

## Notice of Public Hearing – Committee of Adjustment Application

File # A-005/26 - 4653 JENKELA CRT

Date Mailed: January 28, 2026

### Electronic hearing:

By videoconference on February 12, 2026 at 3:30 PM

### Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on January 28, 2026, as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City's website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

## APPLICANT AND PROPERTY INFORMATION

### LEGAL DESCRIPTION:

PLAN 12M484 LOT 12;

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential District 1.1 (RD1.1)

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<p><b>Owner Name:</b> BRANISLAV CMARADA</p> <p><b>Applicant Name:</b> Branko Cmarada</p>		4653 JENKELA CRT

## PURPOSE OF APPLICATION

**Minor Variance** - Requesting relief for increased Main Building Gross Floor Area

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-law 8600	10.1.5.10	Maximum Gross Floor Area	400 m <sup>2</sup>	441 m <sup>2</sup>

## How do I participate if I have comments or concerns?

### Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

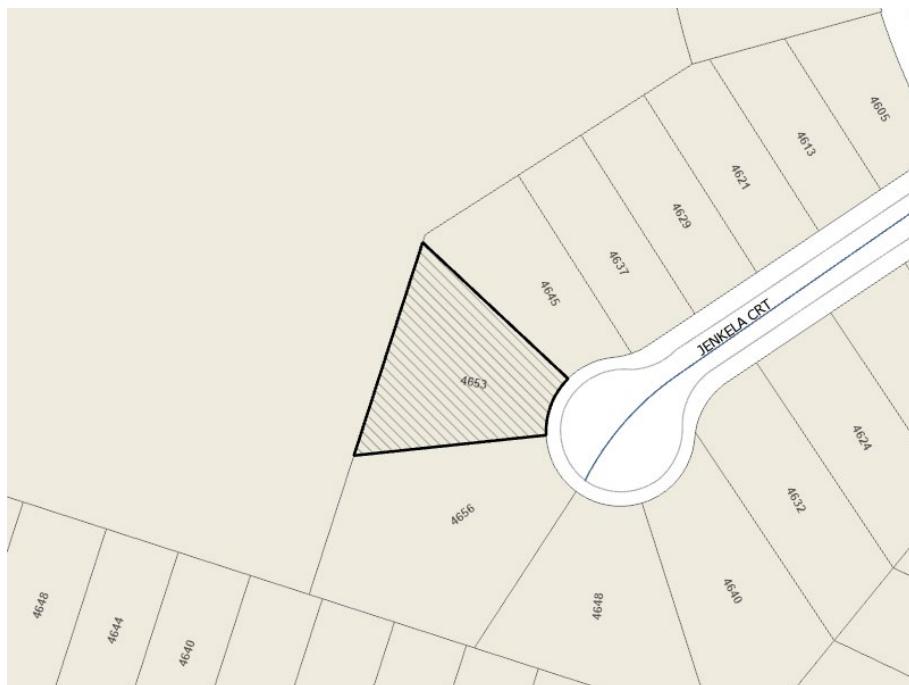
### Participate in the hearing by videoconference (Microsoft Teams)

**Two ways to register:** 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

**Applicant(s)** – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

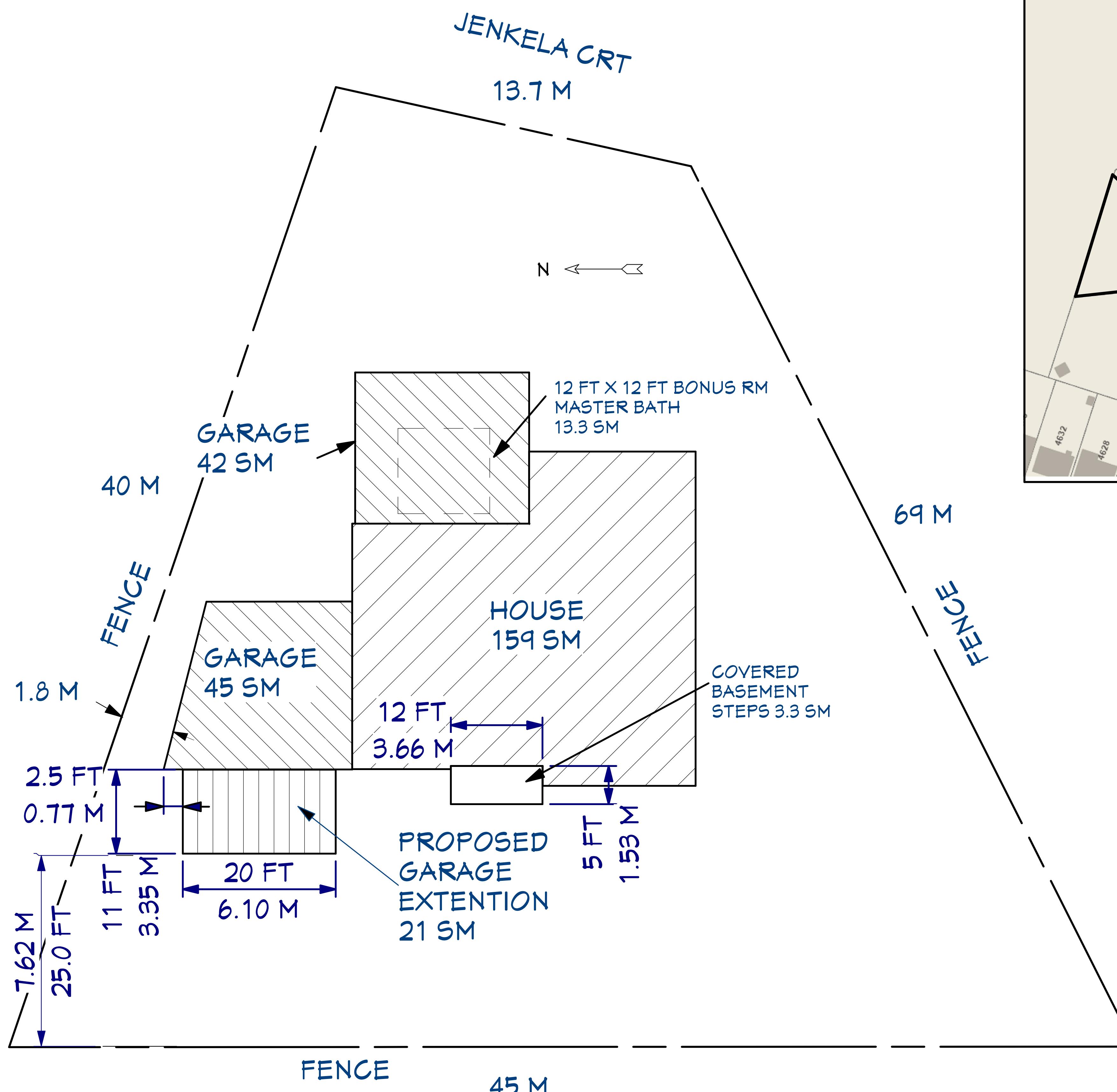
### Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer ([jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



