

City Council Meeting Agenda

Date: Monday, October 28, 2024

Time: 10:00 o'clock a.m.

Location: Council Chambers, 1st Floor, Windsor City Hall

All members will have the option of participating in person in Council Chambers or electronically and will be counted towards quorum in accordance with Procedure Bylaw 98-2011 as amended, which allows for electronic meetings. The minutes will reflect this accordingly. Any delegations have the option to participate in person or electronically.

MEMBERS:

Mayor Drew Dilkens

Ward 1 – Councillor Fred Francis

Ward 2 - Councillor Fabio Costante

Ward 3 - Councillor Renaldo Agostino

Ward 4 - Councillor Mark McKenzie

Ward 5 - Councillor Ed Sleiman

Ward 6 - Councillor Jo-Anne Gignac

Ward 7 - Councillor Angelo Marignani

Ward 8 - Councillor Gary Kaschak

Ward 9 - Councillor Kieran McKenzie

Ward 10 - Councillor Jim Morrison

ORDER OF BUSINESS

Item # Item Description
1. ORDER OF BUSINESS

2. CALL TO ORDER - Playing of the National Anthem

READING OF LAND ACKNOWLEDGEMENT

We [] would like to begin by acknowledging that the land on which we gather is the traditional territory of the Three Fires Confederacy of First Nations, which includes the Ojibwa, the Odawa, and the Potawatomi. The City of Windsor honours all First Nations, Inuit and Métis peoples and their valuable past and present contributions to this land.

3. DISCLOSURE OF PECUNIARY INTEREST AND THE GENERAL NATURE THEREOF

4. ADOPTION OF THE MINUTES

5. NOTICE OF PROCLAMATIONS

Proclamations

“Child Care Worker and Early Childhood Educator Appreciation Day” – October 24, 2024

“Dress Purple Day” – October 25, 2024

Flag Raising Ceremony

“Hungarian Heritage Month” – October 23, 2024

“Lebanese Heritage Month” – November 8, 2024

Illumination

“Hungarian Heritage Month” – October 23 – 30, 2024

“Annual Shine the Light Campaign” – November 1 – 7, 2024

“Remembrance Day” – November 8 – 12, 2024

6. COMMITTEE OF THE WHOLE

7. COMMUNICATIONS INFORMATION PACKAGE (This includes both Correspondence and Communication Reports)

- 7.1. Correspondence 7.1.1 through 7.1.7 **(CMC 14/2024)**
- 7.2. Windsor Canada Utilities Ltd. 2nd Quarter 2024 Financial Statements - City Wide **(C 125/2024)**
- 7.3. Housing Enabling Core Servicing and Water Systems Funding Update – Citywide **(C 129/2024)**
- 7.4. Engineering/Architectural Consultants Engaged via Roster – January 1 2024 to June 30, 2024 "City Wide" **(CM 10/2024)**
- 7.5. IT Deliverable Providers Engaged via Roster – January 1 2024 to June 30, 2024 "City Wide" **(CM 11/2024)**

8. CONSENT AGENDA

- 8.1. Confirm & Ratify Report--Road Rehabilitation Project Addition, Chrysler Centre – Ward 5 **(C 131/2024) & (C 118/2024)**
- 8.2. Confirm & Ratify Report-Lauzon Parkway Reconstruction - Noise Bylaw Exemption - Ward 8 **(C 132/2024) & (C 127/2024)**
- 8.3. RFP No.70-24, Little River Pollution Control Plant (LRPCP) Bio-solids Odour Control System - Award - City Wide **(C 93/2024)**
Clerk's Note: Appendix A available at www.citywindsor.ca due to size
- 8.4. 2024/2025 Municipally Significant Event Status - Ward 6 **(C 124/2024)**

CONSENT COMMITTEE REPORTS

- 8.5. Response to CQ 13-2024, CQ 16-2024 and CQ 30-2024 - Pickleball & Squash Courts within the City - City Wide **(SCM 267/2024) & (S 108/2024)**
- 8.6. Minutes of the Environment & Climate Change Advisory Committee of its meeting held July 30, 2024 **(SCM 293/2024) & (SCM 256/2024)**
- 8.7. Minutes of the Windsor Licensing Commission of its meeting held August 28, 2024 **(SCM 294/2024) & (SCM 260/2024)**
- 8.8. Report No. 157 of the Windsor Licensing Commission - Request to eliminate age limits for wheelchair accessible taxicabs **(SCM 295/2024) & (SCM 259/2024)**

- 8.9. Fire Master Plan **(SCM 297/2024) & (C 112/2024)**
- 8.10. Update to Windsor/Essex Region Stormwater Manual & Response to CR195/2022 Flood Risk Monitoring and Mitigation Measures and Programs - City Wide **(SCM 298/2024) & (S 114/2024)**
- 8.11. Matchett Road and Malden Road Ecopassage Review Study **(SCM 299/2024) & (S 115/2024)**
- 8.12. Minutes of the Community Public Art Working Group of its meeting held July 24, 2024 **(SCM 300/2024) & (SCM 254/2024)**
- 8.13. Response to CQ 19-2024 - Reaching Home Funding & Warming Bus - City Wide **(SCM 301/2024) & (S 127/2024)**
- 8.14. Response to CQ 34-2024 – The Naming/Dedicating of Storm Water Ponds near Little River Corridor in Recognition of Teachers and Mentors – Ward 7 **(SCM 302/2024) & (S 128/2024)**
- 8.15. Zoning By-law Amendment Application for 4461 Wyandotte Street East, Z-023/24 [ZNG-7221], Ward 5 **(SCM 305/2024) & (S 113/2024)**
- 8.16. Zoning By-Law Amendment Z001-24 (ZNG/7164) - Alta Nota Construction – 0 Windsor Ave & 1140 Goyeau St, Ward 3 **(SCM 306/2024) & (S 131/2024)**
- 8.17. Economic Revitalization Community Improvement Plan (CIP) application submitted by Agri-Box Inc. for 3324 Marentette Avenue (Ward 9) **(SCM 307/2024) & (S 124/2024)**
- 8.18. Amendment to Sign By-law 250-04 for 9250 Tecumseh Rd E, File No. SGN-002/24 (BILLBOARD) - Ward #7 **(SCM 308/2024) & (S 111/2024)**
- 8.19. Brownfield Redevelopment Community Improvement Plan (CIP) application submitted by Farhi Holdings Corporation for 0 Riverside Drive West at Janette Avenue (Ward 3) **(SCM 309/2024) & (S 123/2024)**
- 8.20. Amendment to CR58/2021, as amended by CR285/2023 for Closure of east/west alley located between Matthew Brady Boulevard and east limit of 7730 St. Rose Avenue, Ward 6, SAA-5947 **(SCM 310/2024) & (S 117/2024)**
- 8.21. Amendment to CR419/2023 for Closure of east/west alley between Dieppe Street and Genevieve Avenue, Ward 6, SAA-6844 **(SCM 311/2024) & (S 118/2024)**
- 8.22. Amendment to CR437/2023 for Closure of north/south alley located between Taylor Avenue and 1124-1224 Campbell Avenue, Ward 2, SAA-6848 **(SCM 312/2024) & (S 119/2024)**
- 8.23. Amendment to CR26/2024 for Conveyance of north/south alley located between Closed Manitoba Street right-of-way and 1954 Huron Church Road, Ward 10, Closed by Judge's Order No. 2970/87 **(SCM 313/2024) & (S 120/2024)**

- 8.24. Amendment to CR372/2023 for Closure of north/south alley located between Algonquin Street and 1429 Randolph Avenue, Ward 10, SAA-7025 (**SCM 314/2024**) & (**S 132/2024**)
- 8.25. Closure of east/west alley located between Alexis Road and Chandler Road, Ward 5, SAA-7197 (**SCM 315/2024**) & (**S 121/2024**)
- 8.26. Brownfield Redevelopment Community Improvement Plan (CIP) application submitted by Rykka Care Centres LP for 0 Hanna St (Ward 3) (**SCM 316/2024**) & (**S 129/2024**)

9. REQUEST FOR DEFERRALS, REFERRALS AND/OR WITHDRAWALS

10. PRESENTATIONS AND DELEGATIONS

11. REGULAR BUSINESS ITEMS (Non-Consent Items)

- 11.1. Connecting Links Program Intake 2025-2026 Grant Funding - Huron Church Road - City Wide (**C 122/2024**)
- 11.2. Update regarding the Divestment of the East Riverside Shorewall; Supplementing Report C77/2023 and C149/2023 - Ward 7 (**C 123/2024**)
- 11.3. 2025 Sewer Surcharge Report - City Wide (**C 130/2024**)

12. CONSIDERATION OF COMMITTEE REPORTS

- 12.1. (i) Report of the Special In-Camera meeting or other Committee as may be held prior to Council (if scheduled)

13. BY-LAWS (First and Second Reading)

- 13.1. **By-law 153-2024** - A BY-LAW TO AMEND BY-LAW NUMBER 15-2010 BEING A BY-LAW TO APPOINT CHIEF BUILDING OFFICIAL, DEPUTY CHIEF BUILDING OFFICIALS AND INSPECTORS TO ENFORCE THE BUILDING CODE ACT AND REGULATIONS IN WINDSOR, authorized by by-law 98/2011 Section 27.1 (l)(i), dated June 7, 2011.

- 13.2. **By-law 154-2024** - A BY-LAW TO FURTHER AMEND BY-LAW 188-2000, BEING A BY-LAW TO APPOINT PROVINCIAL OFFENCES OFFICERS FOR THE CORPORATION OF THE CITY OF WINDSOR, authorized by by-law 98/2011 Section 27.1 (l)(i), dated June 7, 2011.
- 13.3. **By-law 155-2024** - A BY-LAW TO FURTHER AMEND BY-LAW NUMBER 8600 CITED AS THE "CITY OF WINDSOR ZONING BY-LAW", authorized by CR369/2024, dated September 9, 2024.
- 13.4. **By-law 156-2024** - A BY-LAW TO ADOPT AMENDMENT NO. 185 TO THE OFFICIAL PLAN OF THE CITY OF WINDSOR, authorized by CR423/2024, dated September 23, 2024.
- 13.5. **By-law 157-2024** - A BY-LAW TO FURTHER AMEND BY-LAW NUMBER 8600 CITED AS THE "CITY OF WINDSOR ZONING BY-LAW", authorized by CR423/2024, dated September 23, 2024.
- 13.6. **By-law 158-2024** - A BY-LAW TO FURTHER AMEND BY-LAW NUMBER 8600 CITED AS THE "CITY OF WINDSOR ZONING BY-LAW", authorized by CR398/2024, dated September 23, 2024.
- 13.7. **By-law 159-2024** - A BY-LAW TO DESIGNATE THE LANDS AND PREMISES SITUATE WITHIN THE CITY OF WINDSOR, MUNICIPALLY KNOWN AS 1958-1998 WYANDOTTE STREET EAST, TO BE OF CULTURAL HERITAGE VALUE OR INTEREST UNDER THE PROVISIONS OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O.18, AS AMENDED, authorized by CR232/2024, dated May 27, 2024.
- 13.8. **By-law 160-2024** - A BY-LAW TO CONFIRM PROCEEDINGS OF THE COUNCIL OF THE CORPORATION OF THE CITY OF WINDSOR AT ITS MEETING HELD ON THE 28TH DAY OF OCTOBER, 2024.

