

Notice of Public Hearing – Committee of Adjustment Application

File # A-006/26 - 1350 UNIVERSITY AVE W

Date Mailed: January

28, 2026

Electronic hearing:

By videoconference on February 12, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on January 28, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 260 W PT LOT 21;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Mixed Use	Residential District 3.1 (RD3.1)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: STANLEY-UNIVERSITY REALTY INC. Applicant Name: ROCK KIM		1350 UNIVERSITY AVE W

PURPOSE OF APPLICATION

Minor Variance - Requesting relief for increased maximum gross floor area for a main building, increased maximum main building height and decreased minimum lot width.

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	11.2.5.1.1	Minimum Lot Width	12.0 m	9.7 m
Zoning By-law 8600	11.2.5.1.4	Maximum Building Height	9.0 m	9.9 m
Zoning By-law 8600	11.2.5.1.10	Maximum Gross Floor Area	400 m ²	480 m ²

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

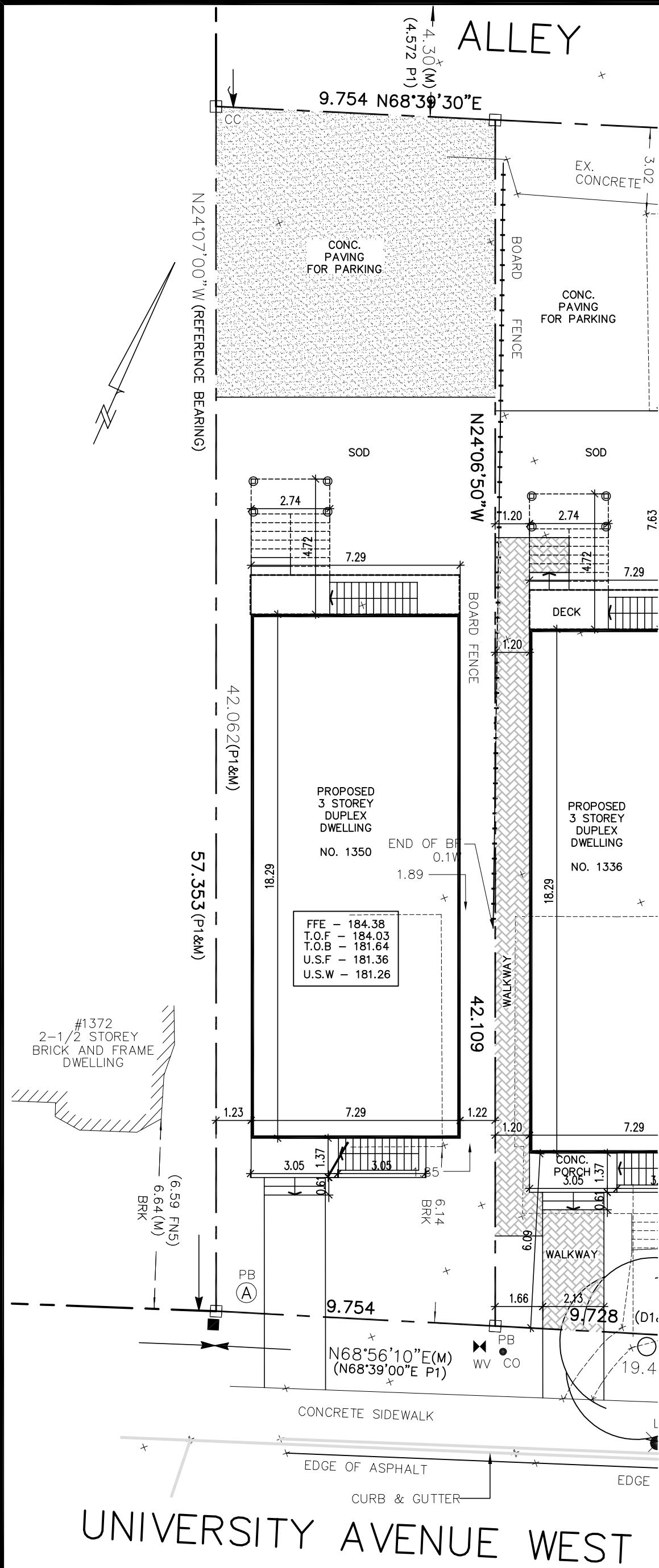
Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca



PLAN OF SHOWS
PART OF LOTS 21 & 22
REGISTERED PLAN 260
CITY OF WINDSOR
COUNTY OF ESSEX

LEGEND	
\times 100.56	Denotes existing Grade
F.F.	Finished First Floor
T.W.	Top Of Foundation Wall
B.S.	Top Of Basement Slab
U/SF	Underside Of Footing
SW	Swale Elevation
	Direction Of Drainage
	Man Door Location
	Drive-In Overhead Door
R.	Riser
WOB	Walkout Basement

SITE DATA

Lot Area	409.90 Sq.m
Proposed building	
Basement area(Unit 3)	80.00 Sq.m
Ground Floor area(Unit 2)	133.31 Sq.m
Conc. porch	4.18 Sq.m
Rear deck	3.76 Sq.m
Second Floor area(Unit 1)	133.31 Sq.m
Balcony	9.98 Sq.m
Third Floor area(Unit 1)	133.31 Sq.m
Balcony	9.98 Sq.m
Total Gross floor area	480.00 Sq.m
Total Coverage	172.71 Sq.m (42.13 %)

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the building code
ROCK KIM 36340
Name BCIN#
Signature Date
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code
ROCKIM DESIGN INC. 45379
Firm Name BCIN#
rockkim22@gmail.com 647-466-2767

GENERAL NOTES:			
This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the DESIGNER of any variations from the supplied information. The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirement of authorities having jurisdiction. This drawing is not to be scaled.			
REVISIONS			
No.	DESCRIPTION	DATE	BY
1			
2			
3			

PROJECT	PROPOSED 2 UNITS + ADU BUILDING
	1350 University Ave West Windsor, on
DRAWING TITLE	SITE PLAN

DRAWN BY	R.K.
CHECKED BY	
SCALE	1:150
DATE	DEC., 2024
PROJECT NUMBER	

DRAWING NUMBER	A-1
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DRAWING TITLE:

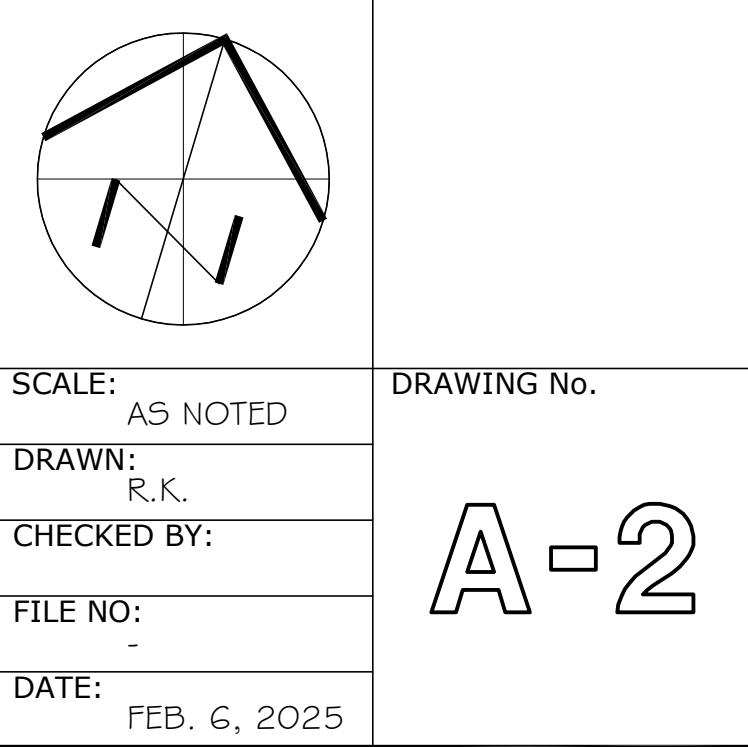
FLOOR PLANS

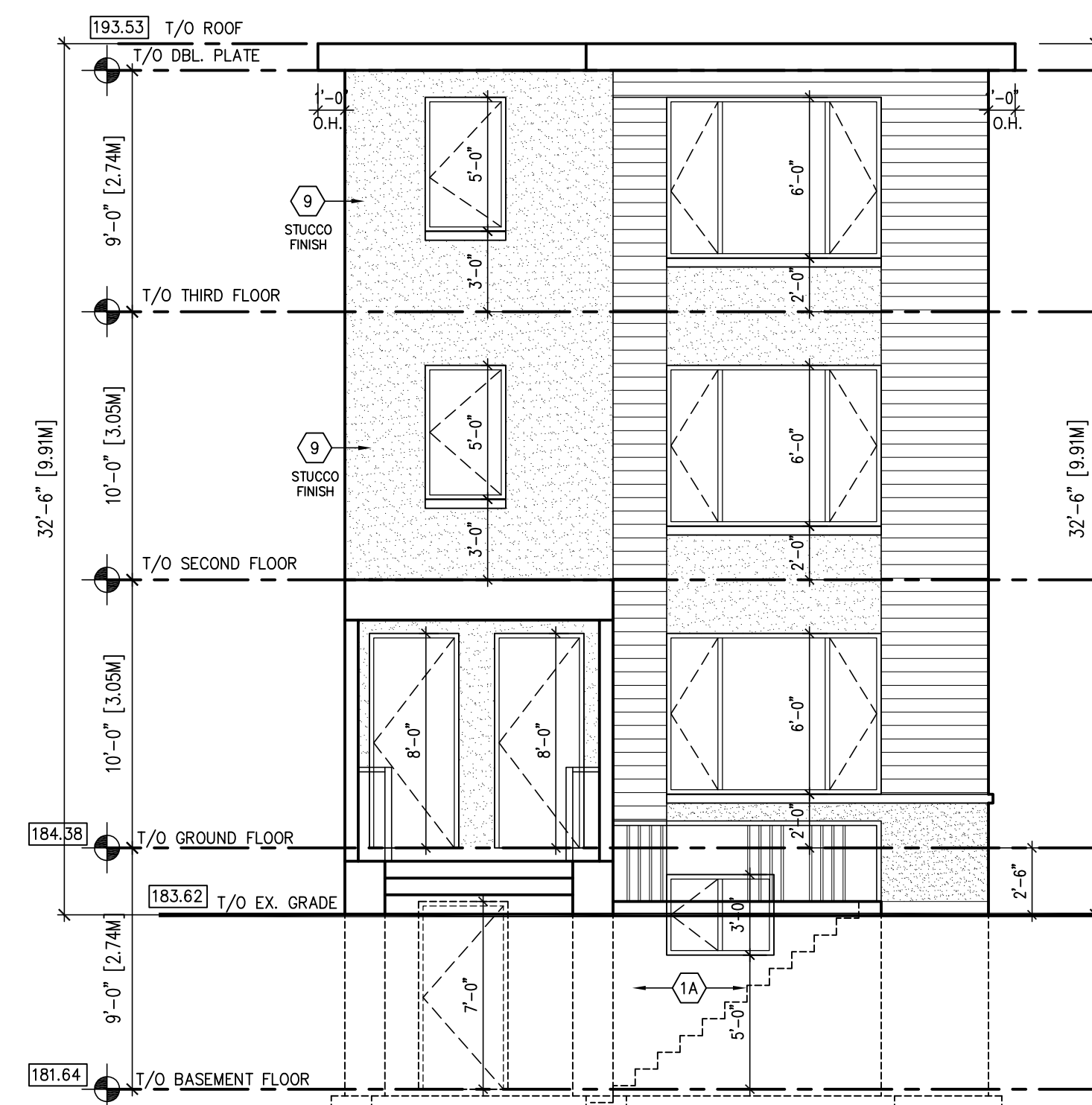


**ROCKIM
DESIGN INC.**
