

Notice of Public Hearing – Committee of Adjustment Application

File # A-005/26 - 4653 JENKELA CRT

Date Mailed: January 28, 2026

Electronic hearing:

By videoconference on February 12, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on January 28, 2026. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 12M484 LOT 12;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 1.1 (RD1.1)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<div>Owner Name: BRANISLAV CMARADA</div> <div>Applicant Name: Branko Cmarada</div>		4653 JENKELA CRT

PURPOSE OF APPLICATION

Minor Variance - Requesting relief for increased Main Building Gross Floor Area

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	10.1.5.10	Maximum Gross Floor Area	400 m ²	441 m ²

How do I participate if I have comments or concerns?**Submit written comments**

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

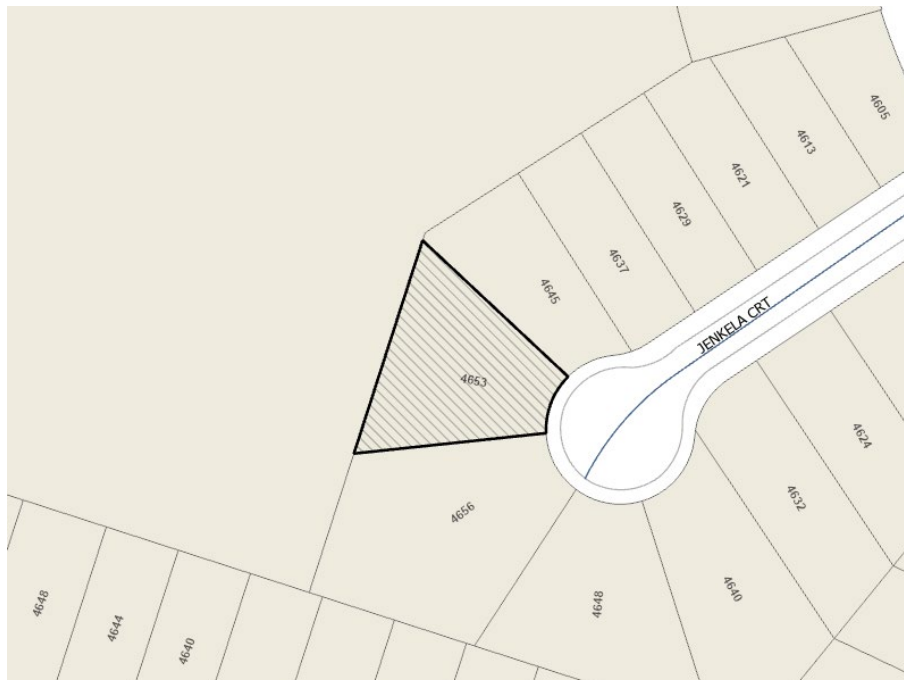
Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

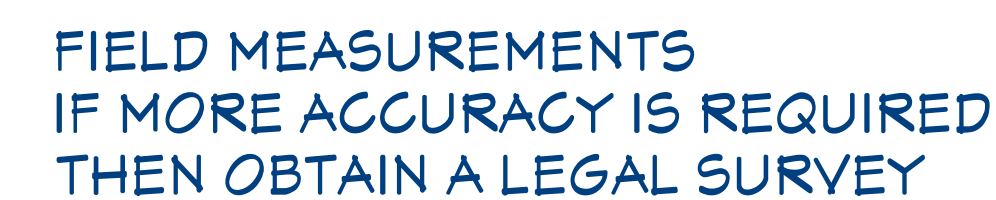
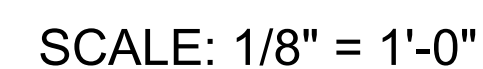
Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.


