

## Notice of Public Hearing – Committee of Adjustment Application

File # A-006/26 - 1350 UNIVERSITY AVE W  
28, 2026

Date Mailed: January

### Electronic hearing:

By videoconference on February 12, 2026 at 3:30 PM

### Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on January 28, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City's website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

## APPLICANT AND PROPERTY INFORMATION

**LEGAL DESCRIPTION:** PLAN 260 W PT LOT 21;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Mixed Use	Residential District 3.1 (RD3.1)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<b>Owner Name:</b> STANLEY-UNIVERSITY REALTY INC.  <b>Applicant Name:</b> ROCK KIM		1350 UNIVERSITY AVE W

## PURPOSE OF APPLICATION

**Minor Variance** - Requesting relief for increased maximum gross floor area for a main building, increased maximum main building height and decreased minimum lot width.

By-Law	Provision	Provision Description	Requirement	Proposed
<b>Zoning By-law 8600</b>	11.2.5.1.1	Minimum Lot Width	12.0 m	9.7 m
<b>Zoning By-law 8600</b>	11.2.5.1.4	Maximum Building Height	9.0 m	9.9 m
<b>Zoning By-law 8600</b>	11.2.5.1.10	Maximum Gross Floor Area	400 m <sup>2</sup>	480 m <sup>2</sup>

## How do I participate if I have comments or concerns?

### Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

### Participate in the hearing by videoconference (Microsoft Teams)

**Two ways to register:** 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

**Applicant(s)** – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

### Notice of Decision

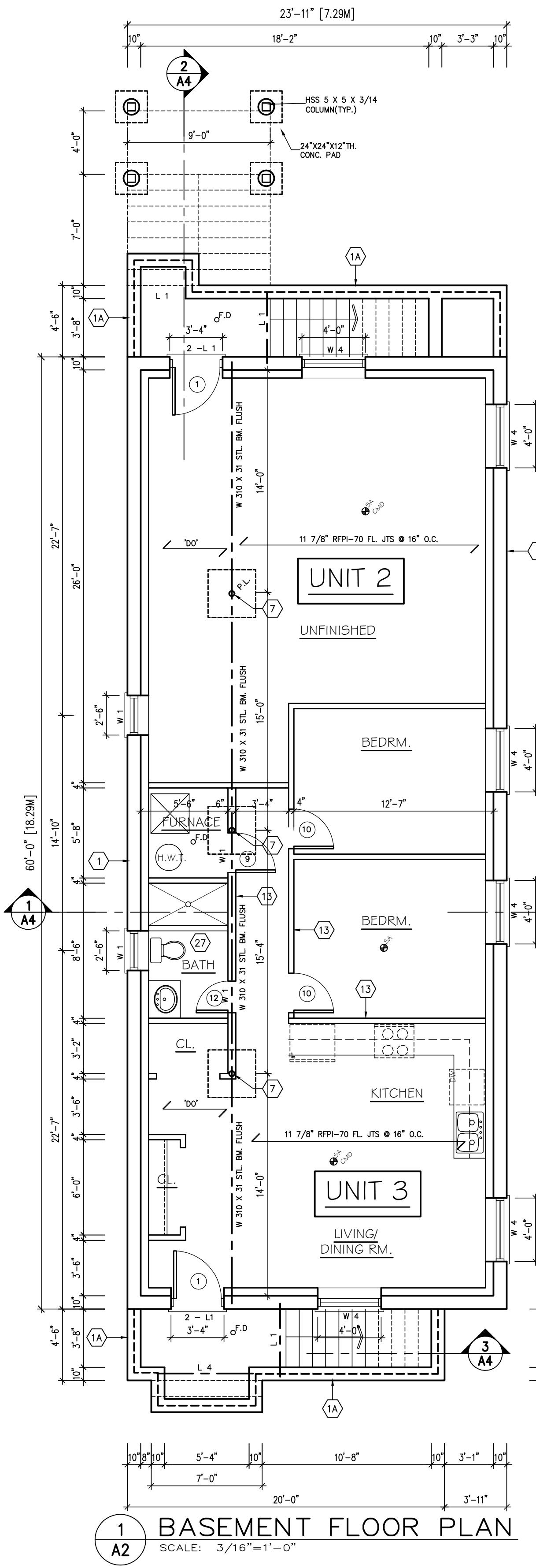
If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer ([jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