14. MOVE BACK INTO FORMAL SESSION

15. NOTICES OF MOTION

16. THIRD AND FINAL READING OF THE BY-LAWS

By-laws 153-2024 through 160-2024 inclusive.

17. PETITIONS

18. QUESTION PERIOD

- 18.1. Summary of Outstanding Council Questions as of October 16, 2024 (**SCM 317/2024**)
- 18.2. Outstanding Council Directives as of October 16, 2024 (**SCM 318/2024**)

19. STATEMENTS BY MEMBERS

20. UPCOMING MEETINGS

Environment & Climate Change Advisory Committee
Tuesday, October 22, 2024
5:00 p.m., via Zoom

Property Standards Committee
Thursday, October 24, 2024
10:00 a.m., Room 140, 350 City Hall Square West

Environment, Transportation & Public Safety Standing Committee
Wednesday, October 30, 2024
4:30 p.m., Council Chambers

Environment, Transportation & Public Safety Standing Committee
Sitting as the Transit Windsor Board of Directors
Wednesday, October 30, 2024
Immediately following the Environment, Transportation & Public Safety Standing
Committee meeting
4:30 p.m., Council Chambers

Development & Heritage Standing Committee
Monday, November 4, 2024
4:30 p.m., Council Chambers

Community Services Standing Committee
Wednesday, November 6, 2024
9:00 a.m., Council Chambers

City Council Meeting
Tuesday, November 12, 2024
10:00 a.m., Council Chambers

21. ADJOURNMENT



Correspondence Report: CMC 14/2024

ATTACHMENTS

Subject: Correspondence for Monday, October 28, 2024 City Council Meeting

No.	Sender	Subject
7.1.1	Town of Tecumseh	<p>Notice of Public Meeting for Proposed Zoning By-law Amendment regarding a parcel of land located south of County Road 22, east of Lesperance Road, within the Manning Road Secondary Plan Area</p> <p style="text-align: right;">City Solicitor City Planner Chief Building Official Commissioner, Community & Corporate Services Commissioner, Economic Development GM2024 Note & File</p>
7.1.2	City Planner	<p>Application for Zoning By-law Amendment, Anthony Palermo, 5172 Joy Road, to permit an accessory building with increased maximum height.</p> <p style="text-align: right;">Z/14861 Note & File</p>
7.1.3	City Planner	<p>Application for Official Plan Amendment and Zoning By-Law Amendment, 1722912 Ontario Ltd.- HD Development Group, 4088-4096 Sixth Concession Road. 1. To permit a multiple dwelling with a building height of 11.21m as additional permitted use. 2. To permit a multiple dwelling with 21 units as an additional permitted use and reductions in required parking and landscaped open space yard.</p> <p style="text-align: right;">Z/14862 & Z/14863 Note & File</p>

7.1.4	City Planner	<p>Application for Zoning By-law Amendment, Hausology Inc., 926-928 Giles Boulevard, to permit a multiple dwelling with six units.</p> <p style="text-align: right;">Z/14864 Note & File</p>
7.1.5	City Planner	<p>Application for Zoning By-law Amendment, Dardevco Inc., 0 North Service Road, to permit self-storage units.</p> <p style="text-align: right;">Z/14865 Note & File</p>
7.1.6	City Planner	<p>Application for Zoning By-law Amendment, Marko Agbaba, 180 California Avenue, to permit a semi-detached dwelling with a reduction in the minimum lot width and rear yard setback, and an increase in maximum lot coverage and maximum gross floor area.</p> <p style="text-align: right;">Z/14866 Note & File</p>
7.1.7	Committee of Adjustment	<p>Applications to be heard by the Committee of Adjustment/Consent Authority on Thursday, October 31, 2024.</p> <p style="text-align: right;">Z2024 Note & File</p>

TOWN OF TECUMSEH NOTICE OF PUBLIC MEETING PROPOSED ZONING BY-LAW AMENDMENT

TAKE NOTICE that the Council of the Corporation of the Town of Tecumseh will hold a public meeting **Tuesday, October 8, 2024 at 5:30 p.m.** in the Town Municipal Office Council Chambers at 917 Lesperance Road to consider a proposed amendment to Zoning By-law 85-18, pursuant to the provisions of the *Planning Act, R.S.O. 1990*. Please see below for information on how to provide comments or participate in the public meeting.

A Zoning By-law amendment application (*Application/File: D19 PETMRSPA*) has been submitted for an approximate 9.5 hectare (23.5 acre) portion of a 10.2 hectare (25.4 acre) parcel of land located on south of County Road 22, east of Lesperance Road, within the Manning Road Secondary Plan Area (see Key Map on reverse side for location). The purpose of the proposed amendment is to rezone this land from "Agricultural Zone (A-33)" to a site-specific "Holding - Residential Zone 2 (H) R2-7" to permit the future construction of a 332-unit residential development consisting of two 4-6 storey residential dwellings, each containing 166 units, with associated parking and indoor/outdoor amenity areas. The proposed rezoning will also establish site-specific lot, building, yard and parking provisions. The lands subject to this application are designated "Residential" in the Official Plan. The Holding (H) symbol establishes that no development can proceed until a site plan control agreement is entered into with the Town, after which the Holding (H) symbol may be formally removed by Council by-law in accordance with the *Planning Act*.

ANY PERSON may attend the public meeting and/or make written or verbal representation either in support of or in opposition to the proposed Zoning By-law amendment.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the Town of Tecumseh to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Corporation of the Town of Tecumseh before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Corporation of the Town of Tecumseh before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Ontario Land Tribunal, there are reasonable grounds to do so.

How to Provide Comments or Participate the Public Meeting

Public Meetings are being held at the Town Municipal Office Council Chambers and live-streamed on the Town's website. Any person who wishes to **make oral submissions** at the Public Meeting **must register as a delegate**. To register as a delegate, persons may use the online registration form on the Town's website at www.tecumseh.ca/delegations or by providing their contact information (name, address, email and phone number) to the Town Clerk **by 12:00 p.m. (noon) on Tuesday, October 8, 2024**. Registered delegates will receive the necessary details to speak at the public meeting. By registering as a delegate, persons are consenting to their image, voice and comments being recorded and available for public viewing on the Town's website. **Written submissions** may be submitted to the Clerk **by 12:00 p.m. (noon) on Thursday, October 3, 2024**.

CITY OF WINDSOR
COUNCIL SERVICES

SEP 19 2024

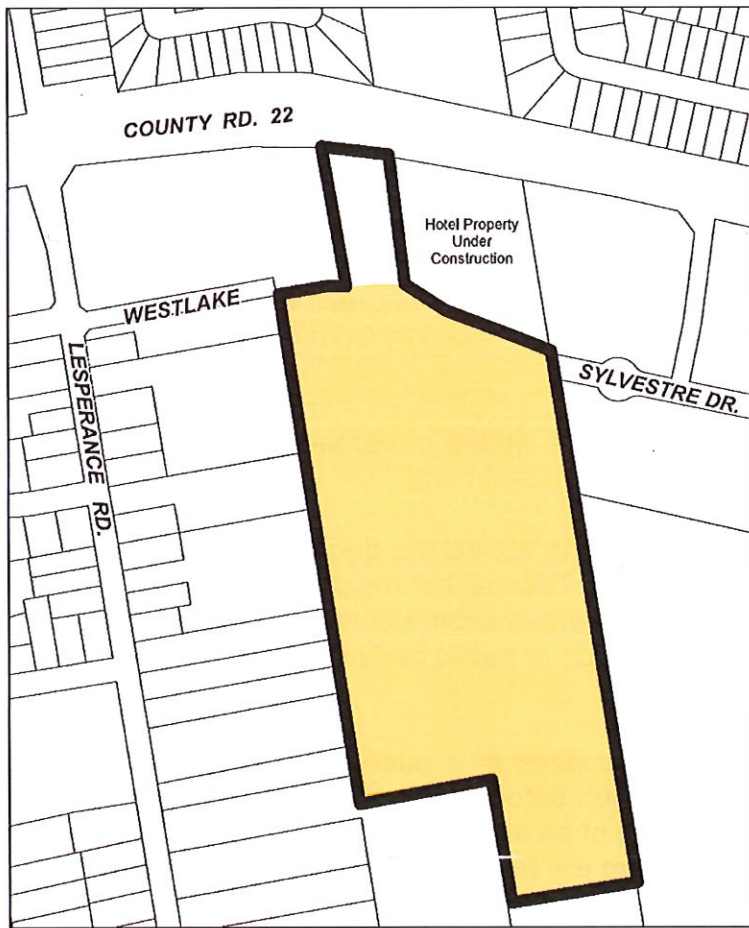
RECEIVED

If you wish to be notified of the decision of the Council of the Corporation of Town of Tecumseh on the proposed Zoning By-law amendment, you must make a written request to the Corporation of the Town of Tecumseh, c/o Robert Auger, Director Legislative Services & Clerk, at the mailing address noted below.

FOR MORE INFORMATION about this matter, including information about appeal rights, contact the Corporation of the Town of Tecumseh, c/o Robert Auger, Director Legislative Services & Clerk, at rauger@tecumseh.ca or directly at the Town Municipal Office at 917 Lesperance Road.

The Public Meeting Agenda regarding this application will be available on the Town's website (<https://calendar.tecumseh.ca/meetings>) on Friday, October 4, 2024.

KEY MAP



DATED AT THE TOWN OF
TECUMSEH THIS 16TH DAY OF
SEPTEMBER, 2024.

ROBERT AUGER
DIRECTOR LEGISLATIVE
SERVICES & CLERK

TOWN OF TECUMSEH
917 LESPERANCE ROAD
TECUMSEH, ONTARIO, N8N 1W9

0 75 150 300
Metres



Subject Property



Area of Property Subject to Proposed Amendment

RECEIVED

RECEIVED

PLANNING DEPARTMENT – DEVELOPMENT DIVISION

Memo

To: City Clerk

From: City Planner/Executive Director

Date: October 2, 2024

Subject: TRANSMITTAL OF NEW FILE

Our File Number: Z-034/24 [ZNG/7241]

RE: Application For: (X) Zoning Amendment () Official Plan Amendment
() Part Lot Control () Draft Plan of Subdivision/Condominium

Applicant: ANTHONY PALERMO

Location: 5172 JOY ROAD

Description: Application to amend Zoning By-law 85-18 to permit an accessory building with increased maximum height.