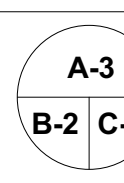
Notice of Decision

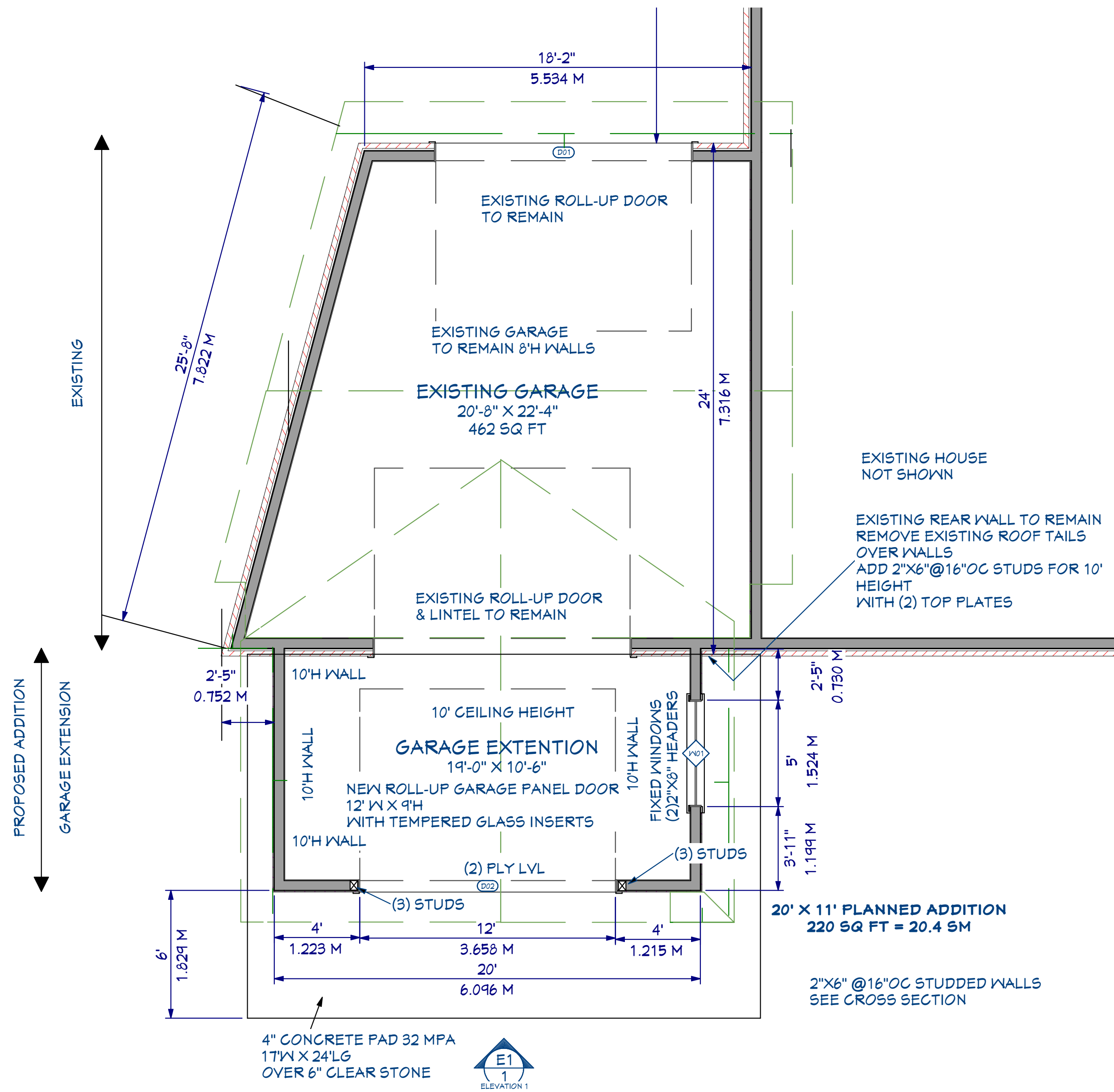
If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.

**Contact Information:**

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca



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03	E	*EXIST. COVERED STEPS ADDED TO SITE PLAN *GROSS AREA RECALCULATED	25/12/11
02	D	FLOOR PLANS SHOWN	25/11/25
01	C	SITE PLAN NOW SHOWING ALL BUILDINGS	25/11/17
NO. LETTER		REVISION LEVEL:	DATE Y/M/D
PROPERTY OWNER: BRANKO CMARADA 4653 JENKELA CRT, WINDSOR N9G 3C4 519-990-3393 bcmarada@gmail.com			
GENERAL CONTRACTOR:			
PROJECT DESCRIPTION: ADDITION - GARAGE EXTENSION TO A SINGLE DETACHED HOME FOR USE AS A GARDEN SHED BUILDING SITE: 4653 JENKELA CRT, WINDSOR N9G 3C4			
DRAWING TITLE:			
<h1 style="margin: 0;">SITE PLAN</h1>			
NOTE: - DO NOT SCALE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CHECK & FURNISH THAT ALL MEASUREMENTS & DIMENSIONS & CONDITIONS ARE VERIFIED ON THE JOB SITE PRIOR TO QUOTING & CONSTRUCTION. - CONSULT WITH ALL TRADES: SURVEYOR, FOUNDATION, CARPENTRY, HEATING & COOLING, PLUMBING, ELECTRICAL, WINDOVS & DOORS, ROOFING, CABINET, IF FURCHASE TRADES & ANY OTHER APPLICABLE TRADE PRIOR TO CONSTRUCTION. - ANY AND ALL DISCREPANCIES AND ADVISORY CONDITIONS ARE TO BE REPORTED TO THE GENERAL CONTRACTOR AND DESIGNER PRIOR TO CONSTRUCTION. - ALL DRAWINGS REMAIN THE PROPERTY OF THE HOME OWNER & DESIGNER. COPYRIGHT.			
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FIRM: PAUL PETERSON BCIN DESIGNER BCIN 121115			
FILE NUMBER:		SCALE AS SHOWN ON EACH INDIVIDUAL SHEET. PRINT PDF FILE ONTO ARCHIT. F. SIZE PAPER 24X36 FOR PROPER ILLUSTRATION.	
555		<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  </div> <div style="text-align: left;"> A. DETAIL NO. B. LOCATION SHEET C. DETAILED ON </div> </div> <div style="display: flex; justify-content: space-around; align-items: center; margin-top: 10px;"> <div style="text-align: center;"> <div style="font-size: 3em; font-weight: bold;">6</div> SHEET # </div> <div style="text-align: center;"> <div style="font-size: 3em; font-weight: bold;">E</div> REVISION </div> </div>	



FLOOR PLAN

SCALE: 1/4" = 1'-0"

ASPHALT SHINGLES
VINYL, ALUMINUM OR COMPOSITE
SIDING
VINYL OR ALUMINUM SOFFITS,
ALUMINUM FASCIA, BOXED EAVES
ROOF VENTS 1/300
12"X 8" ROLL-UP DOOR
ELECTRIC OPENER

