

# PUBLIC INFORMATION CENTRE (PIC)

## Proposed Redevelopment for Part of Kinsmen Norman Road Park

Dillon Consulting Limited, on behalf of The Corporation of the City of Windsor, is hosting both in-person and virtual Public Information Centre (PIC) sessions to present a proposed Zoning By-law Amendment for a portion of Kinsmen Norman Road Park.

### PURPOSE OF THE APPLICATION:

- To rezone the southern portion of the subject site from Green District 1.1 (GD1.1) zone to Residential District 1.2 (RD1.2) zone; and
- To create six (6) Single Unit Dwelling lots.

### WHAT TO EXPECT:

During these sessions, guests will be able to:

- Meet the project team (in-person or virtually); and
- Discuss comments and questions relating to the proposed developments.

This meeting forms part of the ongoing Planning process in advance of the statutory public meeting required under the Planning Act to obtain approvals. The City of Windsor will be inviting all residents and landowners within 120m of the subject site about additional meetings in the near future.

### SESSION FORMATS (simultaneous):

- **In-person PIC:** Drop-in format with displays and project team available to discuss; and
- **Virtual PIC:** Drop-in format with project materials available for review along with a live Q&A session.

We are looking forward to your input and comment.



**Thursday June 26<sup>th</sup>, 2025**

**6:00 pm to 7:30pm**

### In Person PIC Venue:

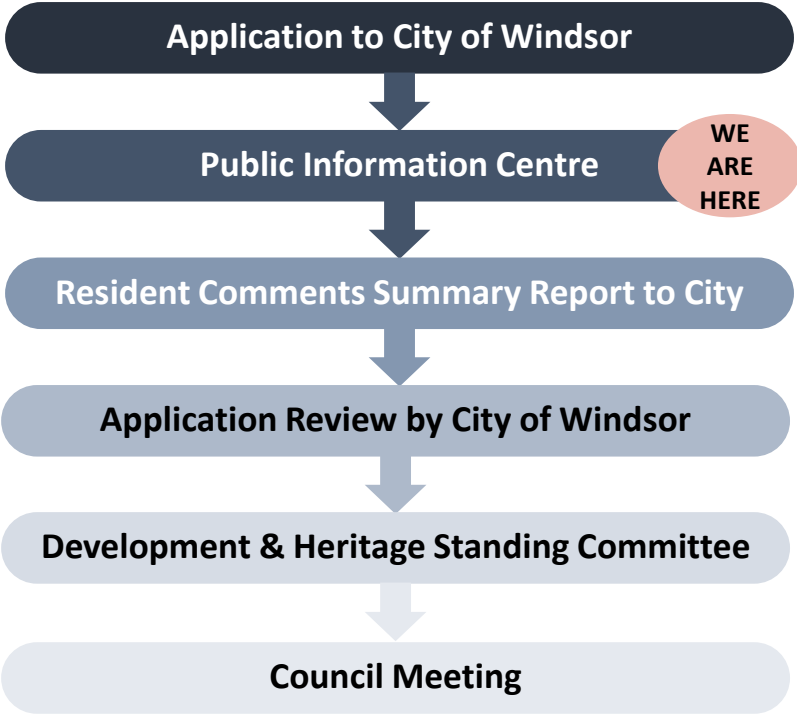
**St. Theresa's Catholic Church**  
(1991 Norman Road, Windsor, ON, N8T 1S1)

### Virtual Pic Registration

Please email your registration request to:  
**[KNRparkdev@dillon.ca](mailto:KNRparkdev@dillon.ca)** by **12:00 PM on June 26<sup>th</sup>, 2025.**  
A meeting link will be sent to you via email upon registration.

Submit written comments via mail or email by **July 11<sup>th</sup>, 2025.**

### THE PLANNING PROCESS:



Please refer to the City of Windsor's Webpage for additional information:  
<https://www.citywindsor.ca/residents/parks-and-forestry/parks-development/park-improvement-open-houses/kinsmen-norman-road-park-redevelopment-open-house>

### Contact

**Amy Farkas, MCIP RPP**  
**Associate & Project Manager**  
**Dillon Consulting Limited**  
1 Riverside Drive, Windsor, N8W 5K8  
T – 519.948.5000 ext. 3205


Project Email: **[KNRparkdev@dillon.ca](mailto:KNRparkdev@dillon.ca)**






**THE CITY OF WINDSOR**  
KINSMEN NORMAN ROAD PARK  
(1730 OLIVE ROAD)


**ZONING BY-LAW AMENDMENT**  
FIGURE 1.0



EXISTING KINSMEN NORMAN ROAD PARK  
(± 9,826m<sup>2</sup>)



PARKLAND (GD1.1)  
(± 7,396.0 sq.m)



SUBJECT SITE(RD1.2)  
(±2,430.0 sq.m)


File Location:  
c:\pw working directory\projects 2025\dillon\_31m\dms31553\25-1503-kinsmen park-concept plan.dwg  
June, 12, 2025 1:53 PM

SOURCE: THE COUNTY OF ESSEX INTERACTIVE MAPPING (2024)

MAP/DRAWING INFORMATION  
THIS DRAWING IS FOR INFORMATION PURPOSES ONLY.  
ALL DIMENSIONS AND BOUNDARY INFORMATION SHOULD  
BE VERIFIED BY AN O.L.S PRIOR TO CONSTRUCTION.