### Contact Information:

Jessica Watson  
Secretary-Treasurer  
Committee of Adjustment  
Suite 320, 350 City Hall Square West  
Windsor, ON N9A6S1  
Phone: 519-255-6543 ext. 6450 or 6436  
[COAdjustment@citywindsor.ca](mailto:COAdjustment@citywindsor.ca)



SCAI E: 1/8" = 1'-0"

UNIT 2

4651

4605

4613

4621

4629

4645

4637

4653

4656

4648

4632

4624

4616

4608

4605

4613

4621

4629

4637

JENKELA CRT

ALPENROSE AVE

20

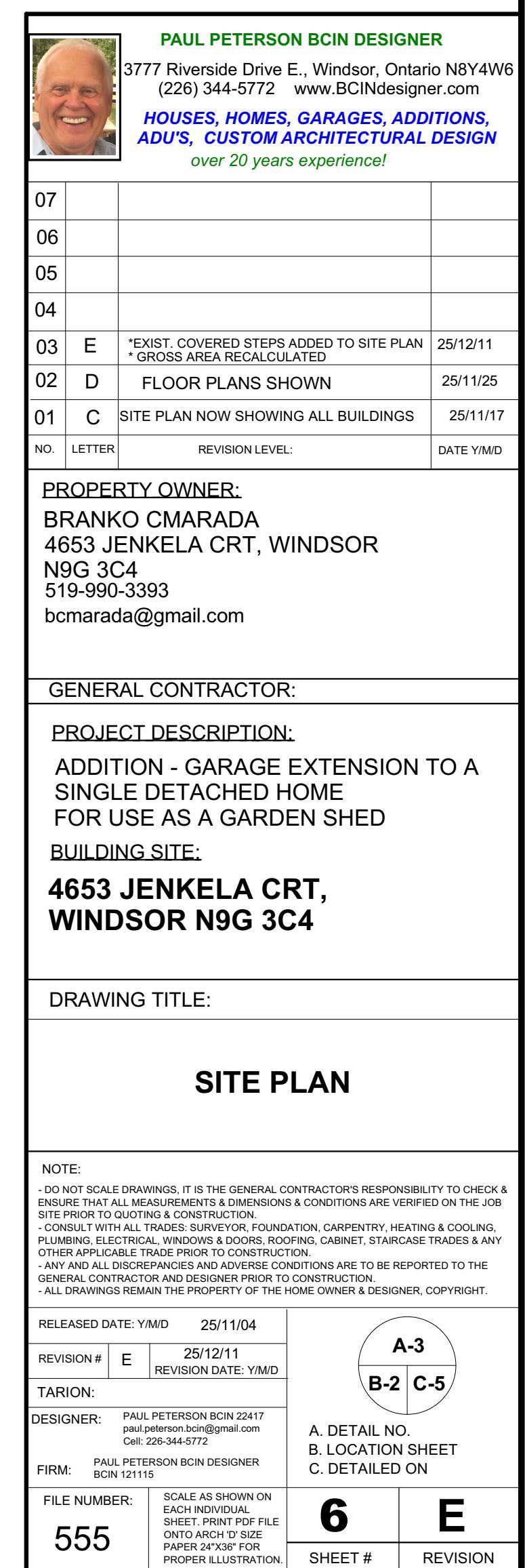
705

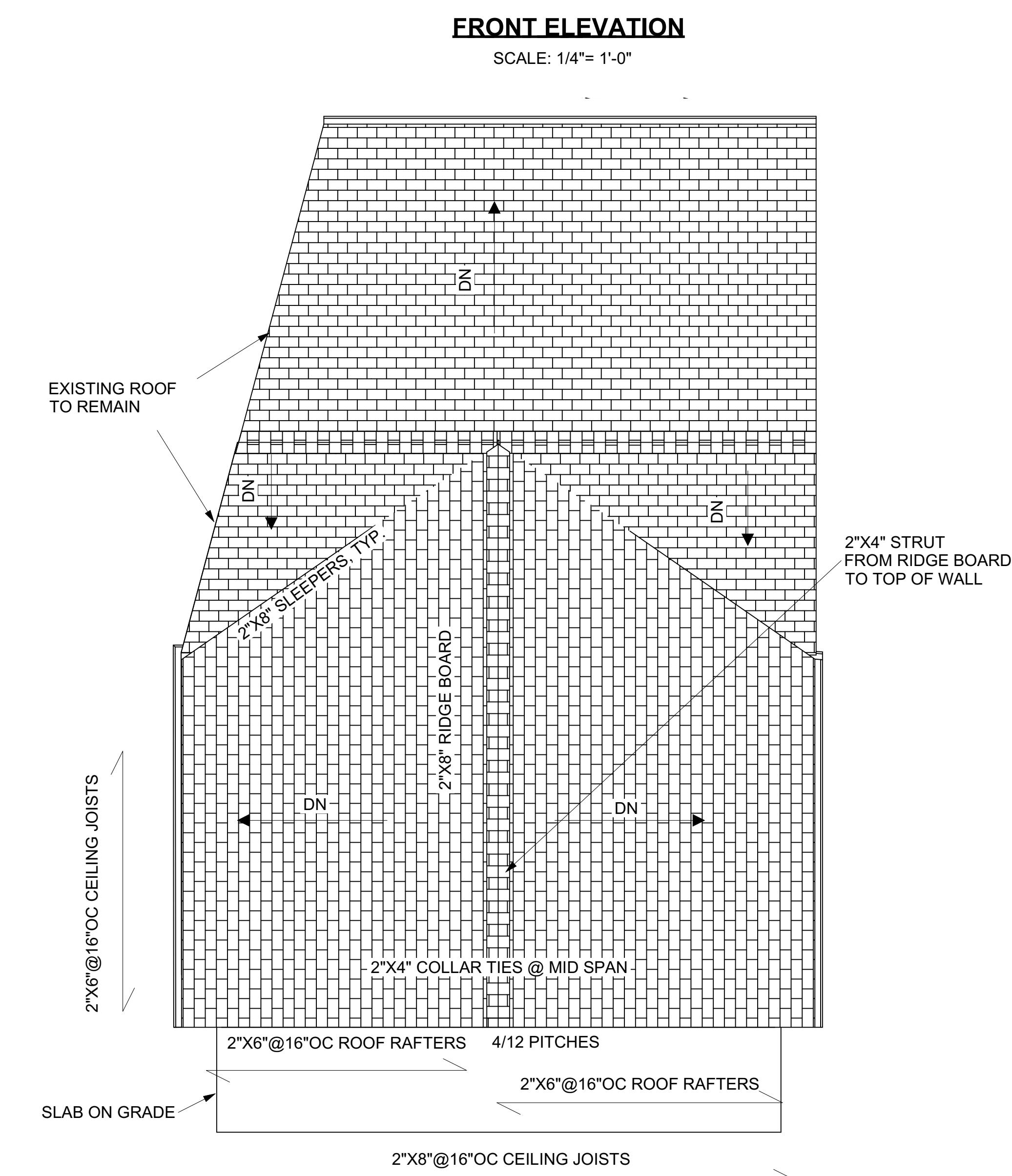
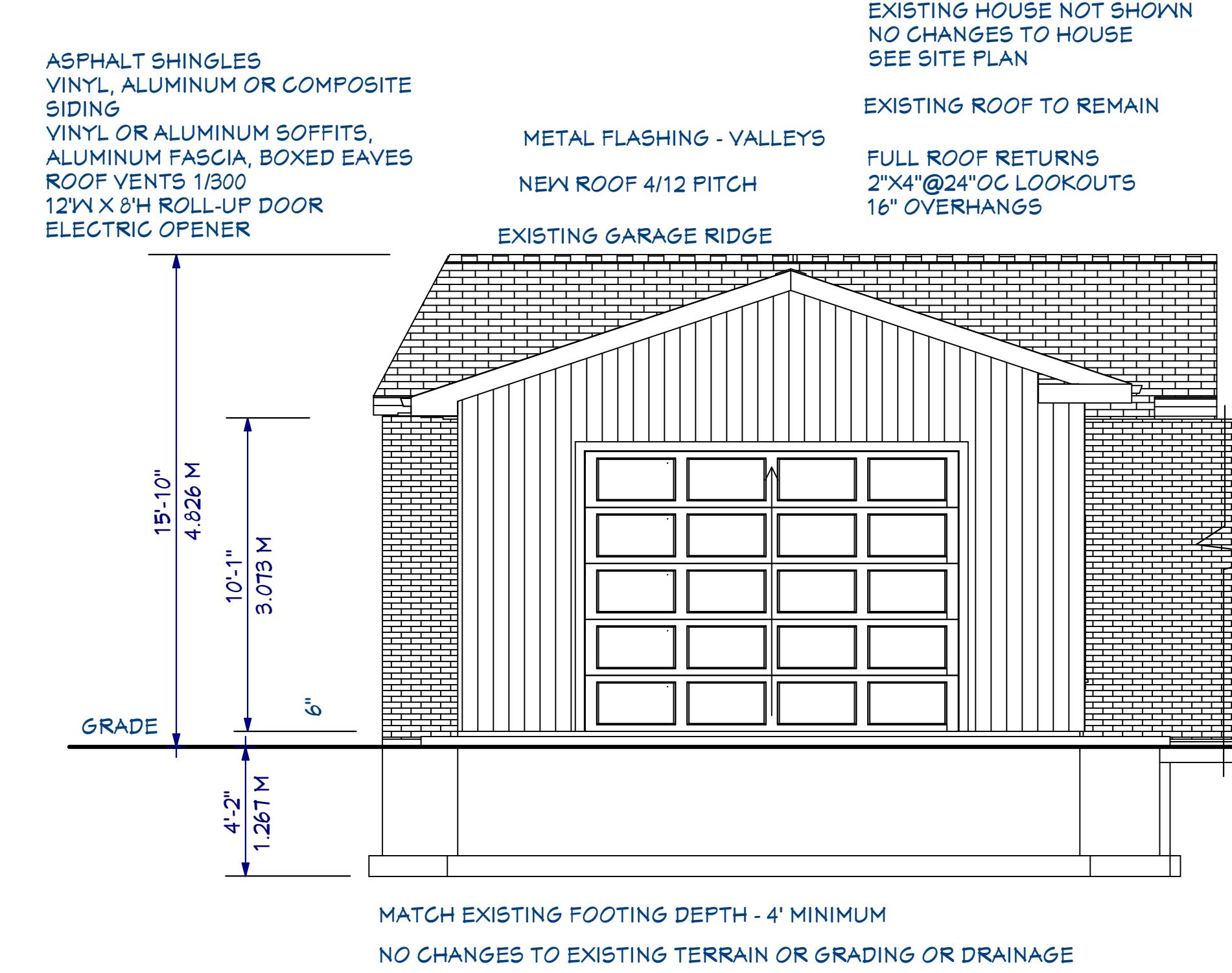
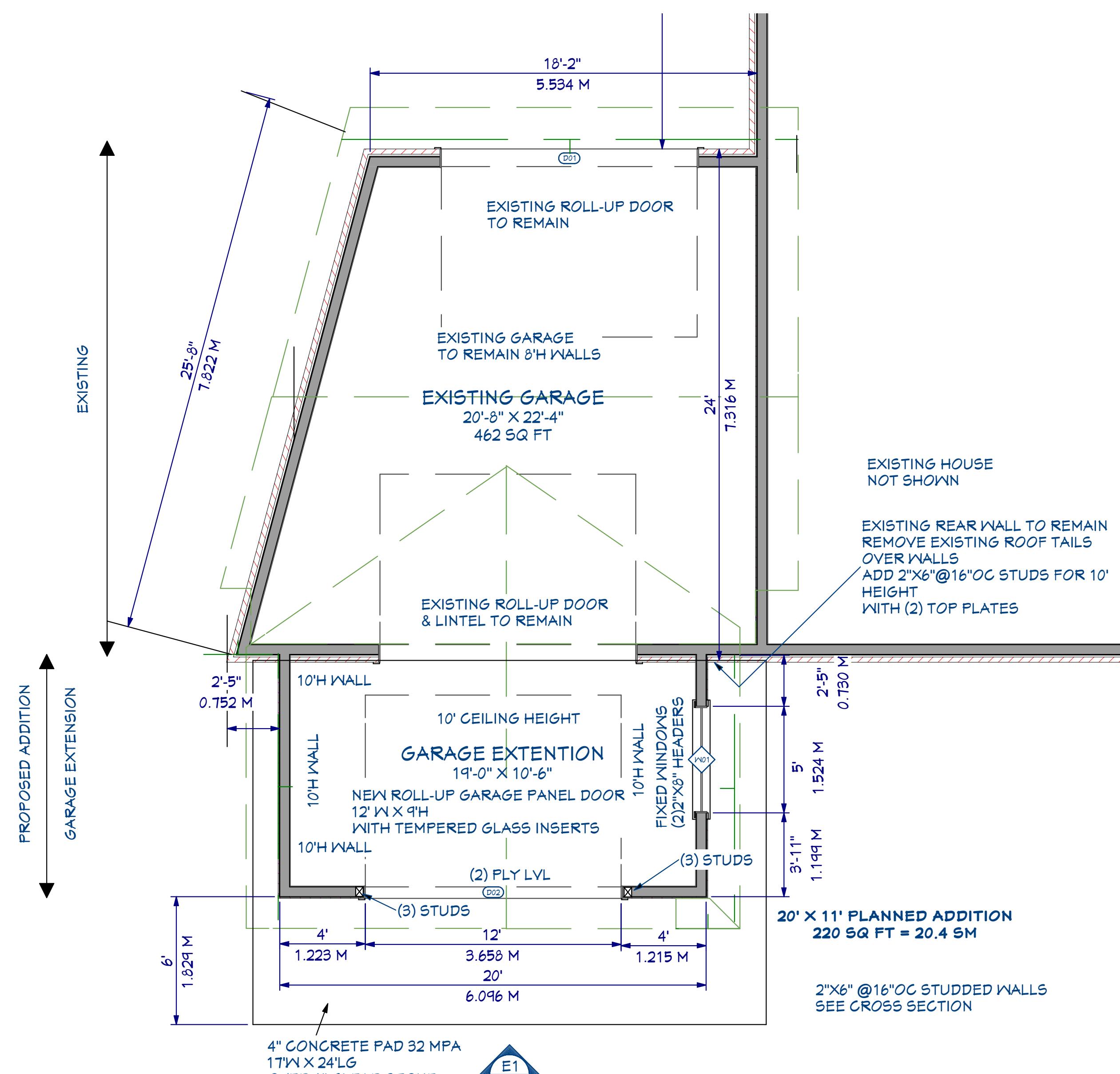
711