The ZONING AMENDMENT application submitted by ANTHONY PALERMO for 5172 JOY ROAD has been deemed as complete on OCTOBER 2, 2024.

Enclosures:

- (X) 1 copy of Application Form
- () 1 copy of Drawings
- () 1 copy of Site Plan



Neil Robertson, MCIP, RPP
City Planner, Executive Director

NR/nm

October 2, 2024

Anthony Palermo
5172 Joy Rd.
Windsor, ON N0R 1K0

Dear Applicant,

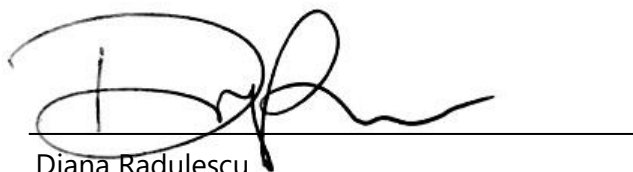
Re: ZONING BYLAW AMENDMENT
APPLICANT: ANTHONY PALERMO
LOCATION: 5172 JOY ROAD
FILE NO.: Z 034/24 [ZNG/7241]

This is to acknowledge receipt of the application for a rezoning amendment which has been assigned the above-referenced file number. In accordance with the delegation authority as prescribed by By-Law 139-2013, the information and material required has been provided, therefore the application was deemed COMPLETE on October 2, 2024, and processing has begun.

You will be advised prior to the Development & Heritage Standing Committee and Council meetings of the position of the Planning Department on the application and the dates of the public meetings.

Please email me at dradulescu@citywindsor.ca, if you have any questions.

Sincerely,



Diana Radulescu
Planner II – Development Review

DR/nm

ZONING BY-LAW AMENDMENT APPLICATION

INSTRUCTIONS

Verify that you are using the most current application form.

- Section 1: Before this application can be submitted, you must complete both Stage 1 and Stage 2 Planning Consultation Applications.
- Section 2: During the Stage 2 process, any required studies must be completed and submitted for review and comment. The final studies for Stage 2 must be included with this application and the proposal must remain unchanged.
- Section 3: Provide the full name, address, phone number, fax number and email address of the applicant, agent, and registered owner. If any of these are a corporation, provide the full corporate name. Include the full name of the contact person. If there is more than one person, corporation, or registered owner, use additional sheets.
- Section 4: Indicate if you are submitting other companion applications with this application. Please note that an application to amend the Official Plan or an application for Plan of Subdivision/Condominium are the only applications that will be accepted for processing concurrently with a Zoning Amendment.
- Section 5: Provide information about the subject land. This information is used to determine supporting information requirements and to assist in the review of the application.
- Section 6: Indicate the amendment, proposed uses and describe the nature and extent of the amendment being requested. Indicate why the amendment is being requested and how it is consistent with the Provincial Policy Statement and conforms to the City of Windsor Official Plan.
- Section 7: If there are any existing buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows this information.
- Section 8: If you propose to build any buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows the information.
- Section 9: Indicate how the property is accessed. Check all boxes that apply.
- Section 10: Provide information about water service, sanitary sewage disposal, and storm drainage.
- Section 11: Provide a sketch of the subject land showing, in metric units, the items listed or indicate if this information is provided on an existing plan or a conceptual site plan.
- Section 12: Please refer to the Stage 2 Planning Consultation letter for details regarding the fees needing to be paid.
- Section 13: Explain your proposed strategy for consulting with the public with respect to the application.
- Section 14: Complete and sign in the presence of a Commissioner of Taking Affidavits.
- Other: Read, complete in full, and sign Schedules A & E.

Submit application form, supporting information, and application fee to Senior Steno Clerk at Planning & Development Services, Suite 210, 350 City Hall Square West, Windsor ON N9A 6S1 or planningdept@citywindsor.ca

TYPE OF REZONING AMENDMENT

DATE RECEIVED STAMP

The type of amendment is stated in the Stage 2 Consultation letter.

Minor Zoning Amendment:

- Site zoned commercial, institutional, or manufacturing
 - Addition to the list of permitted uses
- Site already zoned
 - Change to existing regulations or to zoning district boundary to match lot lines
- Site designated in the Official Plan for residential use
 - Rezoning to accommodate a maximum of six dwelling units
- Site designated in the Official Plan for the proposed use other than residential
 - Site-specific zoning for a site with a lot area of less than 1,000.0 m²

Major Zoning Amendment: Any other amendment not listed as minor.

ZONING BY-LAW AMENDMENT APPLICATION

ZONING BY-LAW AMENDMENT PROCESS

The application will be terminated without notice after 60 days of inactivity. The following is for your information only. Review the Planning Act and relevant regulations for statutory requirements. The processing of the application is subject to change. Direct all questions to the assigned Planner. The process is generally as follows:

1. The application is reviewed to ensure all prescribed and required information and the fee have been submitted. Within 30 days of the receipt of the application, you will be notified in writing that the application is deemed incomplete or complete.
2. If deemed incomplete, the application and fee will be returned. If deemed complete, fees are not refundable, the application is circulated to departments and external agencies for review and comment, and all submitted documents are made available to the public.
3. Following circulation, a draft staff report containing a recommendation and any conditions is prepared. The City Planner and other staff review the draft staff report.
4. When the staff report is approved by appropriate municipal staff, it will be scheduled for a future meeting of the Development and Heritage Standing Committee (DHSC).
5. The DHSC meeting is the public meeting required by the Planning Act. Public notice of the DHSC meeting is advertised in the Windsor Star, a local newspaper, at least 20 days in advance of the DHSC meeting. A courtesy notice may be mailed to property owners and/or tenants within 120 metres or more of the subject land.
6. 10 days prior to the DHSC meeting, the staff report is circulated to the applicant and DHSC members and made available to the public. All supporting documentation submitted by the applicant is available for review.
7. At the DHSC meeting, a staff planner may make a presentation. The applicant and other parties have an opportunity to provide verbal and/or written submissions. The DHSC may ask questions of staff, the applicant, agent, and other parties. The DHSC may decide to defer or recommend approval or denial of the application.
8. If deferred, the application along with any additional information or a new staff report will be considered at a future DHSC meeting. If recommended for approval or denial, the staff report, the minutes of the DHSC meeting, and the amending by-law are forwarded to City of Windsor Council for consideration at a future date. The applicant, agent and all interested parties will be notified by Council Services of the date, time, and location of the Council meeting. Call 311 or contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
9. The application may be placed on the Consent Agenda of the Council Meeting, a part of the meeting where Council approves several matters with a single motion. If the application is not on the Consent Agenda, the staff planner may introduce the application, review the staff recommendation and any additional information provided to Council, and advise Council of any differences between the staff and DHSC recommendations. The applicant and other interested parties have an opportunity to make verbal and/or written submissions. Council may decide to approve, deny, or defer the application. If Council approves the application, the amending by-law may be approved at the same Council meeting, otherwise it will be approved at a future Council meeting.
10. When the amending by-law is passed, Council Services will mail a notice of the passing of the amending by-law to property owners and various public agencies within 15 days. There is a 20-day appeal period commencing the day after this notice is given. The notice will include the last day to file an appeal. An appeal is made to the Ontario Land Tribunal (OLT) through Council Services. If no appeal is filed, the amending by-law is final and binding as of the date of Council's passing of the by-law. Contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
11. If the rezoning is subject to a holding symbol, it is the responsibility of the property owner to satisfy the conditions to remove the holding symbol, to apply, and to pay the fee to remove the holding symbol.

CONTACT INFORMATION

Planning & Development Services
Suite 210
350 City Hall Square West
Windsor ON N9A 6S1

Telephone: 519-255-6543
Fax: 519-255-6544
Email: planningdept@citywindsor.ca
Web Site: www.citywindsor.ca

ZONING BY-LAW AMENDMENT APPLICATION

1. PLANNING CONSULTATION – Completion of Stage 2

Planning Consultation (Stage 2 Application) must be completed before this application can be submitted.

Has the Planning Consultation Stage 2 Application been completed? NO YES File Number: PC-_____

Staff Use Only

Signature of Staff Planner	Date of Consultation
<input type="checkbox"/> Jim Abbs	<input type="checkbox"/> Kevin Alexander
<input type="checkbox"/> Brian Nagata	<input type="checkbox"/> Justina Nwaesei
<input type="checkbox"/> Adam Szymczak	<input type="checkbox"/> Tracy Tang
	<input type="checkbox"/> Frank Garardo
	<input type="checkbox"/> Simona Simion
	<input type="checkbox"/> Laura Strahl
	<input type="checkbox"/> _____

2. REQUIRED SUPPORTING INFORMATION as Identified in the Planning Consultation Stage 2 Process:

For each document, provide one paper copy, and where possible, one digital copy on a USB flash drive or by email. All drawings or plans shall be in letter size (8.5 x 11 inches) in JPG and PDF format. All other document shall be provided in Word and PDF format. **All PDF documents shall be flattened with no layers.**

The City of Windsor reserves the right to require additional supporting information during the processing of the application. All supporting information submitted is made available for public review.

If you are submitting a companion application submit only one set of documents.

Staff Use Only

<input checked="" type="checkbox"/> Deed or Offer to Purchase	<input type="checkbox"/> Corporation Profile Report	<input checked="" type="checkbox"/> Site Plan Conceptual (see Section 8)	<input checked="" type="checkbox"/> Sketch of Subject Land (see Section 11)
<input type="checkbox"/> Archaeological Assessment – Stage 1	<input type="checkbox"/> Built Heritage Impact Study	<input type="checkbox"/> Environmental Evaluation Report	<input type="checkbox"/> Environmental Site Assessment
<input type="checkbox"/> Floor Plan and Elevations	<input type="checkbox"/> Geotechnical Study	<input type="checkbox"/> Guideline Plan	<input type="checkbox"/> Lighting Study
<input type="checkbox"/> Market Impact Assessment	<input type="checkbox"/> Micro-Climate Study	<input type="checkbox"/> Noise Study	<input type="checkbox"/> Planning Rationale Report
<input type="checkbox"/> Record of Site Condition (see Schedule E)	<input type="checkbox"/> Sanitary Sewer Study	<input type="checkbox"/> Species at Risk Screening	<input type="checkbox"/> Storm Sewer Study
<input type="checkbox"/> Storm Water Retention Scheme	<input type="checkbox"/> Topographic Plan of Survey	<input type="checkbox"/> Transportation Impact Statement	<input type="checkbox"/> Transportation Impact Study
<input type="checkbox"/> Tree Preservation	<input type="checkbox"/> Tree Survey Study	<input type="checkbox"/> Urban Design Study	<input type="checkbox"/> Vibration Study
<input type="checkbox"/> Wetland Evaluation Study	Other Required Information: _____		

ZONING BY-LAW AMENDMENT APPLICATION

3. APPLICANT, REGISTERED OWNER, AND AGENT INFORMATION

Provide in full the name of the applicant, registered owner, and agent, the name of the contact person, and address, postal code, phone number, fax number and email address

If the applicant or registered owner is a numbered company, provide the name of the principals of the company. If there is more than one applicant or registered owner, copy this page, complete in full and submit with this application.