METAL FLASHING - VALLEYS

NEW ROOF 4/12 PITCH

EXISTING GARAGE RIDGE

EXISTING HOUSE NOT SHOWN
NO CHANGES TO HOUSE
SEE SITE PLAN

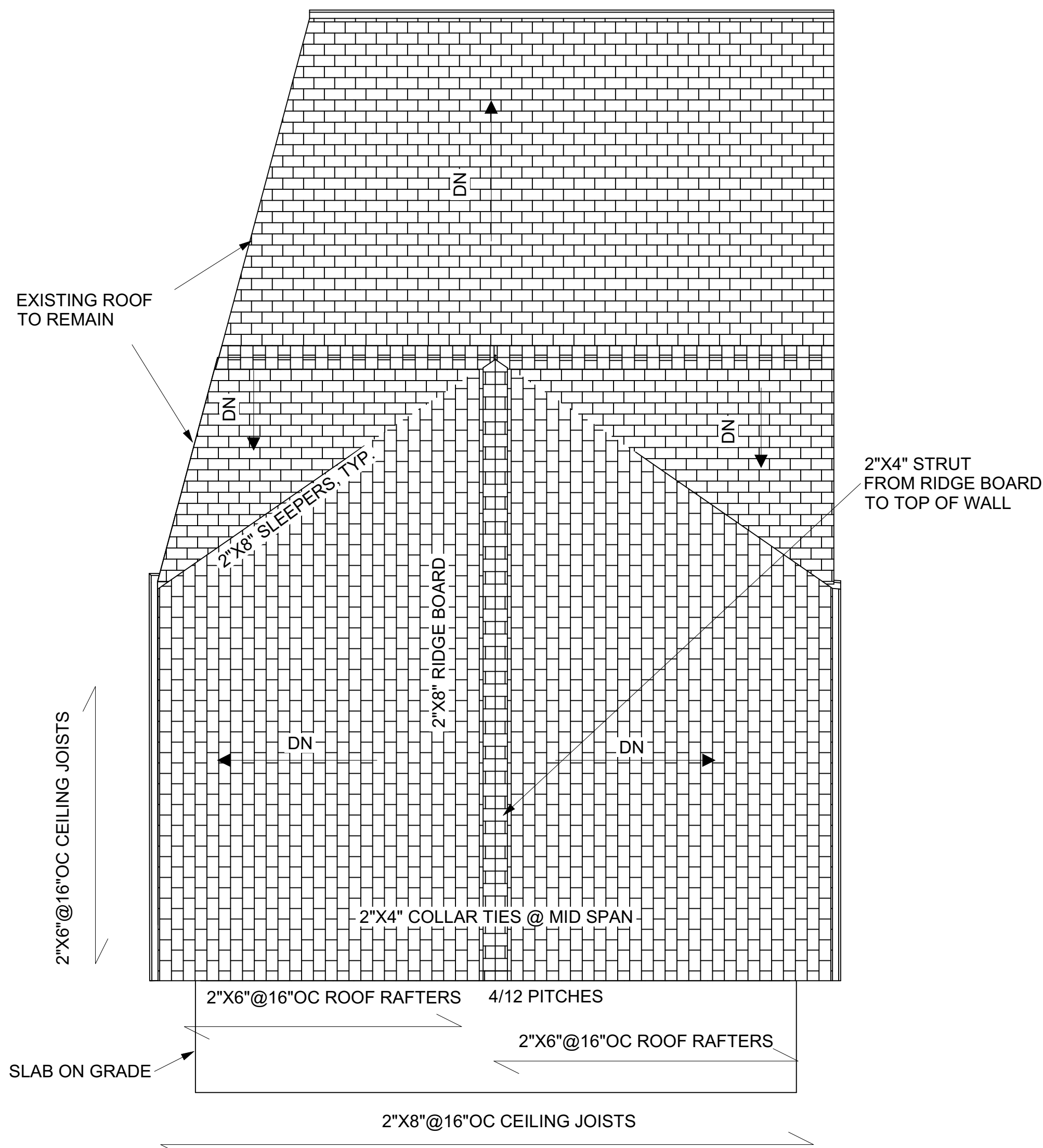
EXISTING ROOF TO REMAIN

FULL ROOF RETURNS
2"X4" @ 24" OC LOOKOUTS
16" OVERHANGS



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



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N9G 3C4
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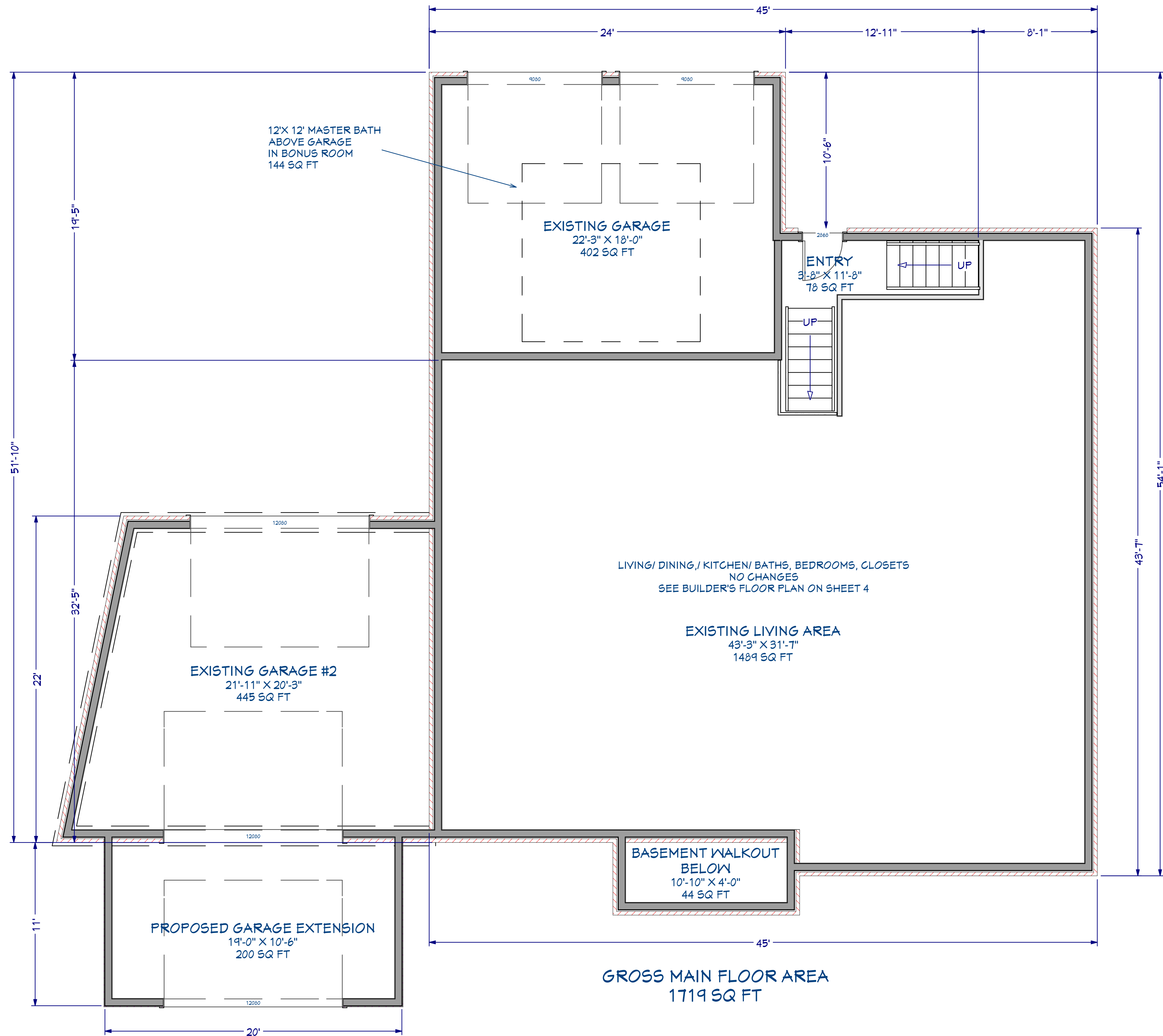
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BUILDING SITE:
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WINDSOR N9G 3C4**

DRAWING TITLE:

**MAIN FLOOR PLAN
FRONT ELEVATION
ROOF PLAN**


NOTE:
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MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



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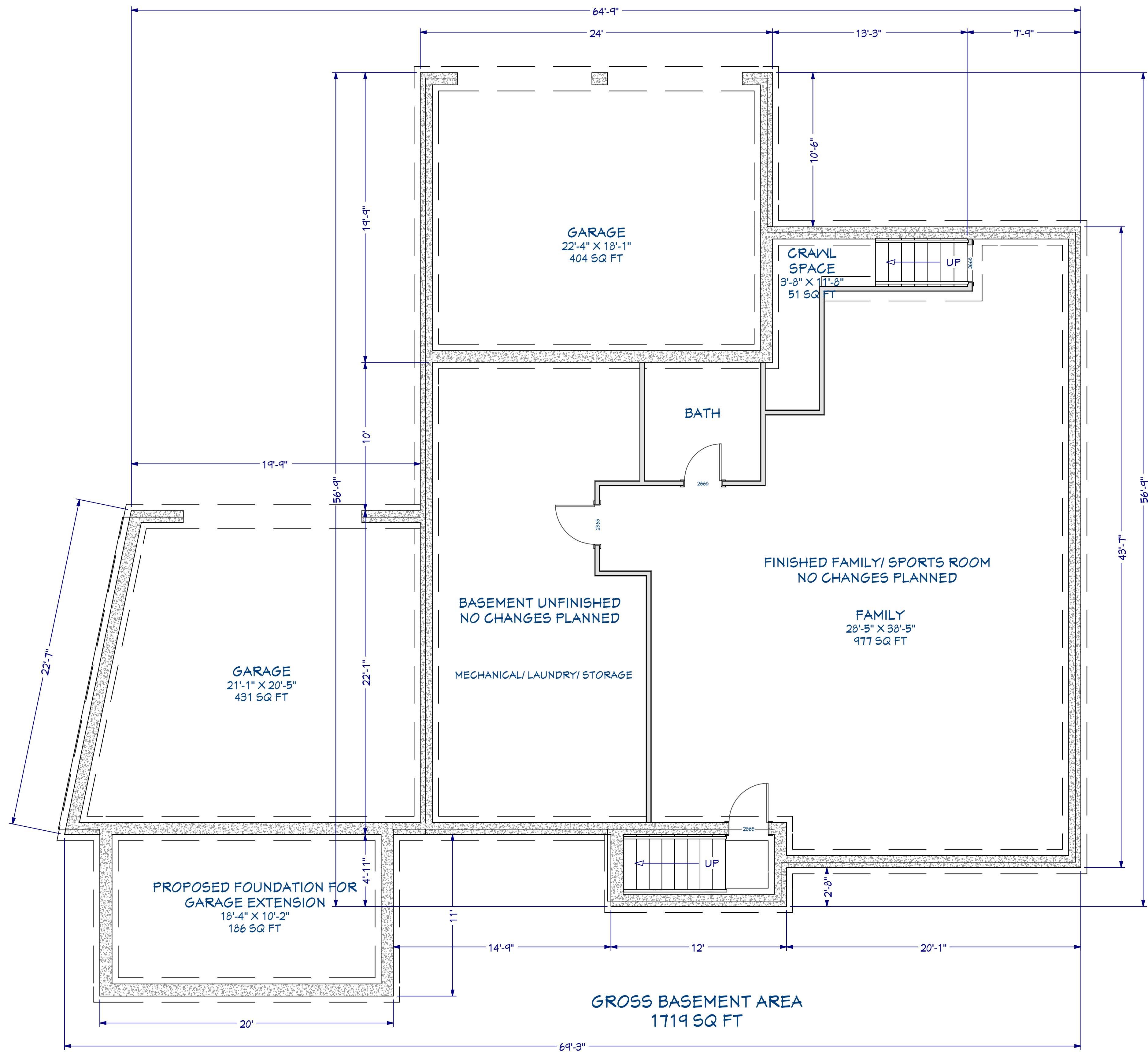
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A. DETAIL NO.
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BASEMENT PLAN