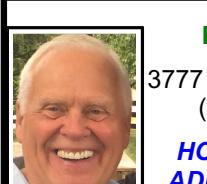
LOT: 1082 SM  
HOUSE: 159 SM  
COVERED BASEMENT STEPS 5.6 SM  
GARAGE: 42 SM  
GARAGE: 45 SM  
ADDITION: 21 SM  
TOTAL COVERAGE: 270 SM = 25%  
TOTAL ACCESSORY: 108 SM = 10%

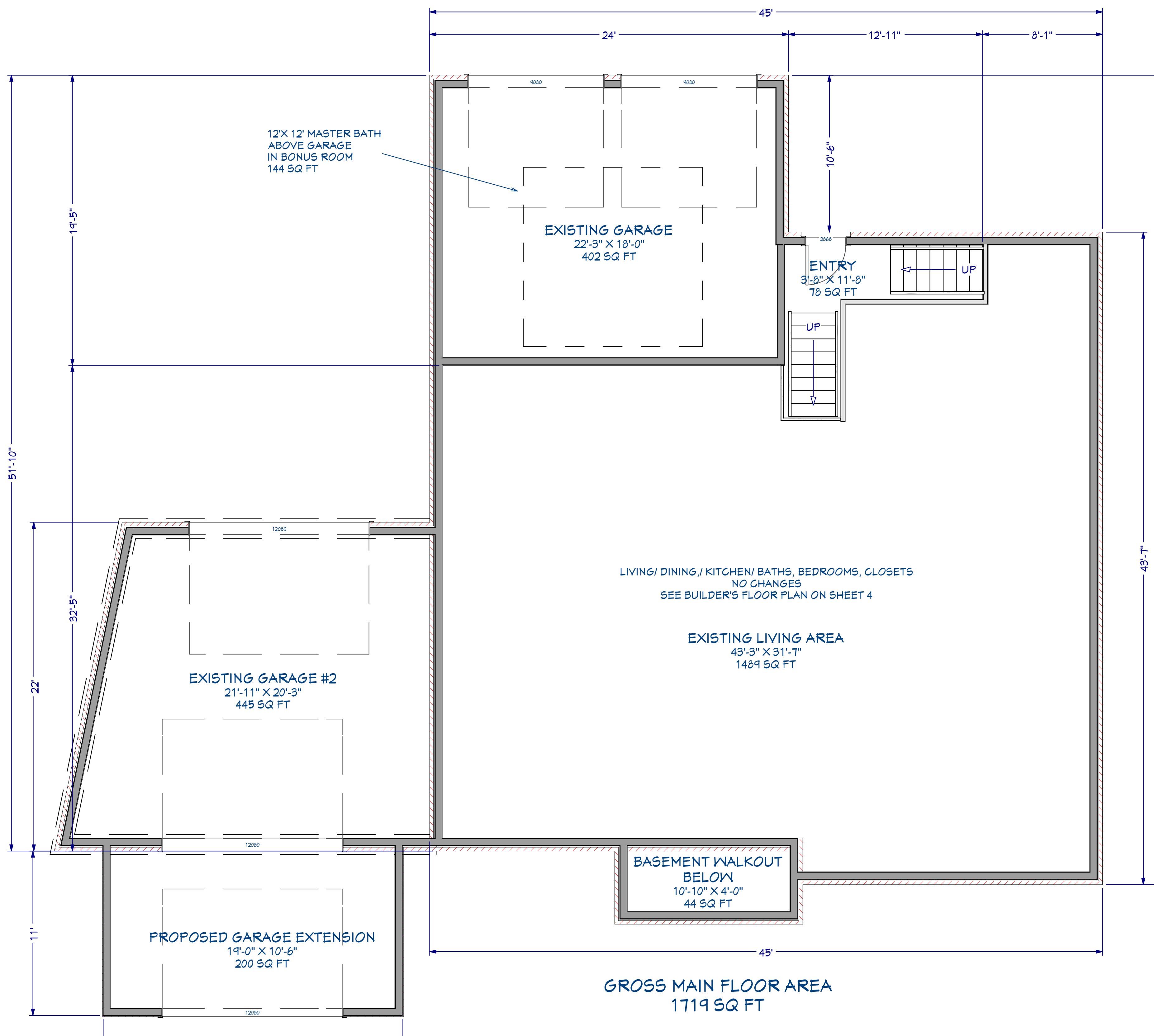
GROSS AREA :  
HOUSE MAIN FL: 159 SM  
GARAGE BONUS RM: 13.3 SM  
COVERED BASEMENT STEPS 3.3 SM  
HOUSE BASEMENT: 159 SM  
GARAGE: 42 SM  
GARAGE: 45 SM  
GARAGE EXTENSION: 21 SM  
TOTAL GROSS AREA: 443 SM  
400 SM ALLOWED  
MINOR VARIANCE REQUIRED  
TO ALLOW 435 SM GROSS AREA