All communication is with the Agent authorized by the Owner to file the application. If there is no Agent, all communication is with the Applicant

Applicant

Name: Anthony Palermo Contact: Anthony
Name of Contact Person

Address: 5172 Joy Rd

Address: _____ Postal Code: NOR1K0

Phone: 519 791 6123 Fax: _____

Email: tonypal1973@gmail.com

Registered Owner Same as Applicant

Name: _____ Contact: _____
Name of Contact Person

Address: _____

Address: _____ Postal Code: _____

Phone: _____ Fax: _____

Email: _____

Agent Authorized by the Owner to File the Application (Also complete Section A1 in Schedule A)

Name: _____ Contact: _____
Name of Contact Person

Address: _____

Address: _____ Postal Code: _____

Phone: _____ Fax: _____

Email: _____

4. COMPANION APPLICATIONS

Are you submitting a companion Official Plan Amendment application? NO YES

Are you submitting a companion Plan of Subdivision/Condominium application? NO YES

Please note that if a development proposal requires site plan approval, that application can only be submitted after the zoning amendment has been considered by City Council and the appeal period has concluded.

ZONING BY-LAW AMENDMENT APPLICATION

5. SUBJECT LAND INFORMATION

Municipal Address 5172 Joy Road, Maidstone Ont

Legal Description CON 8 PT LOT 15, RP 12R10850 PARTS 7&14 Irreg, 106.06FR

Assessment Roll Number 3739-090-020-02300-0000

If known, the date the subject land was acquired by the current owner: July 19, 2023

Frontage (m) 32.327 Depth (m) 54.547 Area (sq m) 1,763.34

Official Plan Designation Pole barn in the back yard on the left side.

Current Zoning Residential Zoning

Existing Uses Happens to be a backyard only.

If known, the lengths of time that the existing uses have continued: n/a

Previous Uses n/a

List the names and addresses of the holders of any mortgages, charges, or other encumbrances in respect of the subject land:

WFCU-Tecumseh Town branch.

Are there any easements or restrictive covenants affecting the subject lands? NO YES

If yes, describe the easement or restrictive covenant and its effect:

If known, has the subject land ever been subject of: (leave blank if unknown)

An application for a Plan of Subdivision or Consent: NO YES File: _____

An application for an amendment to a Zoning By-law: NO YES File: _____

An application for approval of a Site Plan: NO YES SPC: _____

A Minister's Zoning Order (Ontario Regulation): NO YES OR#: _____

ZONING BY-LAW AMENDMENT APPLICATION

6. DESCRIPTION OF AMENDMENT

Amendment to Zoning By-law from: Requested for an additional 2 feet in height from 12ft.
to: 14 Ft total height.
Proposed uses of subject land: Pole barn/storage

Describe the nature and extent of the amendment(s) being requested:

Simply have an additional 2 ft for 14ft total on the height of the pole barn.

Why is this amendment or these amendments being requested?

Simply to have more height inside the pole barn.

Explain how the amendment to the Zoning By-law is consistent with the Provincial Policy Statement:

See Planning Rationale Report n/a

Explain how the application conforms to the City of Windsor Official Plan:

See Planning Rationale Report n/a

If this application is to remove land from an area of employment, details of the official plan or official plan amendment that deals with this matter:

See Planning Rationale Report See Official Plan Amendment

n/a

ZONING BY-LAW AMENDMENT APPLICATION

7. EXISTING BUILDINGS / STRUCTURES ON SUBJECT LAND

Are there any buildings or structures on the subject land?

- NO Continue to Section 8
- YES Indicate the type of building or structure, the date of construction (if known), and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure and its dimensions or floor area.
- See attached Existing Plan or Sketch of Subject Land

There is our home that has been in place since 1990's.

8. PROPOSED BUILDINGS / STRUCTURES ON SUBJECT LAND

Do you propose to build any buildings or structures on the subject land?

- NO Continue to Section 9
- YES Indicate the type of building or structure and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure, and its dimensions or floor area.
- See attached concept plan

The plans were sent in Stage 1 application. They are in the City of Windsor files for your viewing.

ZONING BY-LAW AMENDMENT APPLICATION

9. ACCESS TO SUBJECT LAND

Indicate if access to subject land is by: (check all that apply)

- Municipal Road Provincial Highway Another public road or a right-of-way
- Water - If access to the subject land is by water only, describe the parking and docking facilities used or to be used and provide the approximate distance in metres of these facilities from the subject land and the nearest public road

10. WATER, SANITARY SEWAGE AND STORM DRAINAGE

WATER - Indicate whether water will be provided to the subject land by:

- Publicly owned & operated piped water system
- Privately owned & operated individual well
- Privately owned & operated communal well
- Other _____

SANITARY - Indicate whether sewage disposal will be provided to the subject land by:

- Publicly owned & operated sanitary sewage system
- Privately owned & operated individual septic system - See Note below
- Privately owned & operated communal septic system - See Note below
- Other _____

Note: If the application would permit development on privately owned and operated individual or communal septic systems, and more than 4,500 litres of effluent would be produced per day as a result of the development being completed, you must submit a Servicing Options Report and a Hydrogeological Report.

STORM DRAINAGE - Indicate whether storm drainage will be provided by:

- Sewers Ditches Swales Other _____

ZONING BY-LAW AMENDMENT APPLICATION

11. SKETCH OF SUBJECT LAND

Provide a sketch showing, in metric units,

- a) the boundaries and dimensions of the subject land;
- b) the location, size, and type of all existing and proposed buildings and structures on the subject land, including their distance from the front lot line, rear lot line, and side lines;
- c) the approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that are located on the subject land and on land that is adjacent to it, and in the applicant's opinion, may affect the application;
- d) the current uses of all land that is adjacent to the subject land;
- e) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road, or a right of way;
- f) If access to the subject land will be water only, the location of the parking and docking facilities to be used; and
- g) the location and nature of any easement affecting the subject land.

12. APPLICATION FEE & OTHER FEES

The amendment type and corresponding application fees are identified in the Planning Consultation Stage 2 process.

Fees may be subject to change and are not refundable once the application is deemed complete. Method of payment: Cash, Mastercard, Visa or Certified Cheque or Personal Cheque payable to The Corporation of the City of Windsor. If paying by Mastercard or Visa, contact the Senior Steno Clerk for further direction at planningdept@citywindsor.ca or 519-255-6543.

APPLICATION FEE

Amendment Type	Code	<input checked="" type="checkbox"/> Minor Rezoning	<input type="checkbox"/> Major Rezoning
Base Fee	53001	\$4,347.00	\$5,837.40
GIS Fee	63024	+ \$50.00	+ \$50.00
Essex Region Conservation Authority Fee	53023	+ <u>\$200.00</u>	+ <u>\$300.00</u>
Total Application Fee		= \$4,597.00	= \$6,187.40

The following fees are provided for information purposes. They are not due at this time but may be assessed depending on the type(s) of applications associated with the development proposal

OTHER FEES

Re-Notification/Deferral Fee	Code 53016	\$2,258.40
Required when an applicant requests a deferral after notice of a public meeting has been given.		
Legal Fee - Servicing Agreement	Code 63002	\$597.64 plus \$50 per unit, lot, or block
Required when the preparation of a servicing agreement is a condition of approval.		
Removal of the Holding Symbol Application	Code 53001	\$1,536.00
It is the responsibility of the property owner to satisfy the conditions to remove the holding symbol and to apply and fee to remove the holding symbol.		
Ontario Land Tribunal (OLT) Appeal Fee		\$1,100.00
An appeal is made through Council Services (519-255-6211 or clerks@citywindsor.ca). Fees, forms, and processes are subject to change. Visit https://olt.gov.on.ca for additional information		

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements

A1. Authorization of Registered Owner for Agent to Make the Application

If the applicant is not the registered owner of the land that is the subject of this application, the written authorization of the registered owner that the agent is authorized to make the application must be included with this application form or the authorization below must be completed.

I, _____, am the registered owner of the land that is

Name of Registered Owner

subject of this application for an amendment to the City of Windsor Zoning By-law and I authorize

_____ to make this application on my behalf.

Name of Agent

Signature of Registered Owner

Date

If Corporation - I have authority to bind the corporation

A2. Authorization to Enter Upon the Subject Lands and Premises

I, Anthony Palermo, _____

Name of Registered Owner

hereby authorize the Development and Heritage Standing Committee or their successor, City Council, and staff of The Corporation of the City of Windsor to enter upon the subject lands and premises described in Section 5 of the application form for the purpose of evaluating the merits of this application and subsequently to conduct any inspections on the subject lands that may be required as a condition of approval. This is their authority for doing so.



Signature of Registered Owner

Sept 23/2024

Date

If Corporation -- I have authority to bind the corporation

SCHEDULE A CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements - *Continued*

A3. Acknowledgements

Receipt, Fees, Additional Information, Termination, and Freedom of Information

I acknowledge that receipt of this application by the City of Windsor does not guarantee it to be a complete application, that further review of the application will occur, and that I may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted.

I further acknowledge that after the application is deemed complete, fees are not refundable, additional information may be requested, and that after 60 days of inactivity the City of Windsor may terminate the application without notice.

I further acknowledge that pursuant to the provisions of the Planning Act and the Municipal Freedom of Information and Protection of Privacy Act, this application and all material and information provided with this application are made available to the public.

Species at Risk

Ontario's *Endangered Species Act* protects endangered and threatened species — animals and plants in decline and at risk of disappearing from the province by restricting activities that may affect these plants, animals or their habitats.

I acknowledge that it is my sole responsibility as the Applicant to comply with the provisions of the *Endangered Species Act, 2007, S. O. c.6*. This could require me to register an activity, get a permit or other authorization from the Ministry of the Environment, Conservation and Parks (MECP) prior to conducting an activity that could impact an endangered or threatened plant or animal or its habitat. I further acknowledge that any *Planning Act, R.S.O. 1990, c.P.13* approval given by the City of Windsor does not constitute an approval under the *Endangered Species Act*, nor does it absolve me from seeking the necessary authorization, approvals or permits from the MECP prior to conducting any activity that may affect endangered or threatened plant or animal or its habitat.