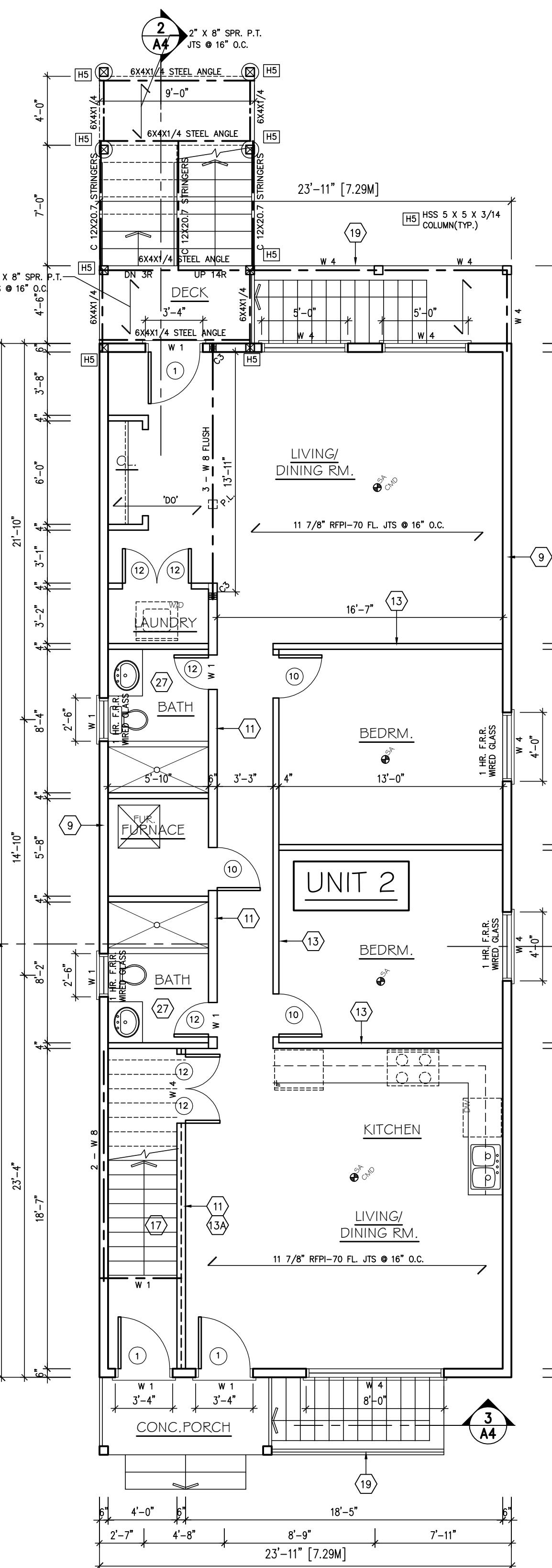
### Contact Information:

Jessica Watson  
Secretary-Treasurer  
Committee of Adjustment  
Suite 320, 350 City Hall Square West  
Windsor, ON N9A6S1  
Phone: 519-255-6543 ext. 6450 or 6436  
[COAdjustment@citywindsor.ca](mailto:COAdjustment@citywindsor.ca)