SCALE: 1/4" = 1'-0"



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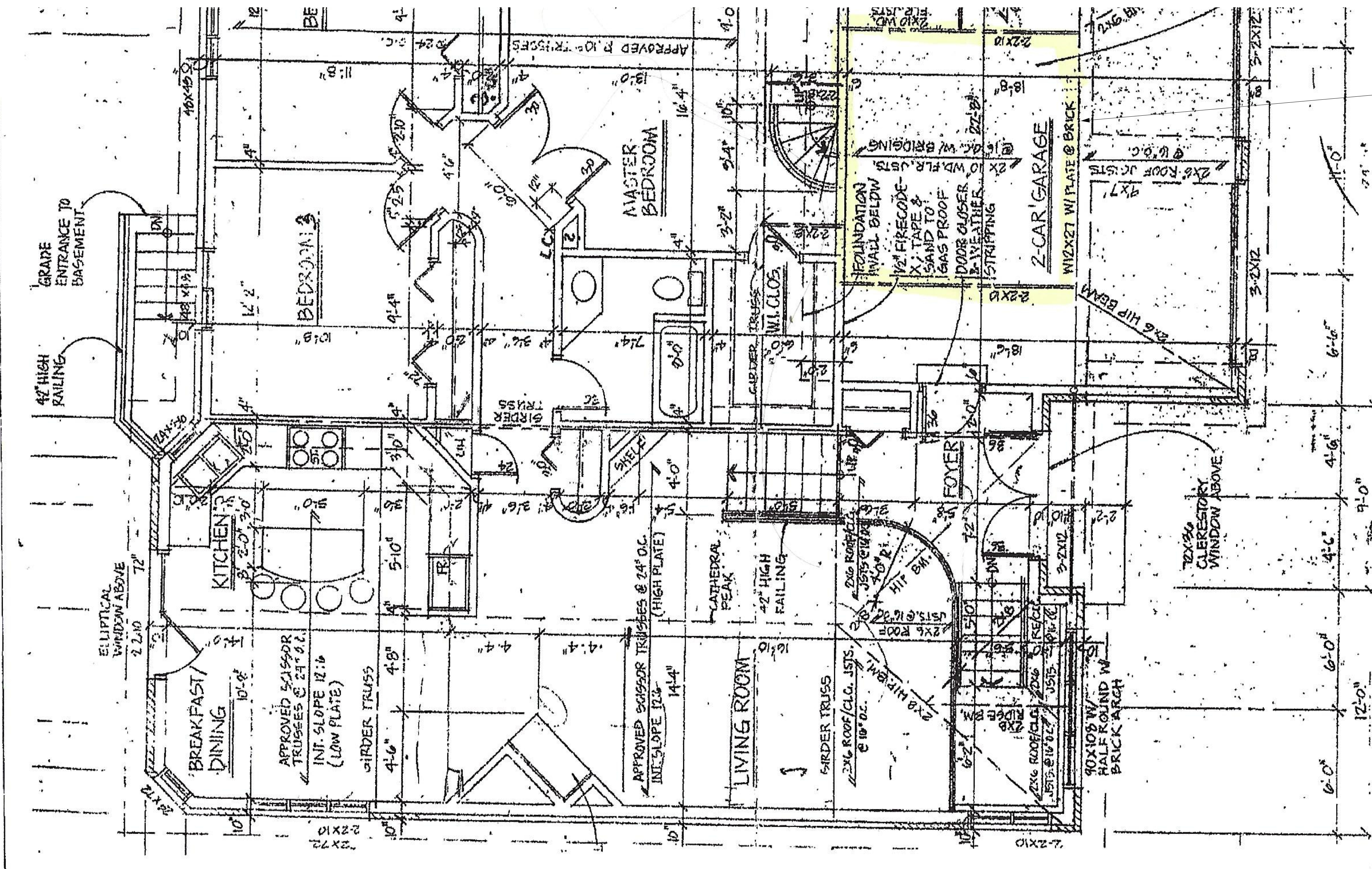
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MAIN FLOOR PLAN
& BONUS ROOM BATHROOM