Additional information can be found at:

<https://www.ontario.ca/page/development-and-infrastructure-projects-and-endangered-or-threatened-species>

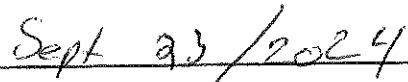
or by contacting MECP at SAROntario@ontario.ca

Acknowledgement

I acknowledge that I have read and understand the above statements:



Signature of Applicant or Agent



Date

**END OF SCHEDULE A
COMPLETE SCHEDULE E ON NEXT PAGE**

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E – Environmental Site Screening Questionnaire

Previous Use of Property

- Residential Industrial Commercial Institutional
 Agricultural Parkland Vacant Other _____

- a) If previous use of the property is Industrial or Commercial, specify use:

- b) Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?
 Yes No Unknown
- c) Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- d) Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- e) Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- f) Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been applied as pesticides and/or sewage sludge applied to the lands?
 Yes No Unknown
- g) Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- h) Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational/non-operational public or private waste disposal site, landfill or dump?
 Yes No Unknown
- i) If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- j) Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*
- Yes No Unknown
- * Possible uses that can cause contamination include but are not limited to: operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry cleaning plants have similar potential. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals that are present.*
- k) If current or previous use of the property is Industrial or Commercial, or if YES to any of a) to j) above, attach a previous use inventory showing all former uses of the subject land, or if applicable, the land(s) adjacent to the subject lands.

SCHEDULE E CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E - CONTINUED

Acknowledgement Clause

I hereby acknowledge that it is my responsibility to ensure that I am in compliance with all applicable laws, regulations, guidelines and the City's Official Plan policies pertaining to potentially contaminated sites, and to use all reasonable effort to identify the potential for contamination on the subject property.

I acknowledge that as a condition of approval of this application that the City may require me to file a Record of Site Condition signed by a qualified person in the provincial Environmental Site Registry, and provide verification to the City of Windsor of acknowledgement of this Record of Site Condition by the Ministry of Environment.

I acknowledge that the City may require the qualified person signing the Record of Site Condition to submit to the City a Declaration acknowledging that the City of Windsor may rely on the statements in the Record of Site Condition.

I acknowledge that the City of Windsor is not responsible for the identification and/or remediation of contaminated sites, and I agree, whether in, through, or as a result of any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Windsor, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

Anthony Palermo

Name of Applicant (print)

[Signature]

Signature of Applicant

Sept 25 / 2024

Date

Name of Agent (print)

Signature of Agent

Date

END OF SCHEDULE E

ZONING BY-LAW AMENDMENT APPLICATION

DO NOT COMPLETE BELOW – STAFF USE ONLY

Receipt and Assignment of Application	Date Received Stamp
This application has been assigned to:	
<input type="checkbox"/> Adam Szymczak (AS)	<input type="checkbox"/> Brian Nagala (BN)
<input type="checkbox"/> Frank Garardo (FG)	<input type="checkbox"/> Tracy Tang (TT)
<input type="checkbox"/> Jim Abbs (JA)	<input type="checkbox"/> Justina Nwaesel (JN)
<input type="checkbox"/> Kevin Alexander (KA)	<input type="checkbox"/> Laura Strahl (LS)
<input type="checkbox"/> Simona Simion (SS)	<input type="checkbox"/> _____

Complete Application		
This application is deemed complete on _____ Date		
_____ Signature of Delegated Authority		
<input type="checkbox"/> Neil Robertson, MCIP, RPP Manager of Urban Design	<input type="checkbox"/> Greg Atkinson, MCIP, RPP Manager of Development	<input type="checkbox"/> Thom Hunt, MCIP, RPP City Planner & Executive Director

Internal Information
Fee Paid: \$ _____ Receipt No: _____ Date: _____
Payment Type: <input type="checkbox"/> Cash <input type="checkbox"/> Certified Cheque <input type="checkbox"/> Credit Card <input type="checkbox"/> Personal Cheque
NEW Zoning File No. ZNG/ _____ Z- _____
Previous Zoning File No. ZNG/ _____ Z- _____
Related OPA File No. OPA/ _____ OPA _____
Other File Numbers: _____
Notes: _____

THIS IS THE LAST PAGE OF THE APPLICATION FORM

PLANNING AND DEVELOPMENT SERVICES

Memo

To: City Clerk
From: City Planner/Executive Director
Date: October 2, 2024
Subject: TRANSMITTAL OF NEW FILE
Our File Number: Z-021/24 ZNG/7217 & OPA 188 OPA/7218
RE: Application For: (X) Zoning Amendment (X) Official Plan Amendment
() Part Lot Control () Draft Plan of Subdivision/Condominium

Applicant: 1722912 ONTARIO LTD.
Location: 4088-4096 SIXTH CONCESSION RD
Description: Official Plan Amendment application to permit a multiple dwelling with a building height of 11.21 m an additional permitted use. Zoning By-law Amendment application requesting an amendment to Zoning By-law 8600 changing the zoning of the subject parcel to permit a multiple dwelling with 21 dwelling units as an additional permitted use and reductions in required parking and landscaped open space yard.

The OFFICIAL PLAN AMENDMENT & ZONING BY-LAW AMENDMENT applications submitted on SEPTEMBER 10, 2024 by 1722912 ONTARIO LTD. for 4088-4096 SIXTH CONCESSION have been deemed complete on SEPTEMBER 24, 2024.

Enclosures:

- (X) 1 copy of Application Form
- () 1 copy of Drawings
- () 1 copy of Site Plan



Neil Robertson, MCIP, RPP
City Planner, Executive Director

NR/nm

September 27, 2024

Lassaline Planning Consultants
c/o Jackie Lassaline
PO Box 52
1632 County Rd. 31
St. Joachim, ON N0R 1S0

Dear Agent,

Re: ZONING BYLAW AMENDMENT & OFFICIAL PLAN AMENDMENT APPLICATION
APPLICANT: 1722912 ONTARIO LTD. – HD DEVELOPMENT GROUP
LOCATION: 4088-4096 6TH CONCESSION ROAD
FILE NO.: Z 021/24 [ZNG/7217] & OPA 188 [OPA-7218]

This is to acknowledge receipt of the application for a rezoning amendment which has been assigned the above-referenced file number. In accordance with the delegation authority as prescribed by By-Law 139-2013, the information and material required has been provided, therefore the application was deemed COMPLETE on September 24, 2024, and processing has begun.

You will be advised prior to the Development & Heritage Standing Committee and Council meetings of the position of the Planning Department on the application and the dates of the public meetings.

Please email me at aszymczak@citywindsor.ca, if you have any questions.

Sincerely,



Adam Szymczak
Senior Planner – Development Review

AS/nm

OFFICIAL PLAN AMENDMENT APPLICATION

INSTRUCTIONS

Verify that you are using the most current application form.

- Section 1: Before this application can be submitted, you must complete both Stage 1 and Stage 2 Planning Consultation Applications.
- Section 2: During the Stage 2 process, any required studies must be completed and submitted for review and comment. The final studies for Stage 2 must be included with this application and the proposal must remain unchanged.
- Section 3: Provide the full name, address, phone number, fax number and email address of the applicant, agent, and registered owner. If any of these are a corporation, provide the full corporate name. Include the full name of the contact person. If there is more than one person, corporation, or registered owner, use additional sheets.
- Section 4: Indicate if you are submitting companion applications with this application. Please note that an application to amend the Zoning By-law or an application for Plan of Subdivision/Condominium are the only applications that will be accepted for processing concurrently with an Official Plan Amendment.
- Section 5: Provide information about the subject land. This information is used to determine or confirm supporting information requirements and to assist in the review of the application.
- Section 6: Describe the amendment and answer all questions. If some of this information is in a Planning Rationale Report, check the box beside "See Planning Rationale Report".
- Section 7: Provide details about any other Planning Act applications by the applicant for the subject land or any land within 120 metres.
- Section 8: Provide information about water service and sanitary sewage disposal.
- Section 9: Complete this section using the information provided in the Planning Consultation Stage 2 letter.
- Section 10: Explain your proposed strategy for consulting with the public with respect to the application.
- Section 11: Complete and sign in the presence of a Commissioner of Taking Affidavits.
- Schedules: Read and complete Schedule A in full and sign.

Submit application form, supporting information, and application fee to the Senior Steno Clerk at Planning & Development Services, Suite 210, 350 City Hall Square West, Windsor ON N9A 6S1 or planningdept@citywindsor.ca.

Any timelines noted in this application form are subject to change.

The application is reviewed to ensure all prescribed information and the required fee have been submitted. Within 30 days of the receipt of the application, the applicant will be notified in writing that the application is deemed complete. If deemed incomplete, the application and fee will be returned. If deemed complete, the application fee is not refundable.

The applicant, agent and all other interested parties will be notified by Council Services of the date, time, and location of the Development & Heritage Standing Committee (DHSC) meeting and the Council meeting.

An application will be terminated without notice after 60 days of inactivity.

DATE RECEIVED STAMP

CONTACT INFORMATION

Planning & Development Services
Suite 210
350 City Hall Square West
Windsor ON N9A 6S1

Telephone: 519-255-6543
Fax: 519-255-6544
Email: planningdept@citywindsor.ca
Web Site: www.citywindsor.ca

OFFICIAL PLAN AMENDMENT APPLICATION

1. PLANNING CONSULTATION – Completion of Stage 2

Planning Consultation (Stage 2 Application) must be completed before this application can be submitted.

Has the Planning Consultation Stage 2 Application been completed?

NO YES File Number: PC-_____

Staff Use Only

Signature of Staff Planner	Date of Consultation
<input type="checkbox"/> Jim Abbs <input type="checkbox"/> Brian Nagata <input type="checkbox"/> Adam Szymczak	<input type="checkbox"/> Kevin Alexander <input type="checkbox"/> Justina Nwaesei <input type="checkbox"/> _____
<input type="checkbox"/> Tracy Tang <input type="checkbox"/> Simona Simion	<input type="checkbox"/> Frank Garardo <input type="checkbox"/> Laura Strahl

2. REQUIRED SUPPORTING INFORMATION as Identified in the Planning Consultation Stage 2 Process:

For each document, provide one paper copy, and where possible, one digital copy on a USB flash drive or by email. All drawings or plans shall be in letter size (8.5 x 11 inches) in JPG and PDF format. All other document shall be provided in Word and PDF format. Please ensure that all PDF documents are 'flattened' and contain no layers.

The City of Windsor reserves the right to require additional supporting information during the processing of the application. All supporting information submitted is made available for public review.

If you are submitting a companion application submit only one set of documents.