ARCHITECTURAL PARTNER

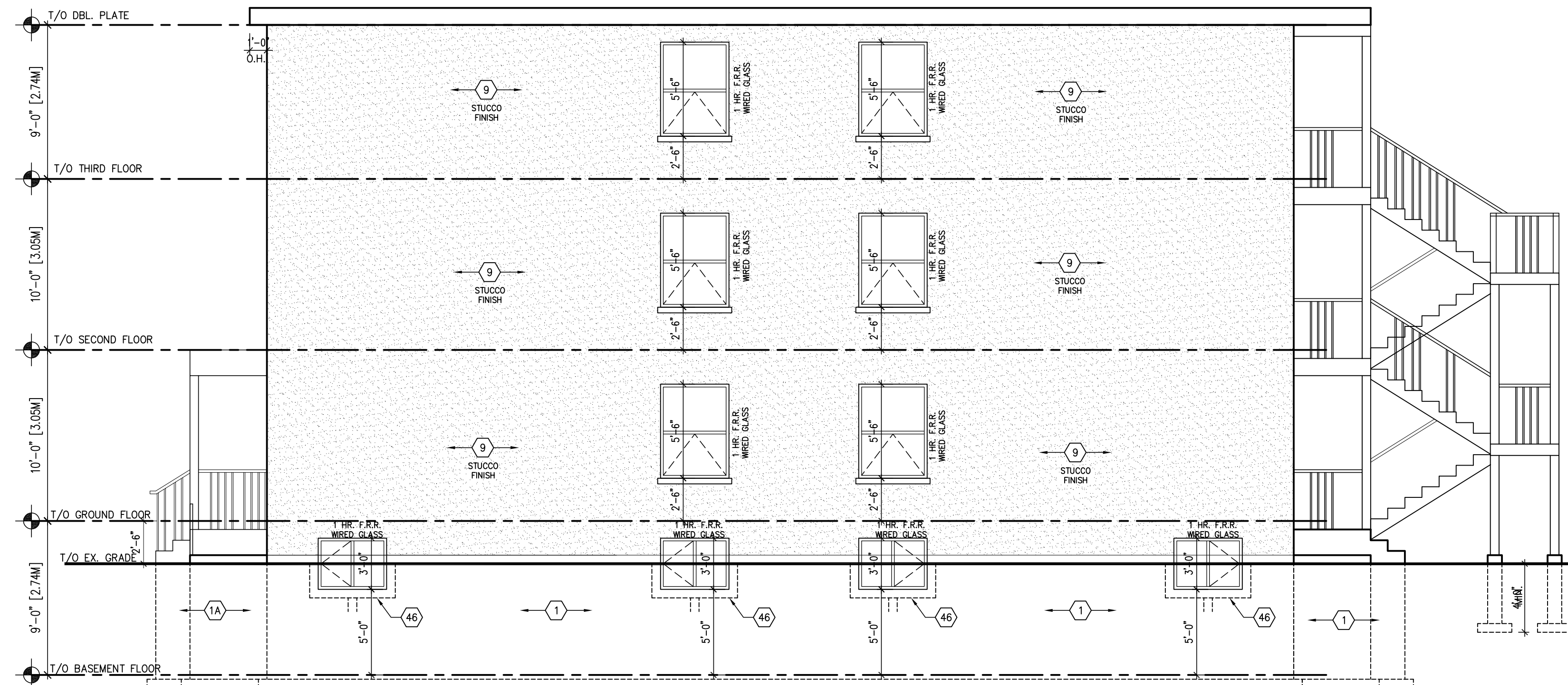
TEL 647-466-2767 rockkim22@gmail.com