**GROUND FLOOR PLAN**  
SCALE: 3/16"=1'-0"

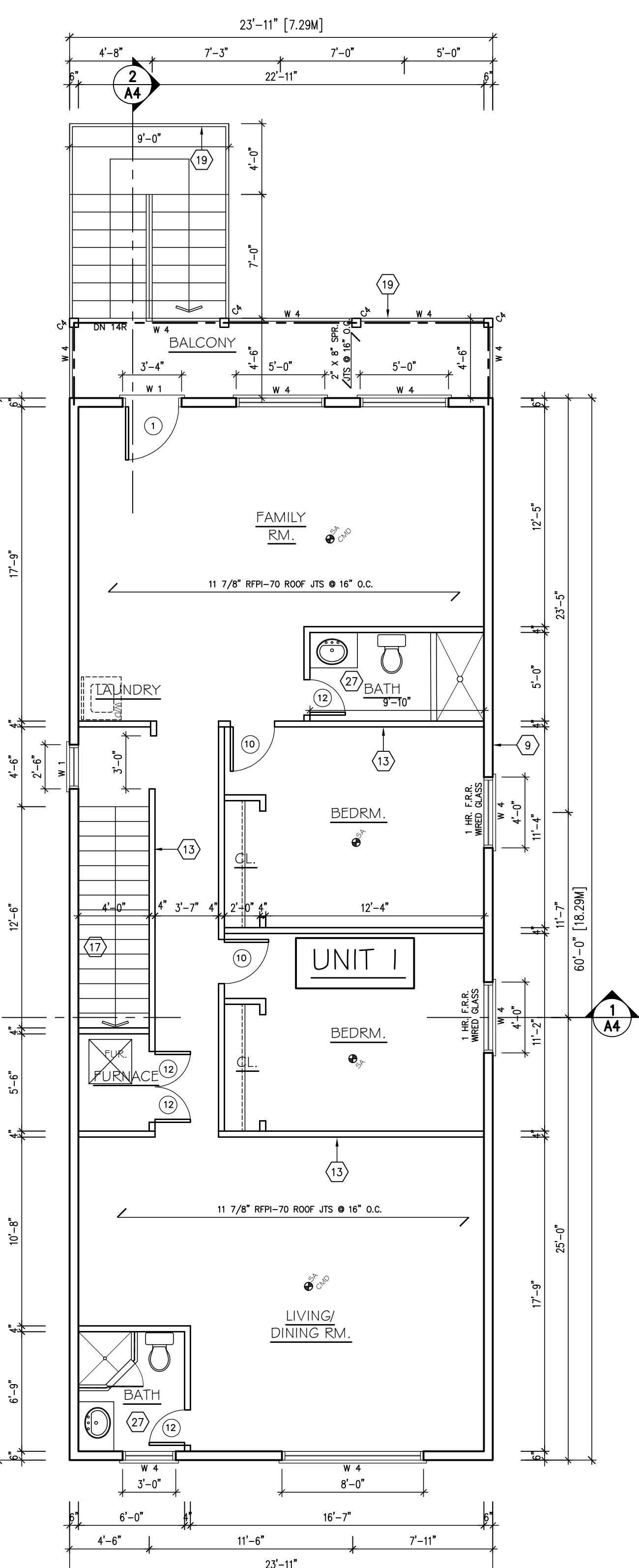


**SECOND FLOOR PLAN**  
SCALE: 3/16"=1'-0"

DOOR SCHEDULE	
1	3'-0" x 7'-0" x 1 3/8" HOLLOW CORE DOOR OPERABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY(GLAZING AS SHOWN ON ELEVATION)
2	2'-10" x 7'-0" x 1 3/8" HOLLOW CORE DOOR OPERABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY(GLAZING AS SHOWN ON ELEVATION)
3	3'-0" x 7'-0" x 1 3/4" METAL INSULATED EXT. TYPE DOOR(GLAZING AS SHOWN ON ELEVATION)
4	2'-10" x 7'-0" x 1 3/4" METAL INSULATED EXT. TYPE DOOR(GLAZING AS SHOWN ON ELEVATION)
5	2'-8" x 7'-0" x 1 3/4" METAL INSULATED EXT. TYPE DOOR(GLAZING AS SHOWN ON ELEVATION)
6	2'-6" x 7'-0" x 1 3/4" METAL INSULATED EXT. TYPE DOOR(GLAZING AS SHOWN ON ELEVATION)
7	3'-0" x 7'-0" x 1 3/8" HOLLOW CORE DOOR OPERABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY(GLAZING AS SHOWN ON ELEVATION)
8	2'-10" x 7'-0" x 1 3/8" HOLLOW CORE DOOR OPERABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY(GLAZING AS SHOWN ON ELEVATION)
9	2'-8" x 7'-0" x 1 3/8" HOLLOW CORE DOOR (3-PLY WOOD MEMBERS)
10	2'-6" x 7'-0" x 1 3/8" HOLLOW CORE DOOR W1 = 2-2" x 8" SPRUCE No.1
11	2'-4" x 7'-0" x 1 3/8" HOLLOW CORE DOOR W2 = 2-2" x 10" SPRUCE No.1
12	2'-0" x 7'-0" x 1 3/8" HOLLOW CORE DOOR W3 = 2-2" x 12" SPRUCE No.1
	(LVL = 20-L Grade) W4 = 3-2" x 8" SPRUCE No.1 W5 = 3-2" x 10" SPRUCE No.1 W6 = 3-2" x 12" SPRUCE No.1
	(LVL = 1 3/4" x 9 1/2" LVL) W7 = 1 3/4" x 11 7/8" LVL W8 = 1 3/4" x 14" LVL W9 = 1 3/4" x 16" LVL
	RESISTANCE TO FORCED ENTRY ALL EXTERIOR DOORS, WINDOWS, AND SKYLIGHTS TO CONFORM WITH O.B.C. REQUIREMENTS SUBSECTION 9.6.6 AND 9.6.7