FIELD MEASUREMENTS  
IF MORE ACCURACY IS REQUIRED  
THEN OBTAIN A LEGAL SURVEY





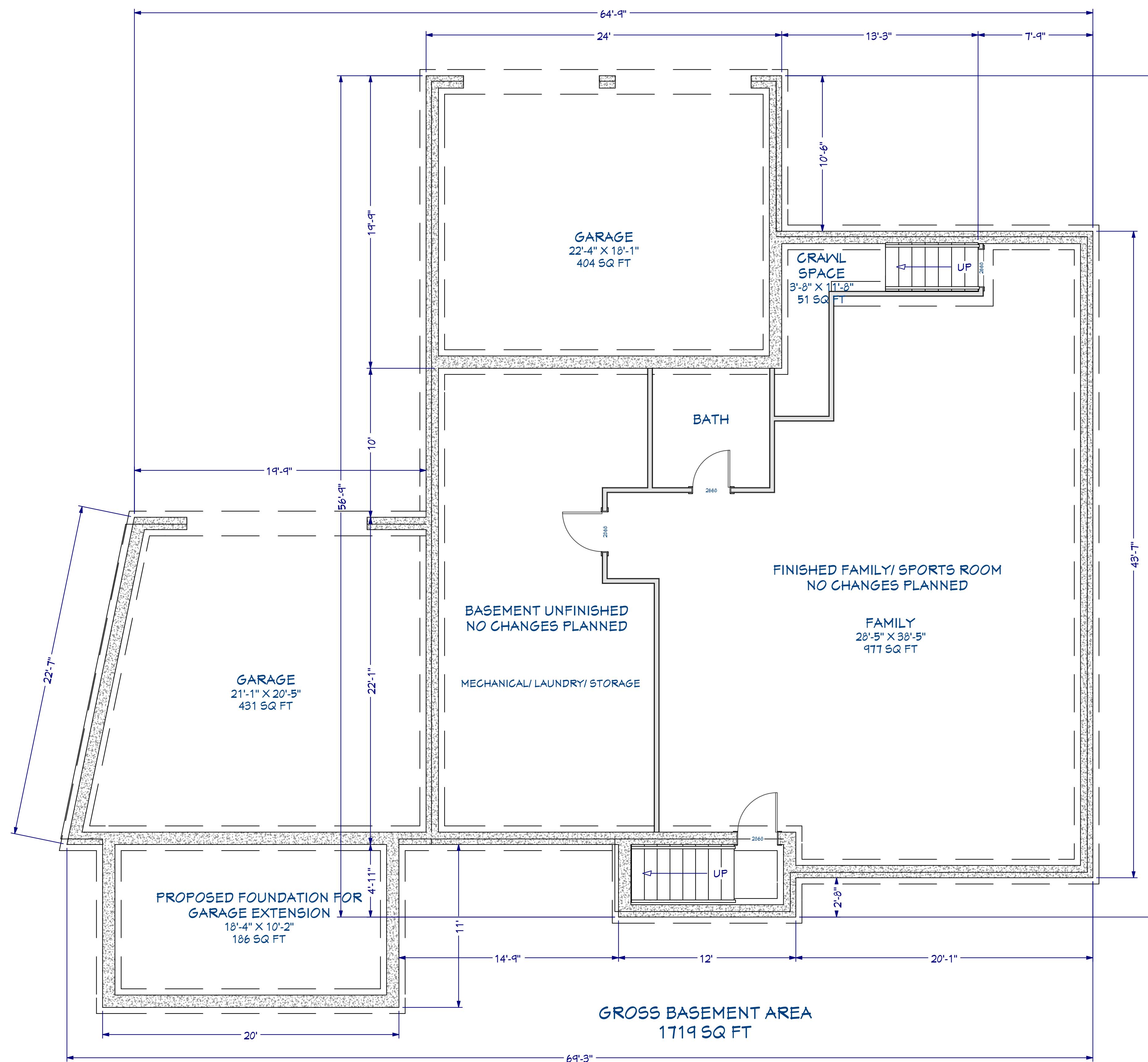
 <p>PAUL PETERSON BCIN DESIGNER 3777 Riverside Drive E, Windsor, Ontario N8Y4W6 (226) 344-5772 www.BCINdesigner.com HOUSES, HOMES, GARAGES, ADDITIONS, ADDS, CUSTOM ARCHITECTURAL DESIGN over 20 years experience!</p>	
07	
06	
05	
04	
03 E	*EXIST. COVERED STEPS ADDED TO SITE PLAN 25/12/11 GROSS AREA RECALCULATED
02 D	FLOOR PLANS SHOWN 25/11/25
01 C	SITE PLAN NOW SHOWING ALL BUILDINGS 25/11/17
NO. LETTER	REVISION LEVEL: DATE YMD
PROPERTY OWNER: BRANKO CMARADA 4653 JENKELA CRT, WINDSOR N9G 3C4 519-990-3393 bcmarada@gmail.com	
GENERAL CONTRACTOR: PROJECT DESCRIPTION: ADDITION - GARAGE EXTENSION TO A SINGLE DETACHED HOME FOR USE AS A GARDEN SHED BUILDING SITE: 4653 JENKELA CRT, WINDSOR N9G 3C4	
DRAWING TITLE: <b>MAIN FLOOR PLAN FRONT ELEVATION ROOF PLAN</b>	
NOTE: DO NOT SCALE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CHECK & ENSURE THAT ALL MEASUREMENTS & CONDITIONS ARE VERIFIED ON THE JOB SITE PRIOR TO QUOTING & CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR FOUNDATION, CARPENTRY, HEATING & COOLING, PLUMBING, ELECTRICAL, WINDOWS & DOORS, ROOFING, CABINET, STAIRCASE TRADES & ANY OTHER APPLICABLE TRADE PRIOR TO CONSTRUCTION. ANY TRADES, CONDITIONS, OR ADDITIONAL CONDITIONS ARE TO BE REPORTED TO THE GENERAL CONTRACTOR AND DESIGNER PRIOR TO CONSTRUCTION. - ALL DRAWINGS REMAIN THE PROPERTY OF THE HOME OWNER & DESIGNER. COPYRIGHT.	
RELEASED DATE: YMD	25/11/14
REVISION #	E 25/12/11
TARION:	
DESIGNER:	PAUL PETERSON BCIN 22417 paul.peterson.bcin@gmail.com Cell 519-344-5772
FIRM:	PAUL PETERSON BCIN DESIGNER BCIN 12115
FILE NUMBER:	SCALE AS SHOWN ON SHEET PRINT PDF FILE ONTO ARCH'D SIZE PAPER FOR PROPER ILLUSTRATION
555	1 E
A. DETAIL NO.	
B. LOCATION SHEET	
C. DETAILED ON	
SHEET #	REVISION



