))					
MEZZANINE(S) AREA (OBC 3.2.1.1.(5)-(6), 9.10.4.1)					
BARRIER-FREE DESIGN (OBC 3.8., 9.5.2)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
BARRIER-FREE ENTRANCE (OBC 3.8.1.2.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NO. OF PEDESTRIAN ENTRANCES	6				
NO. OF B.F. ENTRANCES REQ'D	0			<input type="checkbox"/>	
NO. OF B.F. ENTRANCES PROVIDED	0				
HAZARDOUS SUBSTANCES (OBC 3.3.1.2, 3.3.1.19, 9.10.1.3.(4))	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
OCCUPANT LOAD BASED ON:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
AREA/PERSON	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
DESIGN OF BUILDING (OBC 3.1.17, 9.3.1.3)					
MAIN HOUSE (NORTH & SOUTH): OCCUPANCY C LOAD 10 x2 = 20 PERSONS					
ATTACHED A.D.U. (NORTH & SOUTH): OCCUPANCY C LOAD 4 x2 = 8 PERSONS					
DETACHED A.D.U. (NORTH & SOUTH): OCCUPANCY C LOAD 4 x2 = 8 PERSONS					
TOTAL: 18 x2 = 36 PERSONS					
SANITARY FACILITIES (OBC 3.7.4, 9.3.1)					
6 DWELLINGS (2 MAIN HOUSES, 2 ATTACHED A.D.U., 2 DETACHED A.D.U.)					
UNIT	OCCUP.	OCCUPANT LOAD	TABLE NO.	FIXTURES PROVIDED	
MAIN	'C'	10 x2 = 20	9.31.4.1.	REQ'D PER DWELLING	
A. A.D.U.	'C'	4 x2 = 8	9.31.4.1.	W.C. SHW. LAV. BATH/SH.	
D. A.D.U.	'C'	4 x2 = 8	9.31.4.1.	1 LAUNDRY	
				18 x2 = 36	
				x2 18 x2 = 36	
FIRE RESISTANCE RATINGS: (O.B.C. 3.2.2.20-83, 3.2.1.4, 9.10.8, 9.10.9, AND AS NOTED)					
CONSTRUCTION TYPE USED (COMBUSTIBLE, NON-COMB.)					
RESTD'G FIRE RESISTANCE RATING (F.R.R.) (HOURS)					
FLOOR ASSEMBLIES	COMB.	N/A	OBC 9.10.8.10.(1)		
FLOOR ASSEMBLY OVER BASEMENT	COMB.	N/A	OBC 9.10.8.10.(1)		
MEZZANINES	—	N/A	—		
LOADBEARING WALLS, COLUMNS & ARCHES	COMB.	N/A	OBC 9.10.8.10.(1)		
ROOF ASSEMBLIES	COMB.	N/A	OBC 9.10.8.10.(1)		
FIRE SEPARATION BETWEEN MAJOR OCCUPANCIES	—	N/A	N/A = ONLY ONE MAJOR OCCUPANCY		
EXITS	—	N/A	—		
SUITES	45 min.		9.10.9.14.(4)		
SERVICE ROOMS WITH FUEL-FIRED APPLIANCE	N/A		9.10.10.1		
SERVICE ROOMS WITHOUT FUEL-FIRED APPLIANCE	N/A		9.10.10.1		
SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS (O.B.C. 3.2.3, 3.9.3.2, 3.10.3.2, 3.10.4.3, 3.14.2.3, 9.10.14, 9.10.15)					
WALL AREA OF E.B.F. DIST. (sq. m.) (meters)	LIMITING % MAX. UNPROT. UNPROT. UNPROT. OPENING (hours)	PROPOSED F.R.R.	REQ'D F.R.R.	TYPE OF CONST. CLADDING	
MAIN SEMI-DETACHED HOUSE (BLDG 'A')					
NORTH	69.6	1.9	9.125	9.08	<input checked="" type="checkbox"/>
EAST	40.9	8.5	100	14.4	<input checked="" type="checkbox"/>
SOUTH	69.6	1.9	9.125	9.08	<input checked="" type="checkbox"/>
ATTACHED A.D.U. (BLDG 'A')					
NORTH	33.3	1.9	10.92	10.72	<input checked="" type="checkbox"/>
WEST	21	3	28	23	<input checked="" type="checkbox"/>
SOUTH	33.3	1.9	10.92	10.72	<input checked="" type="checkbox"/>
DETACHED A.D.U. (BLDG 'B' / 'C')					
NORTH/SOUTH	49.1	1.5	8	8	<input checked="" type="checkbox"/>
WEST	25	7.5	100	11.5	<input checked="" type="checkbox"/>
EAST	25	1.5	9	9	<input checked="" type="checkbox"/>
SOUTH/NORTH	49.1	1.5	8	6	<input checked="" type="checkbox"/>