NO CHANGES PLANNED

BONUS ROOM OVER GARAGE
12 FT X 12 FT = 13.4 SM

JOB 555 AS BUILT HOUSE FLOOR PLAN



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& BONUS ROOM BATHROOM**

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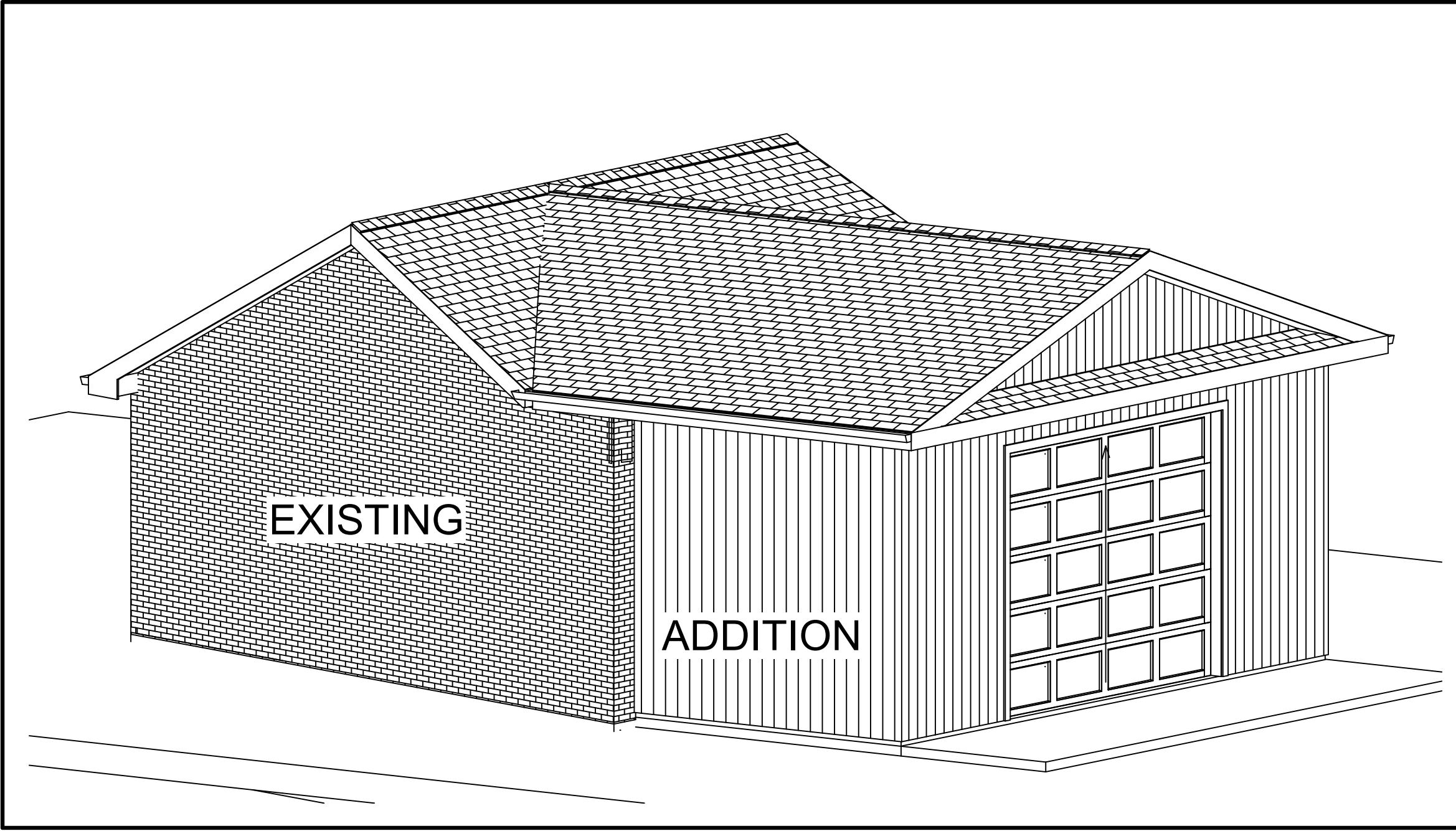