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

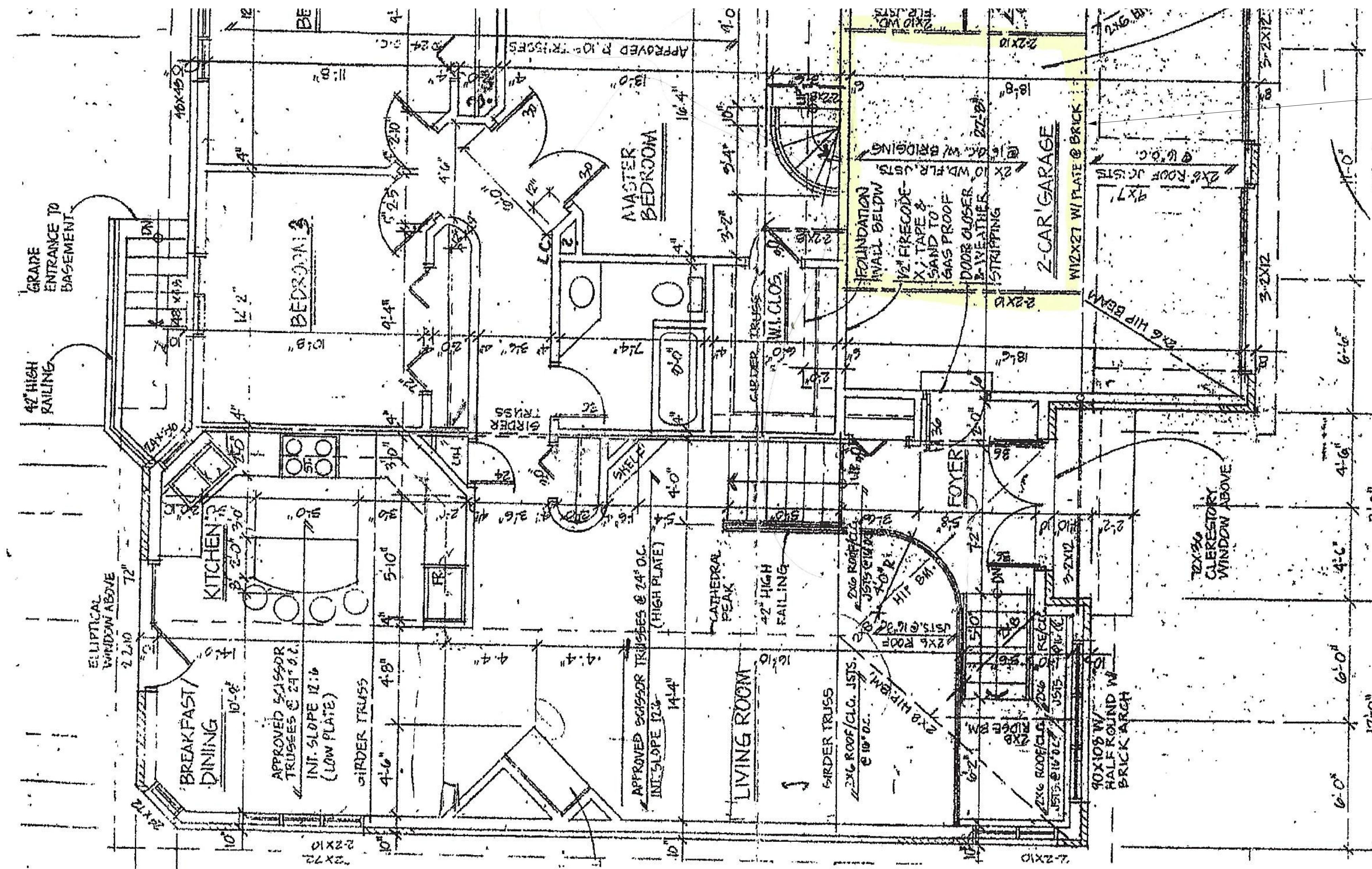
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<p>GENERAL CONTRACTOR:</p>	
<p>PROJECT DESCRIPTION: ADDITION - GARAGE EXTENSION TO A SINGLE DETACHED HOME FOR USE AS A GARDEN SHED</p>	
<p>BUILDING SITE: 4653 JENKELA CRT, WINDSOR N9G 3C4</p>	
<p>DRAWING TITLE:</p>	
<p><b>MAIN FLOOR PLAN</b></p>	
<p>NOTE: DO NOT SCALE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CHECK &amp; ENSURE THAT ALL MEASUREMENTS &amp; DIMENSIONS &amp; CONDITIONS ARE VERIFIED ON THE JOB SITE PRIOR TO QUOTING &amp; CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR FOUNDATION, CARPENTRY, HEATING &amp; COOLING, PLUMBING, ELECTRICAL, WINDOWS &amp; DOORS, ROOFING, CABINET, STAIRCASE TRADES &amp; ANY OTHER APPLICABLE TRADE PRIOR TO CONSTRUCTION. ANY TRADES, CONDITIONS, OR ADDITIONAL CONDITIONS ARE TO BE REPORTED TO THE GENERAL CONTRACTOR AND DESIGNER PRIOR TO CONSTRUCTION. - ALL DRAWINGS REMAIN THE PROPERTY OF THE HOME OWNER &amp; DESIGNER. COPYRIGHT.</p>	
<p>RELEASED DATE: YMD 25/11/104 REVISION # E 25/12/11 TARIQ: DESIGNER: PAUL PETERSON BCIN 22417 paul.peterson.bcin@gmail.com CONTRACTOR: BCIN 12115 FIRM: PAUL PETERSON BCIN DESIGNER</p>	
<p>A. DETAIL NO. A-3 B. LOCATION SHEET B-2 C-5 C. DETAILED ON</p>	
<p>FILE NUMBER: 555 SCALE AS SHOWN ON SHEET PRINT PDF FILE ONTO ARCH'D SIZE PROPER SIZE FOR PROPER ILLUSTRATION SHEET # REVISION 2 E</p>	



**BASEMENT PLAN**

SCALE: 1/4" = 1'-0"