WOOD LINTEL SCHEDULE	
1	(2-PLY WOOD MEMBERS)
2	W1 = 2-2" x 8" SPRUCE No.1
3	W2 = 2-2" x 10" SPRUCE No.1
4	W3 = 2-2" x 12" SPRUCE No.1
5	(3-PLY WOOD MEMBERS)
6	W4 = 3-2" x 8" SPRUCE No.1
7	W5 = 3-2" x 10" SPRUCE No.1
8	W6 = 3-2" x 12" SPRUCE No.1
9	(LVL = 20-L Grade)
10	W7 = 1 3/4" x 9 1/2" LVL
11	W8 = 1 3/4" x 11 7/8" LVL
12	W9 = 1 3/4" x 14" LVL
	W10 = 1 3/4" x 16" LVL
	WOOD POST SCHEDULE
13	C 3 = 2" x 8" SPR.
14	C 4 = 6" x 6" SPR.

STEEL LINTEL SCHEDULE	
1	L1 = 3-1/2" x 3 1/2" x 1/4"
2	L2 = 4" x 3 1/2" x 5/16"
3	L3 = 5" x 3 1/2" x 1/4"
4	L4 = 5" x 3 1/2" x 3/8"
5	L5 = 6" x 4" x 3/8"
6	L6 = 15M REBARS



**THIRD FLOOR PLAN**  
SCALE: 3/16"=1'-0"

DRAWING NO.	
1	AS NOTED
2	DRAWN: R.K.
3	CHECKED BY:
4	FILE NO: -
5	DATE: FEB. 6, 2025

**GENERAL NOTE:**  
This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the DESIGNER of any variations from the supplied information. The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. This drawing is not to be scaled.