<input checked="" type="checkbox"/> Deed or Offer to Purchase	<input type="checkbox"/> Corporation Profile Report	<input checked="" type="checkbox"/> Site Plan Conceptual	<input checked="" type="checkbox"/> Sketch of Subject Land
<input type="checkbox"/> Archaeological Assessment – Stage 1	<input type="checkbox"/> Built Heritage Impact Study	<input type="checkbox"/> Environmental Evaluation Report	<input type="checkbox"/> Environmental Site Assessment
<input type="checkbox"/> Floor Plan and Elevations	<input type="checkbox"/> Geotechnical Study	<input type="checkbox"/> Guideline Plan	<input type="checkbox"/> Lighting Study
<input type="checkbox"/> Market Impact Assessment	<input type="checkbox"/> Micro-Climate Study	<input type="checkbox"/> Noise Study	<input type="checkbox"/> Planning Rationale Report
<input type="checkbox"/> Record of Site Condition (see Schedule E)	<input type="checkbox"/> Sanitary Sewer Study	<input type="checkbox"/> Species at Risk Screening	<input type="checkbox"/> Storm Sewer Study
<input type="checkbox"/> Storm Water Retention Scheme	<input type="checkbox"/> Topographic Plan of Survey	<input type="checkbox"/> Transportation Impact Statement	<input type="checkbox"/> Transportation Impact Study
<input type="checkbox"/> Tree Preservation	<input type="checkbox"/> Tree Survey Study	<input type="checkbox"/> Urban Design Study	<input type="checkbox"/> Vibration Study
<input type="checkbox"/> Wetland Evaluation Study	Other Required Information: _____		

OFFICIAL PLAN AMENDMENT APPLICATION

3. APPLICANT, REGISTERED OWNER AND AGENT INFORMATION

Provide in full the name of the applicant, registered owner and agent, the name of the contact person, and address, postal code, phone number, fax number and email address.

If the applicant or registered owner is a numbered company, provide the name of the principals of the company. If there is more than one applicant or registered owner, copy this page, complete in full and submit with this application.

All communication is with the Agent authorized by the Owner to file the application. If there is no Agent, all communication is with the Applicant.

Applicant

Name: Lassaline Planning Consultants Contact: Jackie Lassaline
Name of Contact Person

Address: P.O. Box 52 1632 County Road 31, St. Joachim N0R 1S0

Address: _____ Postal Code: _____

Phone: 519-563-8814 Fax: _____

Email: jackie@lassalineplan.ca

Registered Owner Same as Applicant

Name: 1722912 Ontario Ltd- HD Development Group Contact: Steve Habib and Haider Habib
Name of Contact Person

Address: 5335 Outer Drive, Windsor ON N0A 6J3

Address: _____ Postal Code: _____

Phone: 519-966=6200 Fax: _____

Email: haider@hddevelopmentgroup.com

Agent Authorized by the Owner to File the Application (Also complete Section A1 of Schedule A)

Name: Lassaline Planning Consultants Contact: Jsckie Lassaline
Name of Contact Person

Address: P.O. Box 52, 1632 County Road 31, St Joachim N0R 1S0

Address: _____ Postal Code: _____

Phone: _____ Fax: _____

Email: _____

4. COMPANION APPLICATIONS

Are you submitting a companion Zoning Amendment application? NO YES

Are you submitting a companion Plan of Subdivision/Condominium application? NO YES

Please note that if a development proposal requires site plan approval, that application can only be submitted after the zoning amendment has been considered by City Council and the appeal period has concluded.

OFFICIAL PLAN AMENDMENT APPLICATION

5. SUBJECT LAND INFORMATION

Municipal Address 4088-4096 6th Concession Road Windsor

Legal Description 4088 - PIN 01560-2839; Lot 1, Plan 12M 665; Windsor
4096 - PIN 01560-2640; Lot 2, Plan 12M 665; Windsor

Assessment Roll Number 4088 - 070-150-01501
4096 - 070-150-01502

Frontage (m) 40.7 m Depth (m) _____ Area (sq m) 2355.5 m2

Current Official Plan Designation Schedule D - Residential North Roseland Secondary Plan -NR2-7 - Low Profile

What land uses are permitted by the Official Plan Designation? low profile residential buildings

6. DESCRIPTION OF OFFICIAL PLAN AMENDMENT (OPA)

Name of Official Plan proposed to be amended: *The City of Windsor Official Plan*

Amendment to Official Plan from NR2-7 - Low Profile to Nr2.7 - Low Profile Special Policy

Purpose of the proposed OPA: inclusion of a special policy to allow for a medium profile, 10 m high multiple dwelling building

What land uses will the proposed official plan amendment (OPA) authorize? residential

Does the proposed OPA change, replace or delete a policy in the Official Plan? No Yes

If yes, the policy to be changed, replaced or deleted: _____

Does the proposed OPA add a policy to the Official Plan? Site Specific policy No Yes

OFFICIAL PLAN AMENDMENT APPLICATION

6. DESCRIPTION OF OFFICIAL PLAN AMENDMENT (OPA) - Continued

Does the proposed OPA change or replace a designation in the Official Plan? No Yes

If yes, the designation to be changed or replaced: _____

If a policy is being changed, replaced or deleted or if a policy is being added, the text of the proposed OPA:

Not Applicable See Planning Rationale Report See Attached

If the proposed OPA changes or replaces a schedule in the Official Plan, the requested schedule and the text that accompanies it:

Not Applicable See Planning Rationale Report See Attached

If the proposed OPA alters all or any part of the boundary of an area of a settlement or establishes a new area of settlement, the current official policies, if any, dealing with the alteration or establishment of an area of settlement:

Not Applicable See Planning Rationale Report See Attached

If the proposed OPA removes the subject land from an area of employment, the current Official Plan policies, if any, dealing with the removal of land from an area of employment:

Not Applicable See Planning Rationale Report See Attached

Explain how the proposed OPA is consistent with the Provincial Policy Statement:

See Planning Rationale Report See Attached

OFFICIAL PLAN AMENDMENT APPLICATION

7. OTHER APPLICATION INFORMATION

Is the subject land or land within 120 metres the subject of an application by the applicant under the Planning Act for:

A Minor Variance or Consent? No Yes

File number: _____ Status: _____

Approval authority: _____

Affected lands: _____

Purpose of Minor Variance or Consent: _____

Effect on the proposed OPA: _____

An amendment to an Official Plan, a Zoning By-law or a Minister's Zoning Order? No Yes

File number: _____ Status: concurrent

Approval authority: Council - City of Windsor

Affected lands: subject lands

Purpose of OP or ZBL amendment or Zoning Order: RD1.2 -rezoned to RD3.2

Effect on the proposed OPA: _____

Approval of a plan of subdivision or a site plan? No Yes

File number: _____ Status: _____

Approval authority: _____

Affected lands: _____

Purpose of plan of subdivision or site plan: _____

Effect on the proposed OPA: _____

OFFICIAL PLAN AMENDMENT APPLICATION

8. WATER & SANITARY SEWAGE DISPOSAL

WATER – Indicate whether water will be provided to the subject land by:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Publicly owned & operated piped water system | <input type="checkbox"/> A lake or other water body |
| <input type="checkbox"/> Privately owned & operated individual well | <input type="checkbox"/> Other means: _____ |
| <input type="checkbox"/> Privately owned & operated communal well | |

SANITARY - Indicate whether sanitary sewage disposal will be provided to the subject land by:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Publicly owned & operated sanitary sewage system | <input type="checkbox"/> A privy |
| <input type="checkbox"/> Privately owned & operated individual septic system | <input type="checkbox"/> Other means: _____ |
| <input type="checkbox"/> Privately owned & operated communal septic system | |

If the application would permit development on privately owned and operated individual or communal septic systems, and more than 4500 litres of effluent would be produced per day as a result of the development being completed submit a Servicing Options Report and a Hydrogeological Report.

9. TYPE OF AMENDMENT, APPLICATION FEE & OTHER FEES

TYPE OF OFFICIAL PLAN AMENDMENT (OPA)

The amendment type and corresponding application fees are identified in the Planning Consultation Stage 2 process.

Fees may be subject to change and are not refundable once the application is deemed complete. Method of payment: Cash, Mastercard, Visa or Certified Cheque or Personal Cheque payable to The Corporation of the City of Windsor. If paying by Mastercard or Visa, contact the Senior Steno Clerk for further direction at planningdept@citywindsor.ca or 519-255-6543.

Minor OPA: A minor revision to the text of the Official Plan or a Site Specific Policy direction.

Major OPA: A change from one land use designation to another land use designation, a change to any Schedule in the City of Windsor Official Plan, or any other amendment not described above.

APPLICATION FEE

	<i>Code</i>	<input checked="" type="checkbox"/> Minor OPA	<input type="checkbox"/> Major OPA
Base Fee	63003	\$2,258.40	\$8,112.35
GIS Fee	63024	+ \$50.00	+ \$50.00
Essex Region Conservation Authority Fee	53023	+ <u>\$200.00</u>	+ <u>\$300.00</u>
Total Application Fee		= \$2,508.40	= \$8,462.35

The following fees are provided for information purposes. They are not due at this time but may be assessed depending on the type(s) of applications associated with the development proposal

OTHER FEES

Re-Notification/Deferral Fee 53016 \$2,258.40

Required when an applicant requests a deferral after notice of a public meeting has been given.

Ontario Land Tribunal (OLT) Appeal Fee \$1,100.00

An appeal is made through Council Services (519-255-6211 or clerks@citywindsor.ca). Fees, forms, and processes are subject to change. Visit <https://olt.gov.on.ca> for additional information.

OFFICIAL PLAN AMENDMENT APPLICATION

10. PROPOSED PUBLIC CONSULTATION STRATEGY

Select or describe your proposed strategy for consulting with the public with respect to the application:

Required Public Consultation (Public Notice & Public Meeting as required per the Planning Act)

Open House

Website

Other _____

11. SWORN DECLARATION OF APPLICANT

Complete in the presence of a Commissioner for Taking Affidavits. If the declaration is to be administered remotely, you must be able to see, hear and communicate with the Commissioner and show documentation that confirms your identity.

I, Lassaline Planning Consultants, Jackie Lassaline, solemnly declare that the information required under Schedule 1 to Ontario Regulation 543/06 and provided by the applicant is accurate and that the information contained in the documents that accompany this application is accurate, that if this declaration was administered remotely that it was in accordance with Ontario Regulation 431/20, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Jacqueline Lassaline
Signature of Applicant

*Sign in the presence of a Commissioner
For Taking Affidavits*

Municipality of Lakeshore

Location of Applicant at time of declaration

This declaration was administered remotely in accordance with Ontario Regulation 431/20


Declared before me Town of Kingsville at the County of Essex

Signature of Commissioner

Location of Commissioner

this 13th day of June, 2024
day month year

PLACE AN IMPRINT OF YOUR STAMP BELOW


Tammy Ann Snively, a Commissioner, etc.,
Province of Ontario, for McGregor, Sims, Schmoranz
Professional Corporation, Barristers and Solicitors.
Expires April 25, 2026.

READ & COMPLETE SCHEDULE A IN FULL & SIGN

OFFICIAL PLAN AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgement

A1. Authorization of Registered Owner for Agent to Make the Application

If the applicant is not the registered owner of the land that is the subject of this application, the written authorization of the registered owner that the agent is authorized to make the application must be included with this application form or the authorization below must be completed.