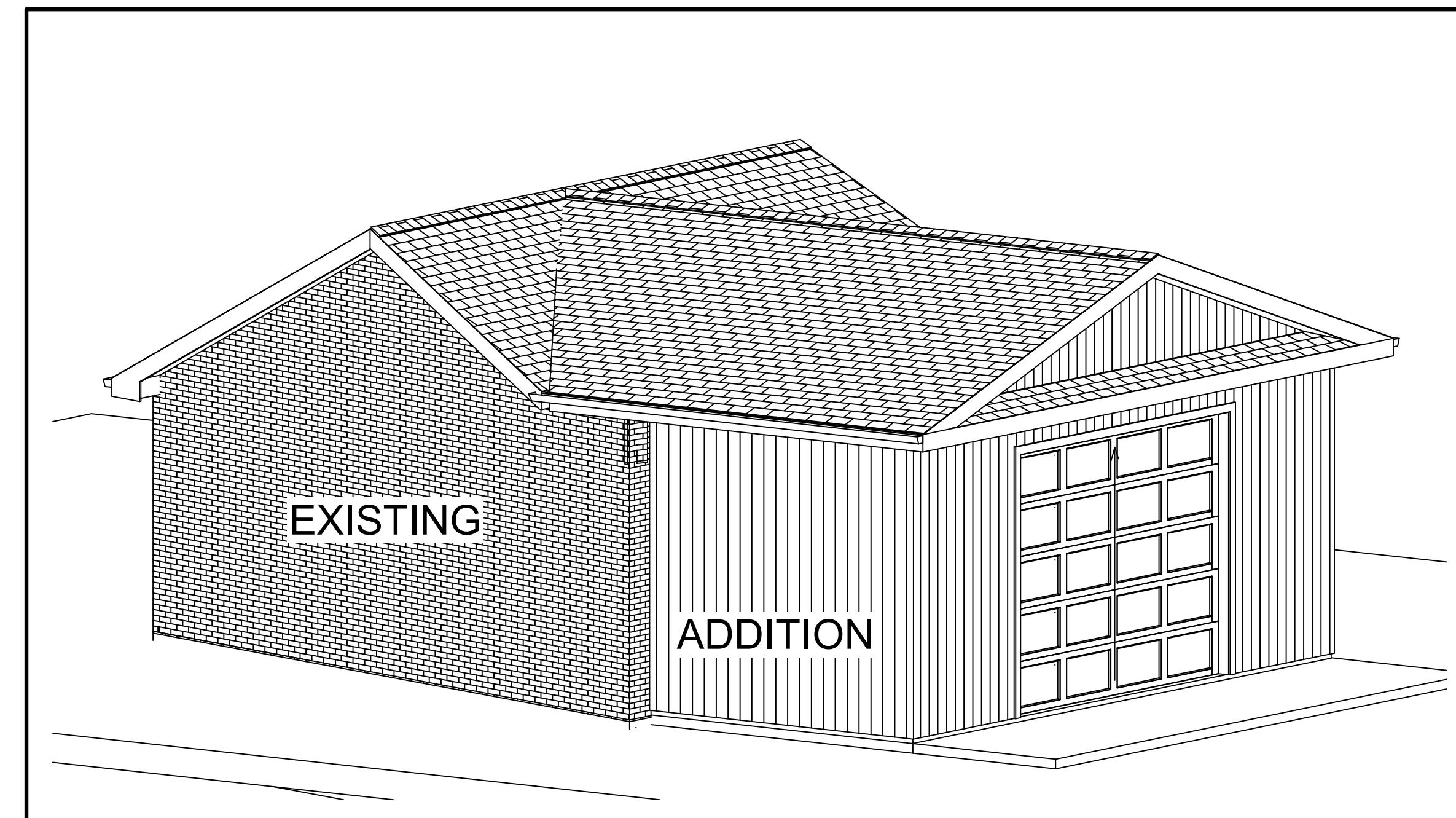
 <p><b>PAUL PETERSON BCIN DESIGNER</b> 3777 Riverside Drive E, Windsor, Ontario N8Y4W6 (226) 344-5772 www.BCINdesigner.com</p> <p><b>HOUSES, HOMES, GARAGES, ADDITIONS, ADUS, CUSTOM ARCHITECTURAL DESIGN</b> over 20 years experience!</p>			
<p>07</p> <p>06</p> <p>05</p> <p>04</p> <p>03 E *EXIST. COVERED STEPS ADDED TO SITE PLAN 25/12/11 GROSS AREA RECALCULATED</p> <p>02 D FLOOR PLANS SHOWN 25/11/25</p> <p>01 C SITE PLAN NOW SHOWING ALL BUILDINGS 25/11/17</p>			
NO.	LETTER	REVISION LEVEL:	DATE YMD
<b>PROPERTY OWNER:</b> BRANKO CMARADA 4653 JENKELA CRT, WINDSOR N9G 3C4 519-990-3393 bcmarada@gmail.com			
<b>GENERAL CONTRACTOR:</b> <b>PROJECT DESCRIPTION:</b> ADDITION - GARAGE EXTENSION TO A SINGLE DETACHED HOME FOR USE AS A GARDEN SHED			
<b>BUILDING SITE:</b> <b>4653 JENKELA CRT, WINDSOR N9G 3C4</b>			
<b>DRAWING TITLE:</b> <b>BASEMENT PLAN</b>			
<b>NOTE:</b> DO NOT SCALE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CHECK & ENSURE THAT ALL MEASUREMENTS & DIMENSIONS & CONDITIONS ARE VERIFIED ON THE JOB SITE PRIOR TO QUOTING & CONSTRUCTION. DRAWINGS ARE FOR THE USE OF FOUNDATION, CARPENTRY, HEATING & COOLING, PLUMBING, ELECTRICAL, WINDOWS & DOORS, ROOFING, CABINET, STAIRCASE TRADES & ANY OTHER APPLICABLE TRADE PRIOR TO CONSTRUCTION. ANY TRADES RELATED TO ADDITIONAL CONSTRUCTION ARE TO BE REPORTED TO THE GENERAL CONTRACTOR AND DESIGNER PRIOR TO CONSTRUCTION. ALL DRAWINGS REMAIN THE PROPERTY OF THE HOME OWNER & DESIGNER. COPYRIGHT.			
RELEASED DATE: YMD	25/11/104		
REVISION #	E	25/12/11	REVISION DATE: YMD
<b>TARIION:</b> DESIGNER: PAUL PETERSON BCIN 22417 paul.peterson.bcin@gmail.com 519-990-3393 BCIN 121115			
FILE NUMBER:	3		
SCALE AS SHOWN ON SHEET PRINT PDF FILE ONTO ARCH'D SIZE PAPER FOR PROPER ILLUSTRATION			
555	3	E	SHEET #
REVISION			



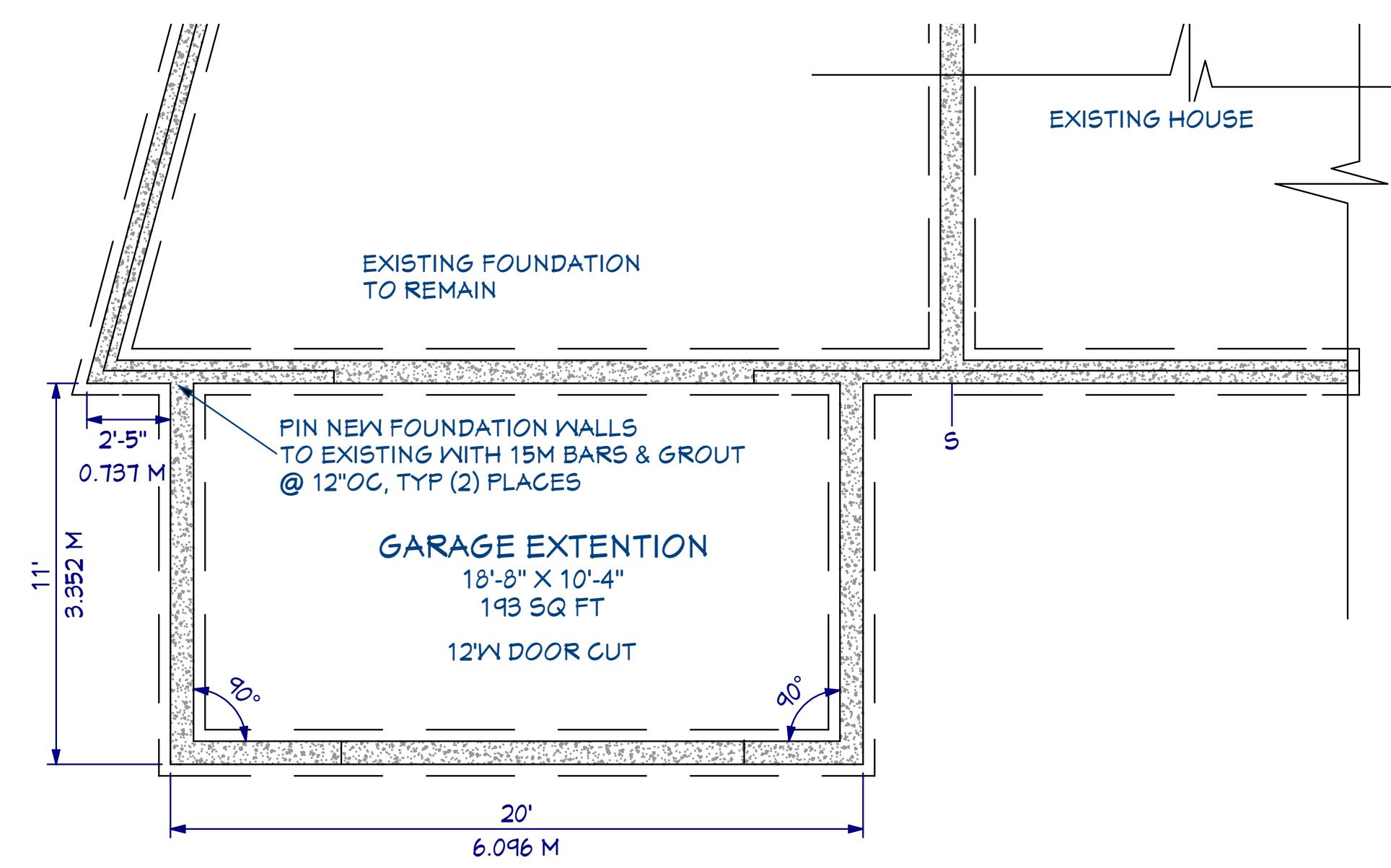
BONUS ROOM OVER GARAGE  
12 FT X 12 FT = 13.4 SM