No.	ISSUED FOR	DATE
No.	REVISIONS	DATE

**DRAWING TITLE:**  
**FLOOR PLANS**

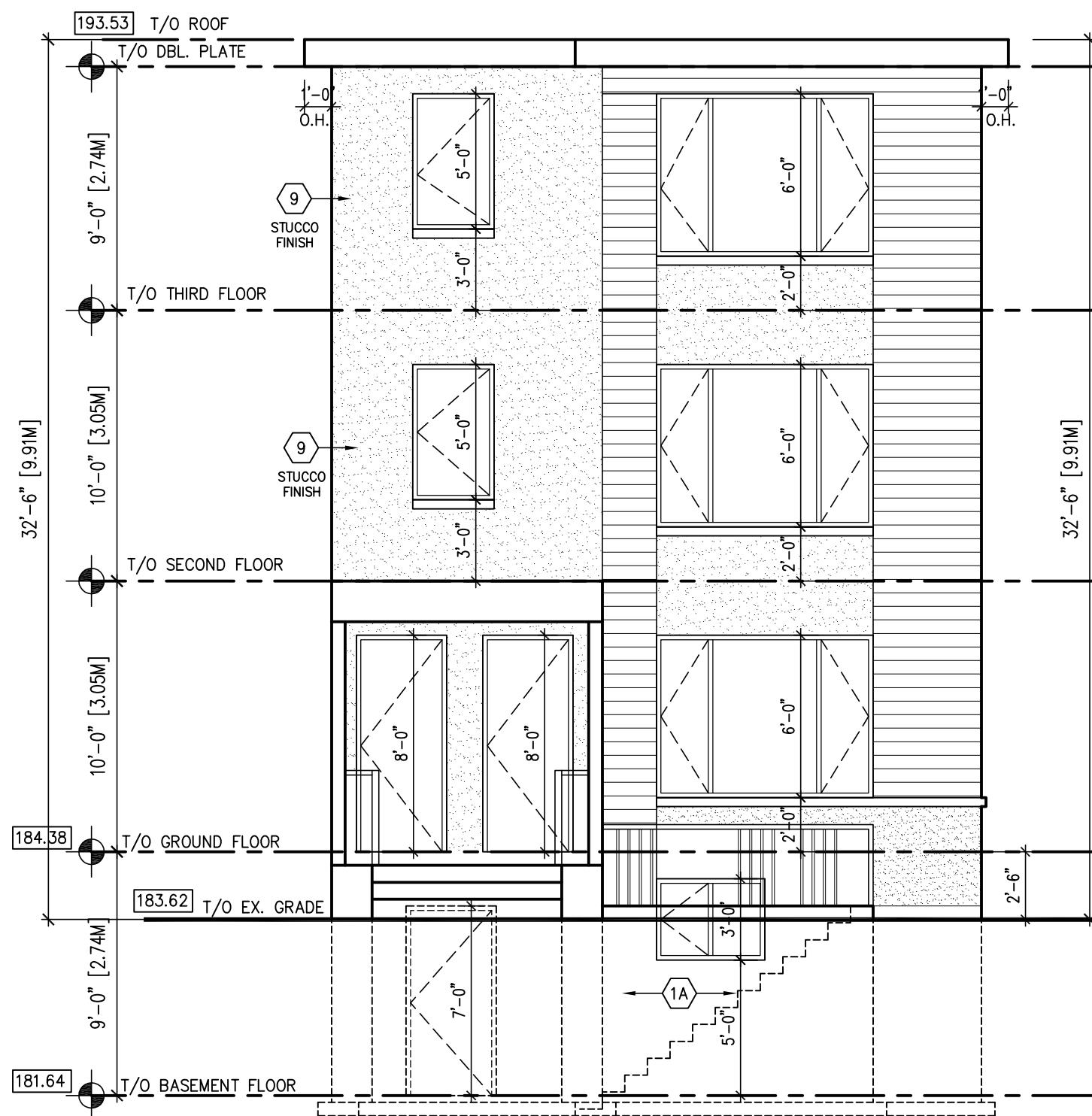
**PROJECT:**  
**PROPOSED RESIDENCE**  
1350 UNIVERSITY AVE  
WINDSOR, ON

**ROCKIM DESIGN INC.**  
ARCHITECTURAL PARTNER  
TEL 647-466-2767 rockim22@mail.com

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements as defined in the Ontario Building Code  
QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5.1 of the building code  
ROCK KIM 36340 BONI  
Signature JULY 12, 2024  
Required unless design is exempt under 3.2.4.1 of the building code  
ROCKIM DESIGN Firm Name 45379 BONI  
Registration Information  
Signature  
Date  
JULY 12, 2024