CLIENT:  
2531823 ONTARIO LIMITED

PROJECT:  
VARIANCE - NEW SEMI-DETACHED  
WITH ADDITIONAL DWELLING UNITS  
345 ASKIN AVE., WINDSOR, ON

NOTES:  
1. THESE DRAWINGS PROVIDE DESIGN AND SCOPE OF WORK FOR ARCHITECTURAL WORK ONLY. MECHANICAL AND ELECTRICAL DESIGN AND DRAWINGS TO BE PROVIDED BY OTHERS UNDER SEPARATE CONTRACT.  
2. THE ONTARIO BUILDING CODE 2012 EDITION O REG. 33/11, INCLUDING LATEST REVISIONS UP TO DATE OF PERMIT ISSUANCE SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THIS STRUCTURE.  
3. ALL DIMENSIONS GIVEN ON THE DRAWINGS MUST BE VERIFIED AND ANY INCONCERNES REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
4. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT, O REG. 21/91, LATEST AMENDMENTS.  
5. ELECTRICAL CONTRACTOR TO PROVIDE INTERCONNECTED SMOKE ALARMS AND CARBON MONOXIDE ALARMS WITH STROBE IN ACCORDANCE WITH OBC 9.10.8 AND 9.35.  
6. ANY SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT PRIOR TO PROCEEDING. SEE ALL SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT NOTE ON A-1.

VARIANCE APPLICATION 06 JAN. 2026  
ISSUED FOR: DATE:

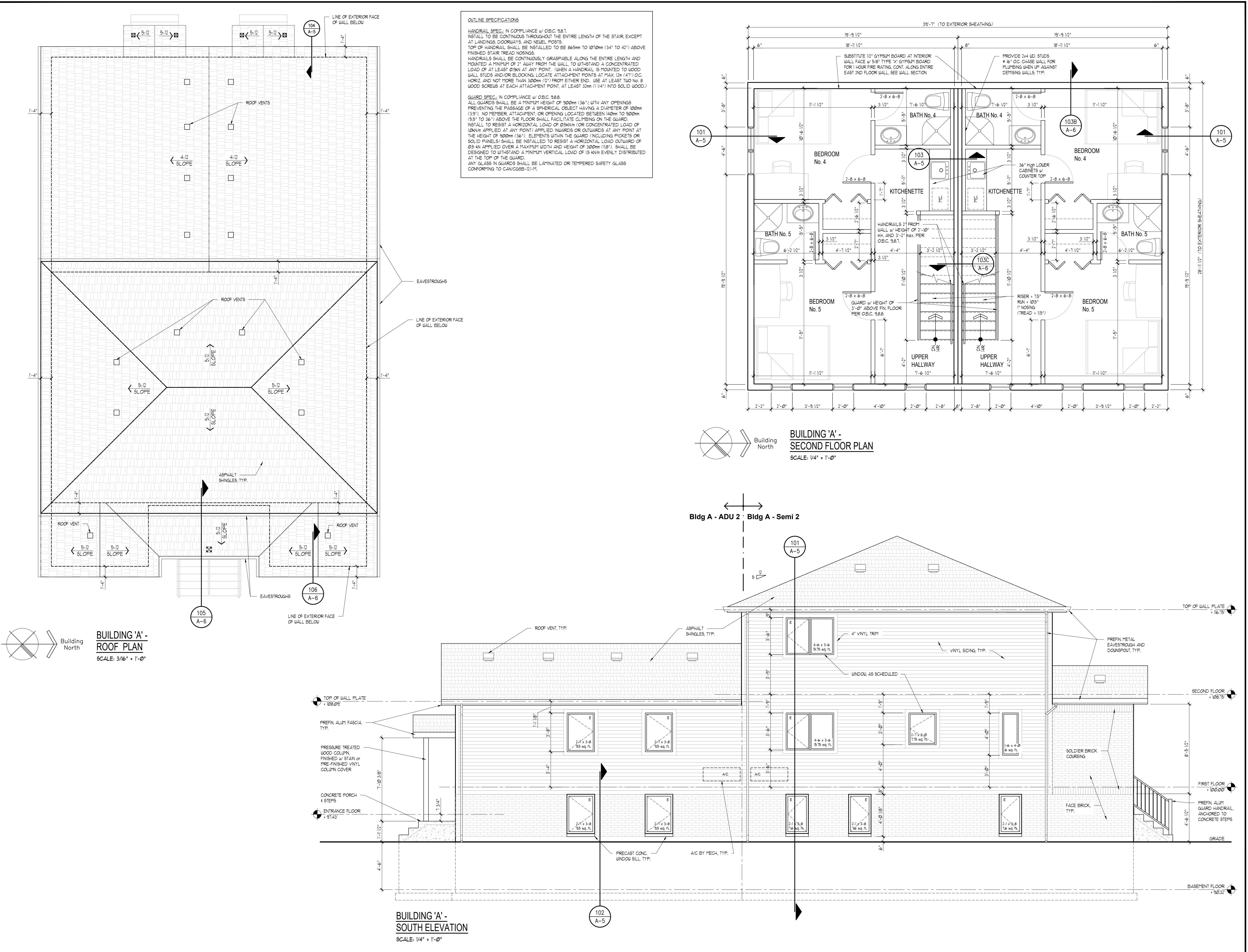
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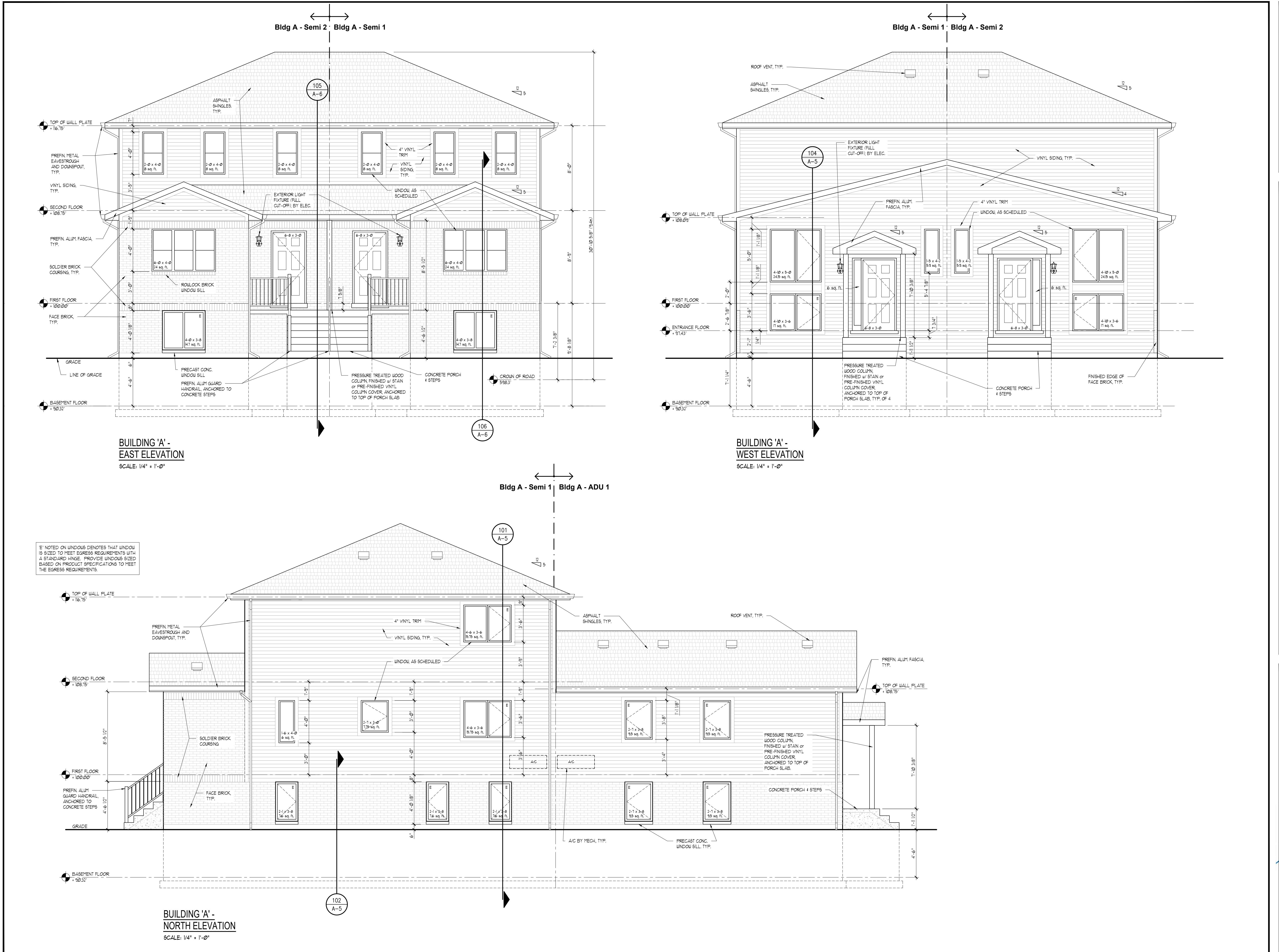
SITE PLAN & OBC MATRIX