JOB 555 AS BUILT HOUSE FLOOR PLAN

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GENERAL CONTRACTOR:	
PROJECT DESCRIPTION: ADDITION - GARAGE EXTENSION TO A SINGLE DETACHED HOME FOR USE AS A GARDEN SHED	
BUILDING SITE: 4653 JENKELA CRT, WINDSOR N9G 3C4	
DRAWING TITLE:	
<p><b>MAIN FLOOR PLAN &amp; BONUS ROOM BATHROOM</b></p> <p>NOTE: DO NOT SCALE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CHECK &amp; ENFORCE THAT ALL MEASUREMENTS &amp; DIMENSIONS &amp; CONDITIONS ARE VERIFIED ON THE JOB SITE PRIOR TO QUOTING &amp; CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR FOUNDATION, CARPENTRY, HEATING &amp; COOLING, PLUMBING, ELECTRICAL, WINDOWS &amp; DOORS, ROOFING, CABINET, STAIRCASE TRADES &amp; ANY OTHER APPLICABLE TRADE PRIOR TO CONSTRUCTION. ANY TRADES, CONDITIONS, OR ADDITIONAL CONDITIONS ARE TO BE REPORTED TO THE GENERAL CONTRACTOR AND DESIGNER PRIOR TO CONSTRUCTION. ALL DRAWINGS REMAIN THE PROPERTY OF THE HOME OWNER &amp; DESIGNER. COPYRIGHT.</p>	
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SHEET # REVISION	

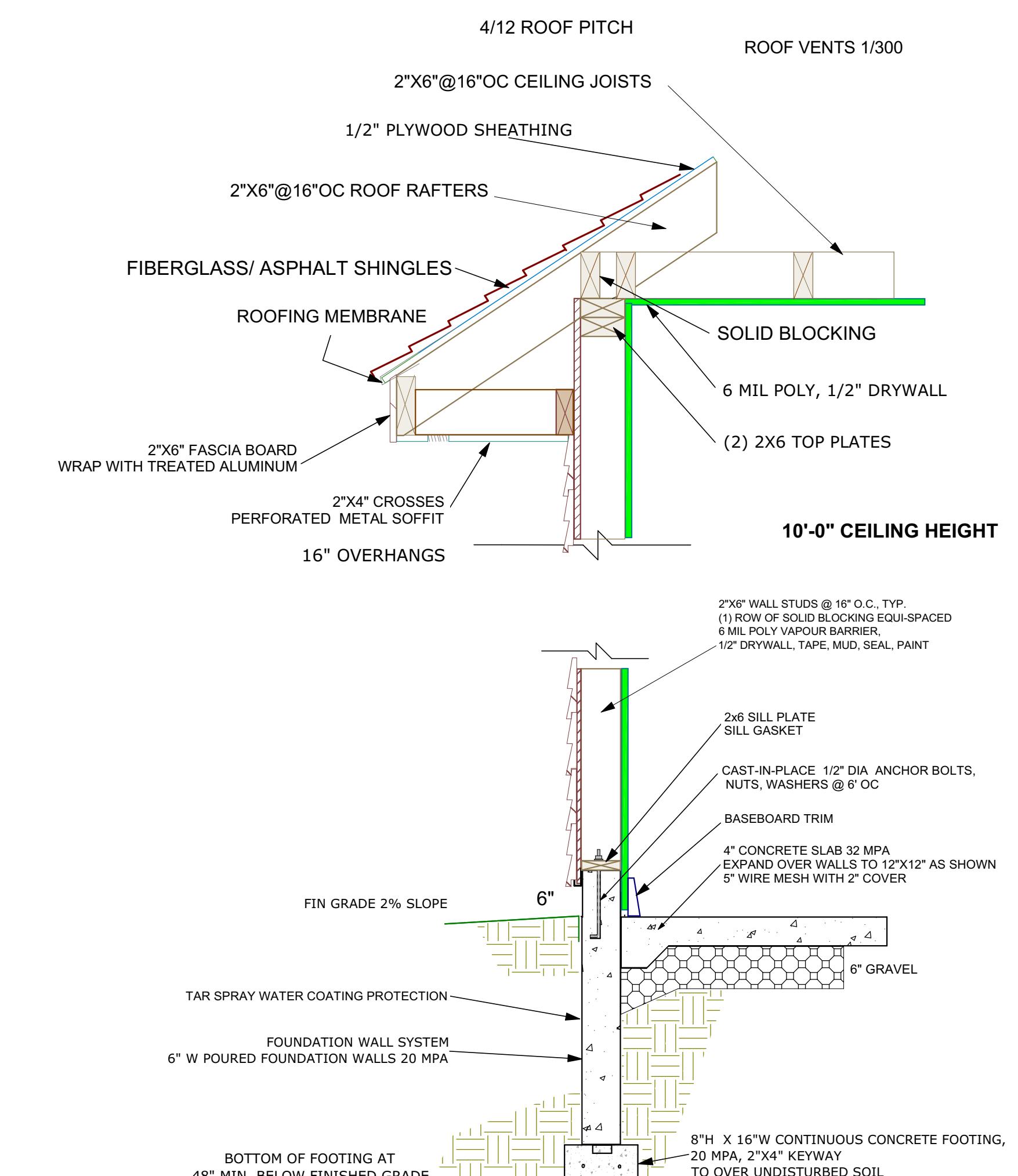


## **3D RENDERING**



# FOUNDATION PLAN GARAGE EXTENSION

SCALE: 1/4" = 1'-0"



## WALL SECTION

SCALE 1/2" = 1'-0"