SCALE:	AS NOTED
1	DRAWN: R.K.
2	CHECKED BY:
3	FILE NO: -
4	DATE: FEB. 6, 2025

**A-2**

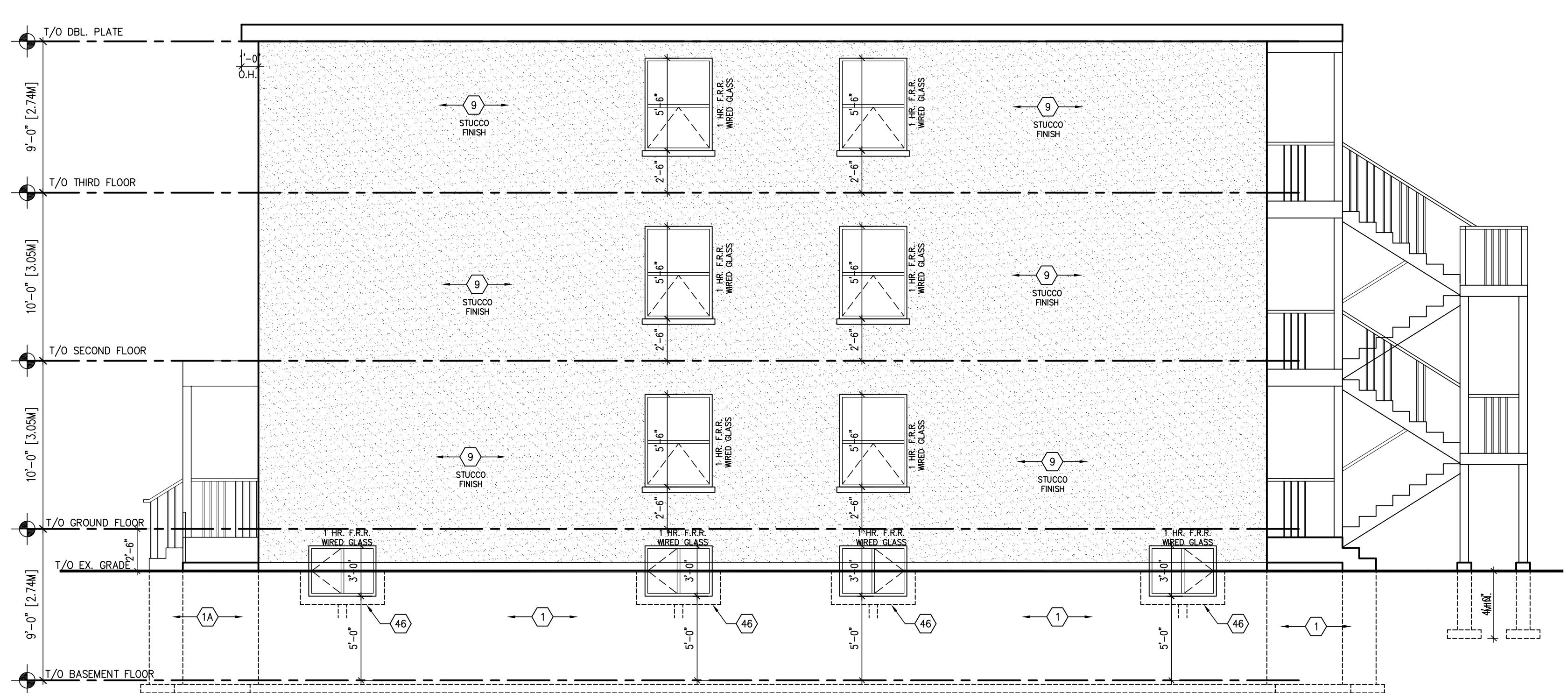


1  
A3

# SOUTH SIDE ELEVATION

SCALE: 3/16" = 1'-0"

A3 SCALE: 3/16"=1'-0"



2  
A3 EAST SIDE ELEVATION  
SCALE: 3/16"=1'-0"

**A3** SCALE:  $3/16'' = 1'-0''$

<u>UNPROTECTED OPENING CALCULATION</u>		
LIMITING DISTANCE:	4.0	ft.
ALLOWABLE PERCENTAGE:	14.0	%
ALLOWABLE AREA:	264.6	Sq. ft.
TOTAL WALL AREA:	1890	Sq. ft.
TOTAL AREA OF OPENING:	128.3	Sq. ft.

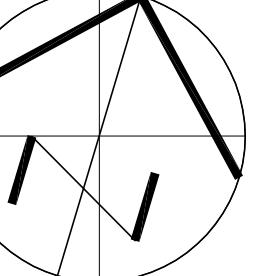
No.	ISSUED FOR	DATE
No.	REVISIONS	DATE

DRAWING TITLE:  
**ELEVATIONS**

PROJECT: **PROPOSED  
RESIDENCE**

The image shows the logo for RockKim Design Inc. on the left, which consists of a stylized 'K' shape with a small circle to its right. To the right of the logo, the company name 'ROCKIM DESIGN INC.' is written in a large, serif, all-caps font. Below that, 'ARCHITECTURAL PARTNER' is written in a smaller, sans-serif, all-caps font. At the bottom left, the text 'TEL 212.420.2727' is displayed, and at the bottom right, an email address 'rockim@comcast.net' is shown.

<p>The undersigned has reviewed &amp; taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p>	
<p><b>QUALIFICATION INFORMATION</b></p>	
<p>Required unless design is exempt under 3.2.5.1 of the building code</p>	
<p>ROCK KIM</p> <hr/> 	<p>36340</p> <hr/> <p>Name</p> <p>BCIN#</p>
<p>Signature</p>	<p>JULY 12, 2024</p> <hr/> <p>Date</p>
<p><b>REGISTRATION INFORMATION</b></p>	
<p>Required unless design is exempt under 3.2.4.1 of the building code</p>	

	
<b>SCALE:</b> AS NOTED	<b>DRAWING No.</b>
<b>DRAWN:</b> R.K.	
<b>CHECKED BY:</b>	
<b>FILE NO:</b> -	
<b>DATE:</b> FEB. 6, 2025	<b>A-3</b>