I, HD Development Group - Haider Habib, am the registered owner of the land that is
name of registered owner

subject of this application for an amendment to the City of Windsor Official Plan and I authorize

Lassaline Planning Consultants - Jackie Lassaline to make this application on my behalf.
name of agent



Signature of Registered Owner

June 12, 2024

Date

If Corporation - I have authority to bind the corporation

A2. Authorization to Enter Upon the Subject Lands and Premises

I, HD Development Group, Haider Habib, hereby authorize the Development and Heritage Standing Committee, City Council, and staff of The Corporation of the City of Windsor to enter upon the subject lands and premises described in Section 5 of the application form for the purpose of evaluating the merits of this application and subsequently to conduct any inspections on the subject lands that may be required as condition of approval. This is their authority for doing so.



Signature of Registered Owner

June 12, 2024

Date

If Corporation – I have authority to bind the corporation

SCHEDULE A CONTINUES ON NEXT PAGE

OFFICIAL PLAN AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements - Continued

A3. Acknowledgements

Receipt, Fees, Additional Information, Termination, and Freedom of Information

I acknowledge that receipt of this application by the City of Windsor does not guarantee it to be a complete application, that further review of the application will occur, and I may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted.

I further acknowledge that once the application is deemed complete, fees are not refundable, additional information may be requested, and that after 60 days of inactivity the City of Windsor may terminate the application without notice.

I further acknowledge that pursuant to the provisions of the Planning Act and the Municipal Freedom of Information and Protection of Privacy Act, this application and all material and information provided with this application are made available to the public.

Species at Risk

Ontario's *Endangered Species Act* protects endangered and threatened species — animals and plants in decline and at risk of disappearing from the province by restricting activities that may affect these plants, animals or their habitats.

I acknowledge that it is my sole responsibility as the Applicant to comply with the provisions of the *Endangered Species Act, 2007, S. O. c.6*. This could require me to register an activity, get a permit or other authorization from the Ministry of the Environment, Conservation and Parks (MECP) prior to conducting an activity that could impact an endangered or threatened plant or animal or its habitat. I further acknowledge that any *Planning Act, R.S.O. 1990, c.P.13* approval given by the City of Windsor does not constitute an approval under the *Endangered Species Act*, nor does it absolve me from seeking the necessary authorization, approvals or permits from the MECP prior to conducting any activity that may affect endangered or threatened plant or animal or its habitat.

Additional information can be found at:

<https://www.ontario.ca/page/development-and-infrastructure-projects-and-endangered-or-threatened-species>

or by contacting MECP at SAROntario@ontario.ca

Acknowledgement

I acknowledge that I have read and understand the above statements:



Signature of Applicant or Agent

June 12, 2024

Date

END OF SCHEDULE A

OFFICIAL PLAN AMENDMENT APPLICATION

DO NOT COMPLETE BELOW – STAFF USE ONLY

Receipt and Assignment of Application	Date Received Stamp
This application has been assigned to:	
<input type="checkbox"/> Adam Szymczak (AS)	<input type="checkbox"/> Brian Nagata (BN)
<input type="checkbox"/> Frank Garardo (FG)	<input type="checkbox"/> Tracy Tang (TT)
<input type="checkbox"/> Jim Abbs (JA)	<input type="checkbox"/> Justina Nwaesei (JN)
<input type="checkbox"/> Kevin Alexander (KA)	<input type="checkbox"/> Laura Strahl (LS)
<input type="checkbox"/> Simona Simion (SS)	<input type="checkbox"/> _____

Complete Application		
This application is deemed complete on _____ <i>Date</i>		
_____ <i>Signature of Delegated Authority</i>		
<input type="checkbox"/> Neil Robertson, MCIP, RPP Manager of Urban Design	<input type="checkbox"/> Greg Atkinson, MCIP, RPP Manager of Development	<input type="checkbox"/> Thom Hunt, MCIP, RPP City Planner & Executive Director

Internal Information
Fee Paid: \$ _____ Receipt No: _____ Date: _____
Payment Type: <input type="checkbox"/> Cash <input type="checkbox"/> Certified Cheque <input type="checkbox"/> Credit Card <input type="checkbox"/> Personal Cheque
NEW File No. OPA/ _____
Previous OPA File No. OPA/ _____
Related Zoning File No. ZNG/ _____
Other File Numbers: _____
Notes: _____

THIS IS THE LAST PAGE OF THE APPLICATION FORM

ZONING BY-LAW AMENDMENT APPLICATION

INSTRUCTIONS

Verify that you are using the most current application form.

- Section 1: Before this application can be submitted, you must complete both Stage 1 and Stage 2 Planning Consultation Applications.
- Section 2: During the Stage 2 process, any required studies must be completed and submitted for review and comment. The final studies for Stage 2 must be included with this application and the proposal must remain unchanged.
- Section 3: Provide the full name, address, phone number, fax number and email address of the applicant, agent, and registered owner. If any of these are a corporation, provide the full corporate name. Include the full name of the contact person. If there is more than one person, corporation, or registered owner, use additional sheets.
- Section 4: Indicate if you are submitting other companion applications with this application. Please note that an application to amend the Official Plan or an application for Plan of Subdivision/Condominium are the only applications that will be accepted for processing concurrently with a Zoning Amendment.
- Section 5: Provide information about the subject land. This information is used to determine supporting information requirements and to assist in the review of the application.
- Section 6: Indicate the amendment, proposed uses and describe the nature and extent of the amendment being requested. Indicate why the amendment is being requested and how it is consistent with the Provincial Policy Statement and conforms to the City of Windsor Official Plan.
- Section 7: If there are any existing buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows this information.
- Section 8: If you propose to build any buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows the information.
- Section 9: Indicate how the property is accessed. Check all boxes that apply.
- Section 10: Provide information about water service, sanitary sewage disposal, and storm drainage.
- Section 11: Provide a sketch of the subject land showing, in metric units, the items listed or indicate if this information is provided on an existing plan or a conceptual site plan.
- Section 12: Please refer to the Stage 2 Planning Consultation letter for details regarding the fees needing to be paid.
- Section 13: Explain your proposed strategy for consulting with the public with respect to the application.
- Section 14: Complete and sign in the presence of a Commissioner of Taking Affidavits.
- Other: Read, complete in full, and sign Schedules A & E.

Submit application form, supporting information, and application fee to Senior Steno Clerk at Planning & Development Services, Suite 210, 350 City Hall Square West, Windsor ON N9A 6S1 or planningdept@citywindsor.ca

TYPE OF REZONING AMENDMENT

DATE RECEIVED STAMP

The type of amendment is stated in the Stage 2 Consultation letter.

Minor Zoning Amendment:

- Site zoned commercial, institutional, or manufacturing
 - Addition to the list of permitted uses
- Site already zoned
 - Change to existing regulations or to zoning district boundary to match lot lines
- Site designated in the Official Plan for residential use
 - Rezoning to accommodate a maximum of six dwelling units
- Site designated in the Official Plan for the proposed use other than residential
 - Site-specific zoning for a site with a lot area of less than 1,000.0 m²

Major Zoning Amendment: Any other amendment not listed as minor.

ZONING BY-LAW AMENDMENT APPLICATION

ZONING BY-LAW AMENDMENT PROCESS

The application will be terminated without notice after 60 days of inactivity. The following is for your information only. Review the Planning Act and relevant regulations for statutory requirements. The processing of the application is subject to change. Direct all questions to the assigned Planner. The process is generally as follows:

1. The application is reviewed to ensure all prescribed and required information and the fee have been submitted. Within 30 days of the receipt of the application, you will be notified in writing that the application is deemed incomplete or complete.
2. If deemed incomplete, the application and fee will be returned. If deemed complete, fees are not refundable, the application is circulated to departments and external agencies for review and comment, and all submitted documents are made available to the public.
3. Following circulation, a draft staff report containing a recommendation and any conditions is prepared. The City Planner and other staff review the draft staff report.
4. When the staff report is approved by appropriate municipal staff, it will be scheduled for a future meeting of the Development and Heritage Standing Committee (DHSC).
5. The DHSC meeting is the public meeting required by the Planning Act. Public notice of the DHSC meeting is advertised in the Windsor Star, a local newspaper, at least 20 days in advance of the DHSC meeting. A courtesy notice may be mailed to property owners and/or tenants within 120 metres or more of the subject land.
6. 10 days prior to the DHSC meeting, the staff report is circulated to the applicant and DHSC members and made available to the public. All supporting documentation submitted by the applicant is available for review.
7. At the DHSC meeting, a staff planner may make a presentation. The applicant and other parties have an opportunity to provide verbal and/or written submissions. The DHSC may ask questions of staff, the applicant, agent, and other parties. The DHSC may decide to defer or recommend approval or denial of the application.
8. If deferred, the application along with any additional information or a new staff report will be considered at a future DHSC meeting. If recommended for approval or denial, the staff report, the minutes of the DHSC meeting, and the amending by-law are forwarded to City of Windsor Council for consideration at a future date. The applicant, agent and all interested parties will be notified by Council Services of the date, time, and location of the Council meeting. Call 311 or contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
9. The application may be placed on the Consent Agenda of the Council Meeting, a part of the meeting where Council approves several matters with a single motion. If the application is not on the Consent Agenda, the staff planner may introduce the application, review the staff recommendation and any additional information provided to Council, and advise Council of any differences between the staff and DHSC recommendations. The applicant and other interested parties have an opportunity to make verbal and/or written submissions. Council may decide to approve, deny, or defer the application. If Council approves the application, the amending by-law may be approved at the same Council meeting, otherwise it will be approved at a future Council meeting.
10. When the amending by-law is passed, Council Services will mail a notice of the passing of the amending by-law to property owners and various public agencies within 15 days. There is a 20-day appeal period commencing the day after this notice is given. The notice will include the last day to file an appeal. An appeal is made to the Ontario Land Tribunal (OLT) through Council Services. If no appeal is filed, the amending by-law is final and binding as of the date of Council's passing of the by-law. Contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
11. If the rezoning is subject to a holding symbol, it is the responsibility of the property owner to satisfy the conditions to remove the holding symbol, to apply, and to pay the fee to remove the holding symbol.

CONTACT INFORMATION

Planning & Development Services
Suite 210
350 City Hall Square West
Windsor ON N9A 6S1

Telephone: 519-255-6543
Fax: 519-255-6544
Email: planningdept@citywindsor.ca
Web Site: www.citywindsor.ca

ZONING BY-LAW AMENDMENT APPLICATION

1. PLANNING CONSULTATION – Completion of Stage 2

Planning Consultation (Stage 2 Application) must be completed before this application can be submitted.