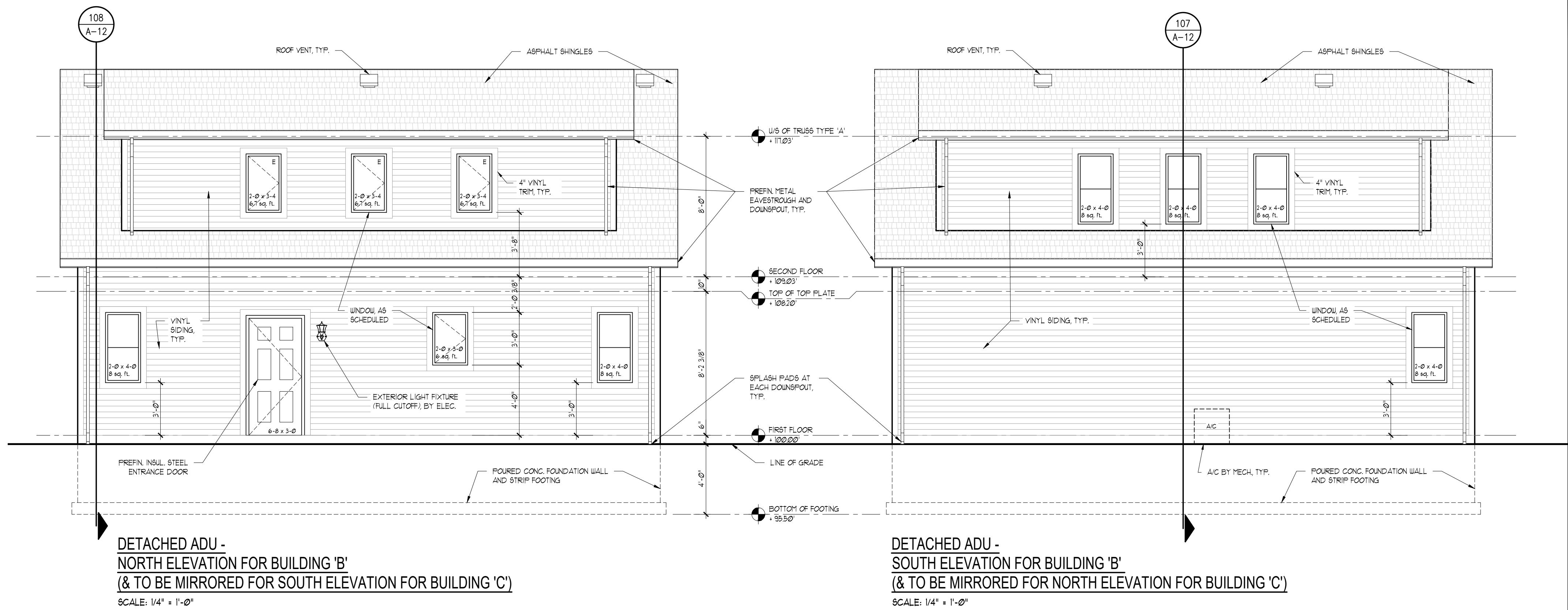
gyemi  
collaborative architects inc.  
1209 Kildare Rd.  
Windsor, Ontario, Canada  
N8Y 3H7  
Tel. (519) 818-0648  
tg

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WITH ADDITIONAL DWELLING UNITS  
345 ASKIN AVE., WINDSOR, ON







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VARIANCE - NEW SEMI-DETACHED  
WITH ADDITIONAL DWELLING UNITS  
345 ASKIN AVE., WINDSOR, ON

VARIANCE APPLICATION 06 JAN. 2026  
ISSUED FOR: DATE:  
DRAWING TITLE:  
BUILDING 'B' - ELEVATIONS  
(BUILDING 'C' - MIRRORED)

gyemi  
collaborative architects inc.  
1209 Kildare Rd.  
Windsor, Ontario, Canada  
N8Y 3H7  
tgymi@collaborativearchitects.ca

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
06JAN2026  
ANTHONY J. GYEMI  
LICENCE  
4632

DWN. BY:	S.L.S.	DSGN. BY:	A.J.G.
DATE:		SCALE:	AS NOTED
CHKD BY:	A.J.G.	FILE:	
PROJECT NO.:		SHEET NO.:	

18-634A A-11