Firm Name	BCNj
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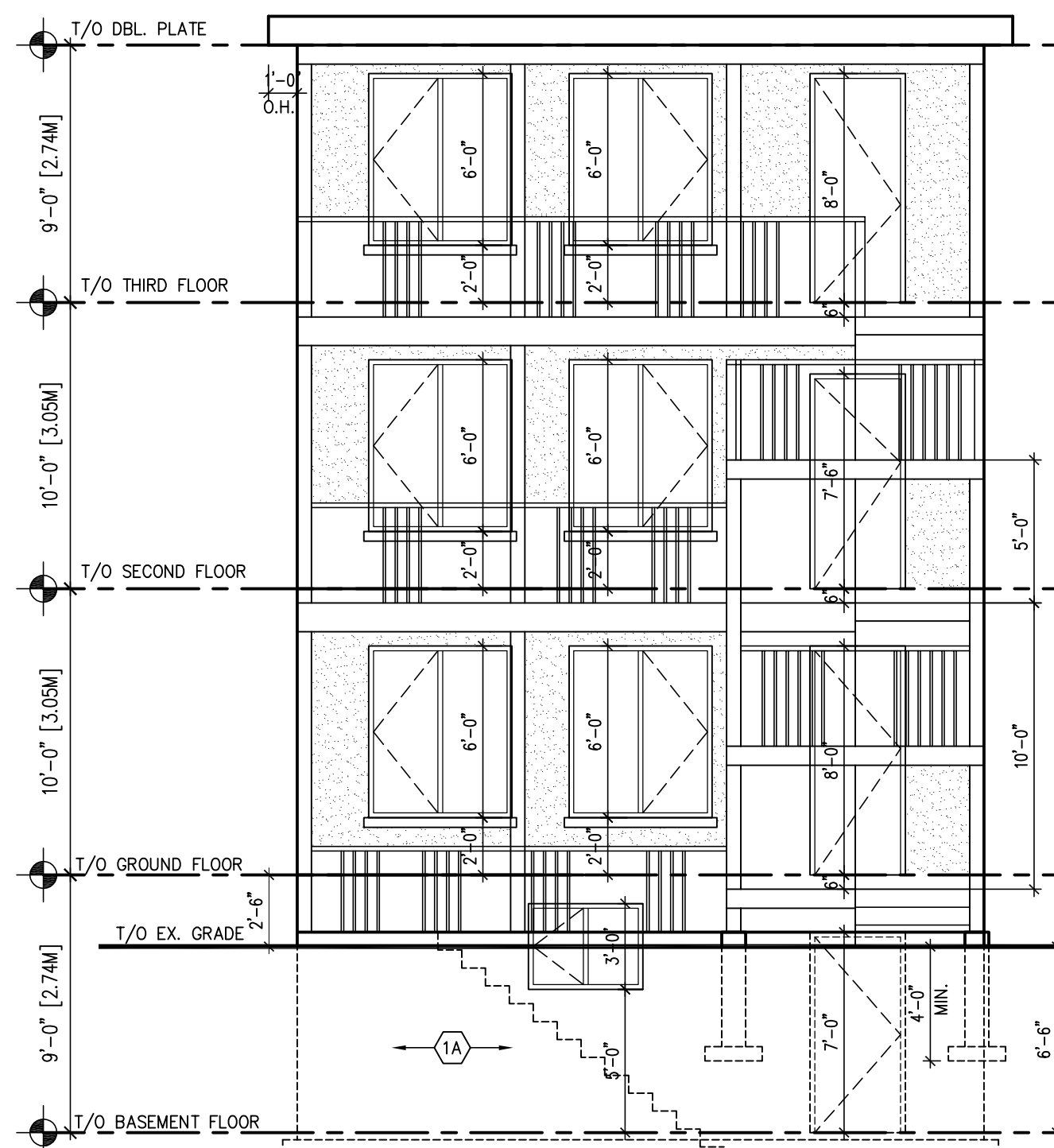