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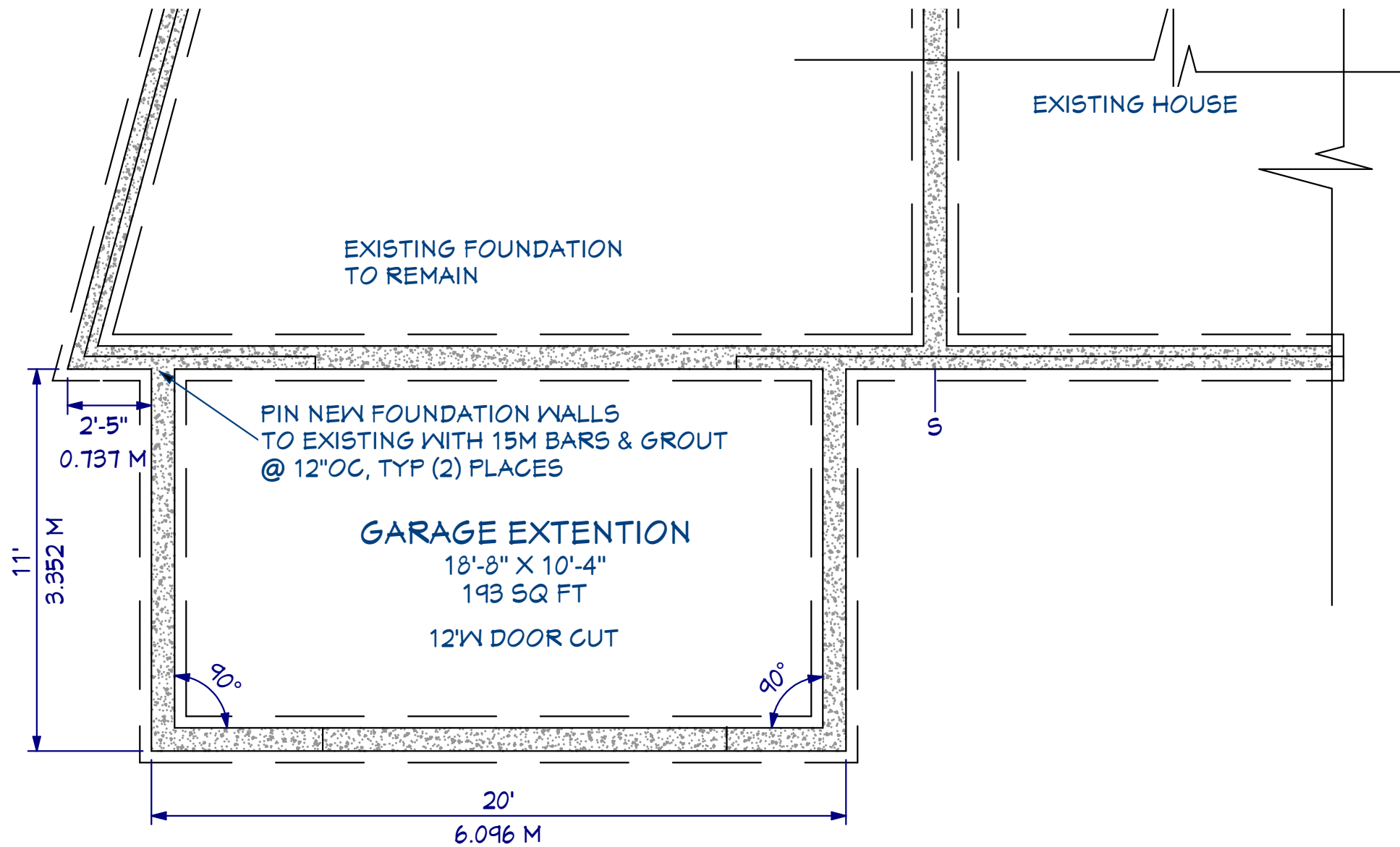
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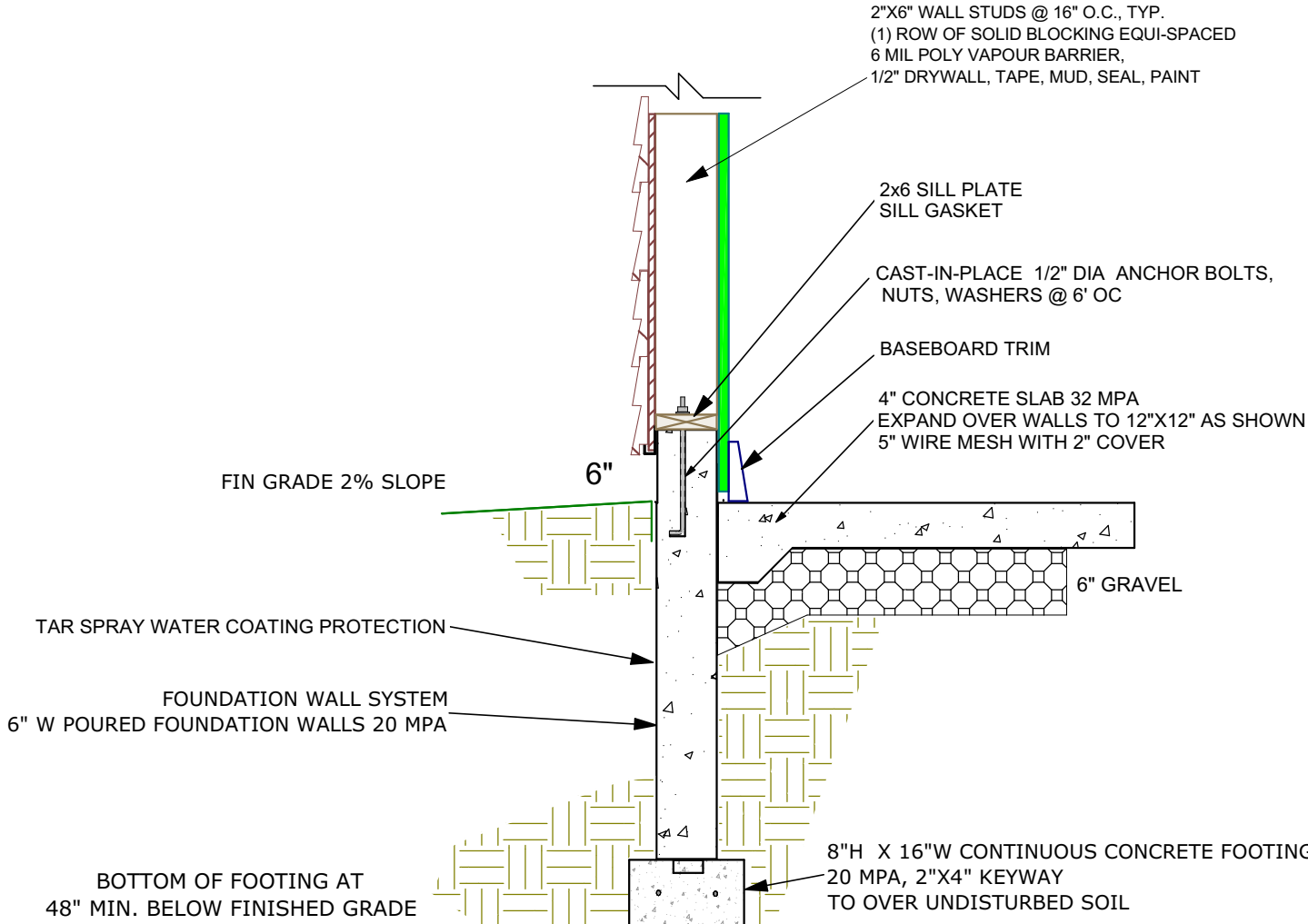
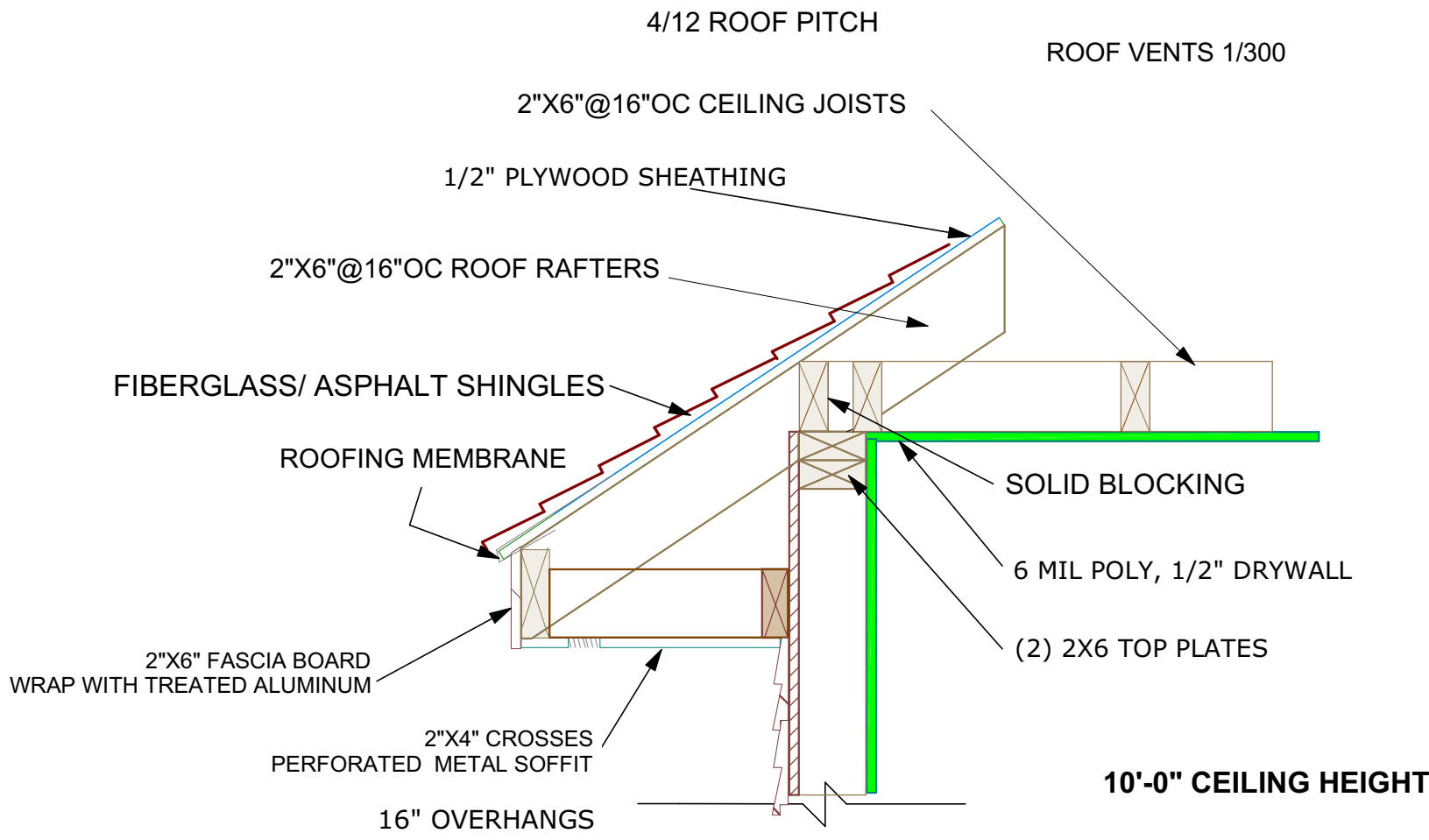


3D RENDERING



FOUNDATION PLAN
GARAGE EXTENSION

SCALE: 1/4" = 1'-0"



WALL SECTION

SCALE: 1/2" = 1'-0"

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DRAWING TITLE:

**FOUNDATION PLAN
& WALL SECTION**

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