CREATED BY: ESB  
CHECKED BY: RR  
DESIGNED BY: ESB

SCALE: 1:750 (11x17)

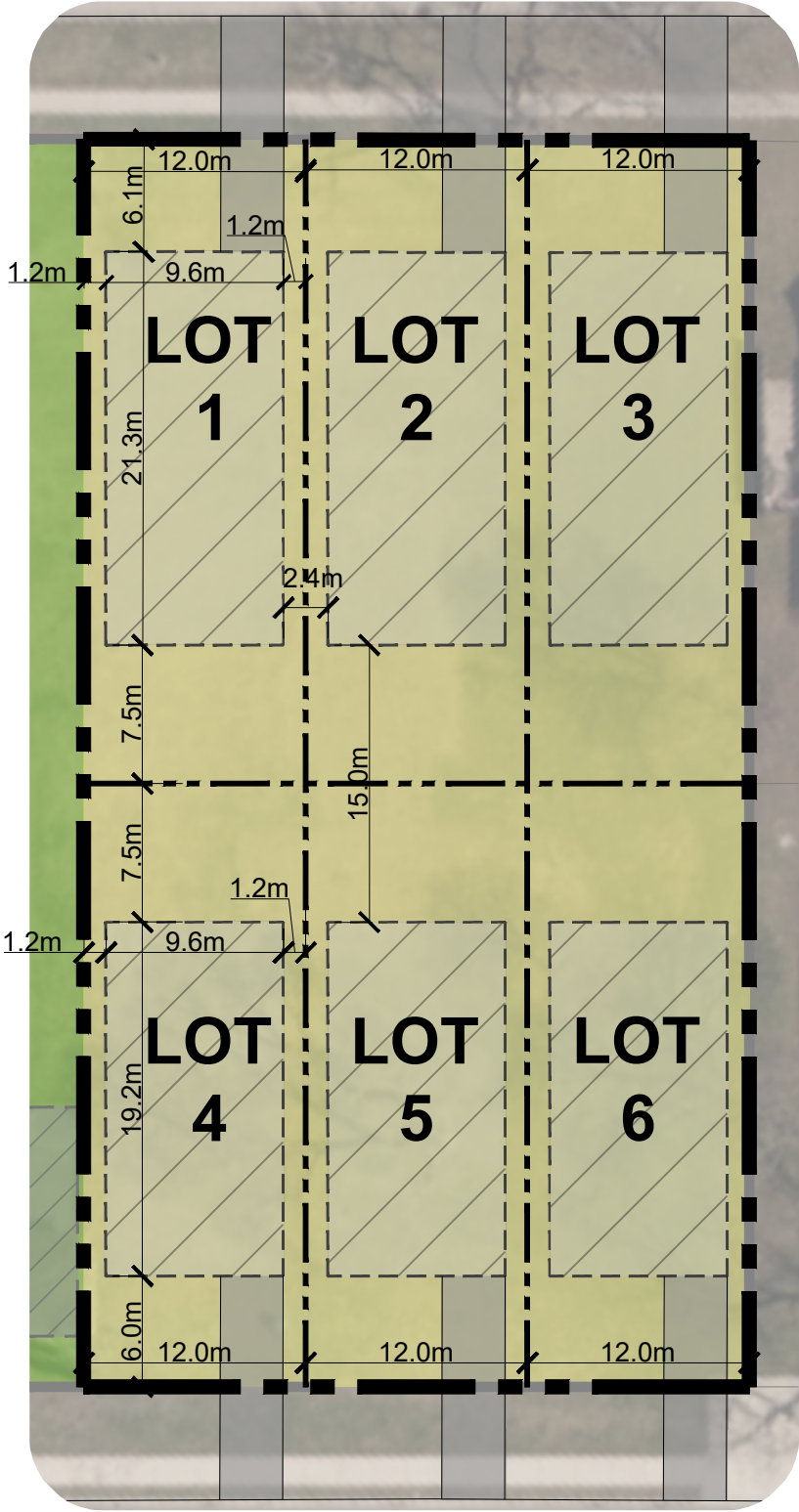


**COUNTERPOINT**  
LAND DEVELOPMENT BY

**DILLON**  
CONSULTING

PROJECT: 25-1503  
STATUS: DRAFT  
DATE: 06/12/2025





SITE DATA MATRIX	
RESIDENTIAL DISTRICT 1.2 (RD1.2) PROVISIONS	
SUBJECT SITE AREA	2,430.0 sq.m
LOT WIDTH	12.0 m
MIN. LOT AREA	360.0 sq.m
MAX. LOT COVERAGE	45.00%
MAX. BUILDING HEIGHT	9.0 m
MIN. FRONT YARD DEPTH	6.0 m
MIN. REAR YARD DEPTH	7.5 m
MIN. SIDE YARD DEPTH	1.2 m
MAX. GROSS FLOOR AREA	400.0 sq.m
LOTS 1-3	
LOT DEPTH	34.8m
LOT WIDTH	12.0m
LOT AREA	417.0sq.m
MAX. LOT COVERAGE	45%/ 187.7sq.m
LOTS 4-6	
LOT DEPTH	32.7m
LOT WIDTH	12.0m
LOT AREA	392.0sq.m
MAX. LOT COVERAGE	45%/ 176.4sq.m

**THE CITY OF WINDSOR**  
KINSMEN NORMAN ROAD PARK  
(1730 OLIVE ROAD)

**CONCEPT PLAN**  
FIGURE 2.0

EXISTING KINSMEN NORMAN ROAD PARK  
(±9,826m<sup>2</sup>)

PARKLAND (GD1.1)  
(±7,396.0 sq.m)

EXISTING RECREATION BUILDING TO BE DEMOLISHED

SUBJECT SITE (RD1.2)  
(±2,430.0 sq.m)

PROPOSED SINGLE DETACHED DWELLING LOTS (6)

BUILDING SETBACKS

MAX. DEVELOPEABLE AREA

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