1 SOUTH SIDE ELEVATION
A3 SCALE: 3/16"=1'-0"

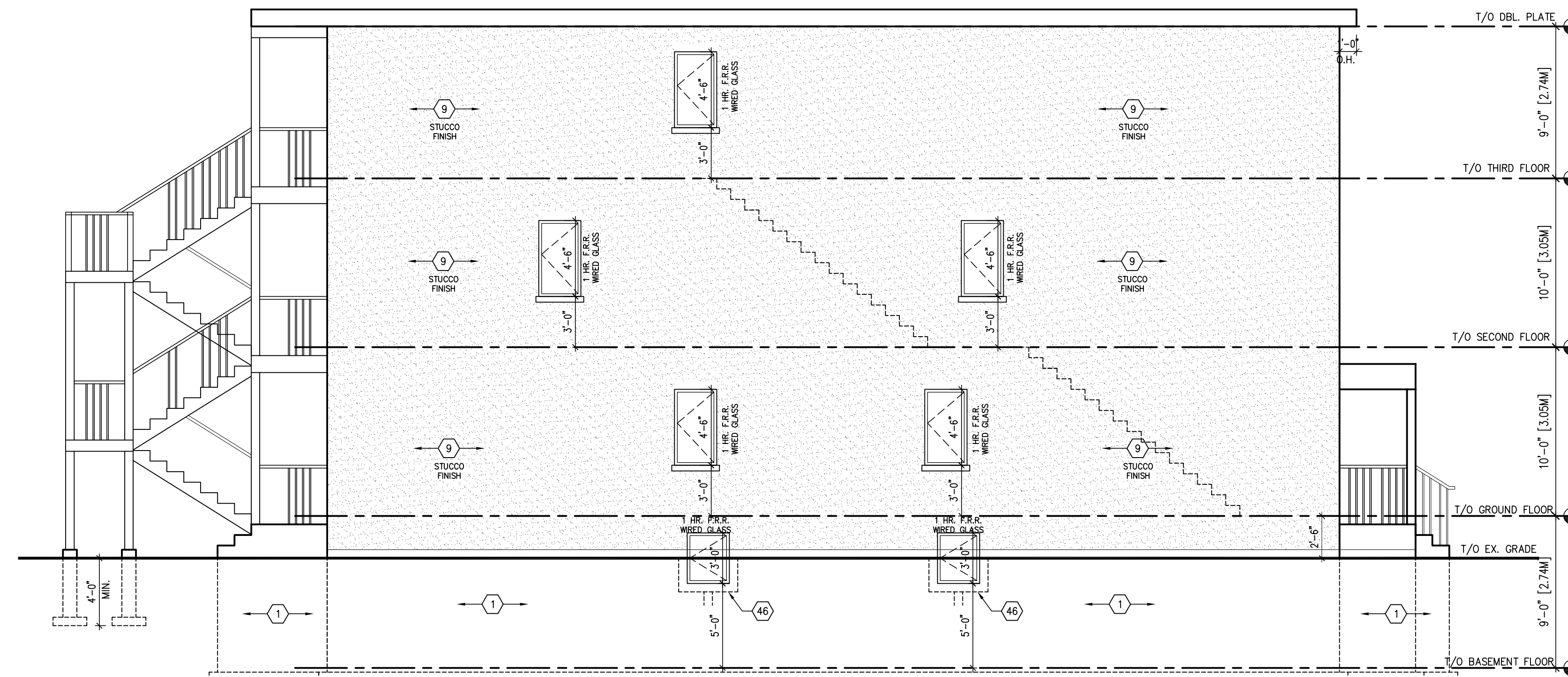


2 EAST SIDE ELEVATION
A3 SCALE: 3/16"=1'-0"

UNPROTECTED OPENING CALCULATION		
LIMITING DISTANCE:	4.0	ft.
ALLOWABLE PERCENTAGE:	14.0	%
ALLOWABLE AREA:	264.6	Sq.ft.
TOTAL WALL AREA:	1890	Sq.ft.
TOTAL AREA OF OPENING:	128.3	Sq.ft.



3 SOUTH SIDE ELEVATION
A3 SCALE: 3/16"=1'-0"



4 WEST SIDE ELEVATION
A3 SCALE: 3/16"=1'-0"

UNPROTECTED OPENING CALCULATION		
LIMITING DISTANCE:	4.0	ft.
ALLOWABLE PERCENTAGE:	14.0	%
ALLOWABLE AREA:	264.6	Sq.ft.
TOTAL WALL AREA:	1890	Sq.ft.
TOTAL AREA OF OPENING:	56.30	Sq.ft.

GENERAL NOTE:

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[illegible]

DRAWING TITLE:

ELEVATIONS

PROJECT:

PROPOSED
RESIDENCE

1350 UNIVERSITY AVE
WINDSOR, ON



The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

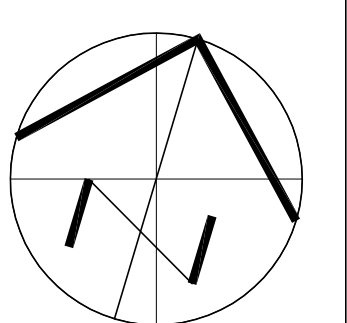
QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the building code

ROCK KIM 36340

Name _____ BCN# _____

Signature _____ Date JULY 12, 2024

Required unless design is exempt under 3.2.4.1 of the building code



SCALE: AS NOTED

DRAWN:

R.K.

CHECKED BY

FILE NO.

FILE NO: _____

DATE:

DRAWING No.

A-3