Has the Planning Consultation Stage 2 Application been completed? NO YES File Number: PC-_____

Staff Use Only

Signature of Staff Planner	Date of Consultation
<input type="checkbox"/> Jim Abbs <input type="checkbox"/> Brian Nagata <input type="checkbox"/> Adam Szymczak	<input type="checkbox"/> Kevin Alexander <input type="checkbox"/> Justina Nwaesei <input type="checkbox"/> Tracy Tang <input type="checkbox"/> Frank Garardo <input type="checkbox"/> Simona Simion <input type="checkbox"/> Laura Strahl <input type="checkbox"/> _____

2. REQUIRED SUPPORTING INFORMATION as Identified in the Planning Consultation Stage 2 Process:

For each document, provide one paper copy, and where possible, one digital copy on a USB flash drive or by email. All drawings or plans shall be in letter size (8.5 x 11 inches) in JPG and PDF format. All other document shall be provided in Word and PDF format. **All PDF documents shall be flattened with no layers.**

The City of Windsor reserves the right to require additional supporting information during the processing of the application. All supporting information submitted is made available for public review.

If you are submitting a companion application submit only one set of documents.

Staff Use Only

<input checked="" type="checkbox"/> Deed or Offer to Purchase	<input type="checkbox"/> Corporation Profile Report	<input checked="" type="checkbox"/> Site Plan Conceptual <i>(see Section 8)</i>	<input checked="" type="checkbox"/> Sketch of Subject Land <i>(see Section 11)</i>
<input type="checkbox"/> Archaeological Assessment – Stage 1	<input type="checkbox"/> Built Heritage Impact Study	<input type="checkbox"/> Environmental Evaluation Report	<input type="checkbox"/> Environmental Site Assessment
<input type="checkbox"/> Floor Plan and Elevations	<input type="checkbox"/> Geotechnical Study	<input type="checkbox"/> Guideline Plan	<input type="checkbox"/> Lighting Study
<input type="checkbox"/> Market Impact Assessment	<input type="checkbox"/> Micro-Climate Study	<input type="checkbox"/> Noise Study	<input type="checkbox"/> Planning Rationale Report
<input type="checkbox"/> Record of Site Condition <i>(see Schedule E)</i>	<input type="checkbox"/> Sanitary Sewer Study	<input type="checkbox"/> Species at Risk Screening	<input type="checkbox"/> Storm Sewer Study
<input type="checkbox"/> Storm Water Retention Scheme	<input type="checkbox"/> Topographic Plan of Survey	<input type="checkbox"/> Transportation Impact Statement	<input type="checkbox"/> Transportation Impact Study
<input type="checkbox"/> Tree Preservation	<input type="checkbox"/> Tree Survey Study	<input type="checkbox"/> Urban Design Study	<input type="checkbox"/> Vibration Study
<input type="checkbox"/> Wetland Evaluation Study	Other Required Information: _____		

ZONING BY-LAW AMENDMENT APPLICATION

3. APPLICANT, REGISTERED OWNER, AND AGENT INFORMATION

Provide in full the name of the applicant, registered owner, and agent, the name of the contact person, and address, postal code, phone number, fax number and email address.

If the applicant or registered owner is a numbered company, provide the name of the principals of the company. If there is more than one applicant or registered owner, copy this page, complete in full and submit with this application.

All communication is with the Agent authorized by the Owner to file the application. If there is no Agent, all communication is with the Applicant.

Applicant

Name: Lassaline Planning Consultants Contact: Jackie Lassaline
Name of Contact Person

Address: P.O. Box 52, 1632 County Road 31, St. Joachim NOR 1S0

Address: _____ Postal Code: _____

Phone: 519-563-8814 Fax: _____

Email: jackie@lassalineplan.ca

Registered Owner Same as Applicant

Name: 1722912 Ontario Ltd. -HD Development Group Contact: Steve Habib and Haider Habib
Name of Contact Person

Address: 5335 Outer Drive, Windsor ON N0A 6J3

Address: _____ Postal Code: _____

Phone: 519-966-6200 Fax: _____

Email: haider@hddevelopmentgroup.com

Agent Authorized by the Owner to File the Application (Also complete Section A1 in Schedule A)

Name: Lassaline Planning Consultants Contact: Jackie Lassaline
Name of Contact Person

Address: P.O. Box 52, 1632 County Road 31, St Joachim NOR 1S0

Address: _____ Postal Code: _____

Phone: _____ Fax: _____

Email: _____

4. COMPANION APPLICATIONS

Are you submitting a companion Official Plan Amendment application? NO YES

Are you submitting a companion Plan of Subdivision/Condominium application? NO YES

Please note that if a development proposal requires site plan approval, that application can only be submitted after the zoning amendment has been considered by City Council and the appeal period has concluded.

ZONING BY-LAW AMENDMENT APPLICATION

5. SUBJECT LAND INFORMATION

Municipal Address 4088-4096 6th Concession Road, Windsor

Legal Description 4088 - PIN 01560-2839; Lot 1, Plan 12M 665; Windsor
4096 - PIN: 01560-2640; Lot 2, Plan 12M 668; Windsor

Assessment Roll Number 4088 - 070-150-01501
4096 - 070-150-01502

If known, the date the subject land was acquired by the current owner: _____

Frontage (m) 40.7 m Depth (m) _____ Area (sq m) 2355.5 m2

Official Plan Designation Schedule 'D' - Residential North Roseland Secondary Plan- NR2-7 'Low Profile Residential

Current Zoning 'Residential District 1.2 (RD1.2)'

Existing Uses vacant

If known, the lengths of time that the existing uses have continued: _____

Previous Uses farmland

List the names and addresses of the holders of any mortgages, charges, or other encumbrances in respect of the subject land:

Are there any easements or restrictive covenants affecting the subject lands? NO YES

If yes, describe the easement or restrictive covenant and its effect:

If known, has the subject land ever been subject of: *(leave blank if unknown)*

An application for a Plan of Subdivision or Consent: NO YES File: _____

An application for an amendment to a Zoning By-law: NO YES File: PC-053/23

An application for approval of a Site Plan: NO YES SPC- _____

A Minister's Zoning Order (Ontario Regulation): NO YES OR#: _____

ZONING BY-LAW AMENDMENT APPLICATION

6. DESCRIPTION OF AMENDMENT

Amendment to Zoning By-law from: 'Residential District 1.2 (RD1.2)'

to: 'Residential District 3.2 (RD3.2)'

Proposed uses of subject land: multiple unit residential building with 21 units

Describe the nature and extent of the amendment(s) being requested:

1) change from (RD1.2) to (RD3.2);

2) parking at 1.14 sp/unit

3) Landscape open space - 30%

Why is this amendment or these amendments being requested?

To allow for a multiple dwelling unit with 21 units on the proposed double wide lot

Explain how the amendment to the Zoning By-law is consistent with the Provincial Policy Statement:

See Planning Rationale Report _____

Explain how the application conforms to the City of Windsor Official Plan:

See Planning Rationale Report _____

If this application is to remove land from an area of employment, details of the official plan or official plan amendment that deals with this matter:

See Planning Rationale Report

See Official Plan Amendment

ZONING BY-LAW AMENDMENT APPLICATION

7. EXISTING BUILDINGS / STRUCTURES ON SUBJECT LAND

Are there any buildings or structures on the subject land?

- NO Continue to Section 8
- YES Indicate the type of building or structure, the date of construction (if known), and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure and its dimensions or floor area.
 - See attached Existing Plan or Sketch of Subject Land

8. PROPOSED BUILDINGS / STRUCTURES ON SUBJECT LAND

Do you propose to build any buildings or structures on the subject land?

- NO Continue to Section 9
- YES Indicate the type of building or structure and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure, and its dimensions or floor area.
 - See attached concept plan

three storey, 21 unit multiple dwelling unit with 24 parking spaces, 3 bike parking and 1 loading space, and 30% landscaping

ZONING BY-LAW AMENDMENT APPLICATION

9. ACCESS TO SUBJECT LAND

Indicate if access to subject land is by: *(check all that apply)*

- Municipal Road Provincial Highway Another public road or a right-of-way
- Water - If access to the subject land is by water only, describe the parking and docking facilities used or to be used and provide the approximate distance in metric of these facilities from the subject land and the nearest public road:

10. WATER, SANITARY SEWAGE AND STORM DRAINAGE

WATER – Indicate whether water will be provided to the subject land by:

- Publicly owned & operated piped water system
- Privately owned & operated individual well
- Privately owned & operated communal well
- Other _____

SANITARY - Indicate whether sewage disposal will be provided to the subject land by:

- Publicly owned & operated sanitary sewage system
- Privately owned & operated individual septic system - See Note below
- Privately owned & operated communal septic system - See Note below
- Other _____

Note: If the application would permit development on privately owned and operated individual or communal septic systems, and more than 4,500 litres of effluent would be produced per day as a result of the development being completed, you must submit a Servicing Options Report and a Hydrogeological Report.

STORM DRAINAGE - Indicate whether storm drainage will be provided by:

- Sewers Ditches Swales Other _____

ZONING BY-LAW AMENDMENT APPLICATION

11. SKETCH OF SUBJECT LAND

Provide a sketch showing, in metric units,

- a) the boundaries and dimensions of the subject land;
- b) the location, size, and type of all existing and proposed buildings and structures on the subject land, including their distance from the front lot line, rear lot line, and side lines;
- c) the approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that are located on the subject land and on land that is adjacent to it, and in the applicant's opinion, may affect the application;
- d) the current uses of all land that is adjacent to the subject land;
- e) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road, or a right of way;
- f) if access to the subject land will be water only, the location of the parking and docking facilities to be used; and
- g) the location and nature of any easement affecting the subject land.

12. APPLICATION FEE & OTHER FEES

The amendment type and corresponding application fees are identified in the Planning Consultation Stage 2 process.

Fees may be subject to change and are not refundable once the application is deemed complete. Method of payment: Cash, Mastercard, Visa or Certified Cheque or Personal Cheque payable to The Corporation of the City of Windsor. If paying by Mastercard or Visa, contact the Senior Steno Clerk for further direction at planningdept@citywindsor.ca or 519-255-6543.

APPLICATION FEE

Amendment Type	Code	<input type="checkbox"/> Minor Rezoning	<input checked="" type="checkbox"/> Major Rezoning
Base Fee	53001	\$4,347.00	\$5,837.40
GIS Fee	63024	+ \$50.00	+ \$50.00
Essex Region Conservation Authority Fee	53023	+ <u>\$200.00</u>	+ <u>\$300.00</u>
Total Application Fee		= \$4,597.00	= \$6,187.40

The following fees are provided for information purposes. They are not due at this time but may be assessed depending on the type(s) of applications associated with the development proposal

OTHER FEES

- Re-Notification/Deferral Fee** Code 53016 \$2,258.40
Required when an applicant requests a deferral after notice of a public meeting has been given.
- Legal Fee - Servicing Agreement** Code 63002 \$597.64 plus \$50 per unit, lot, or block
Required when the preparation of a servicing agreement is a condition of approval.
- Removal of the Holding Symbol Application** Code 53001 \$1,536.00
It is the responsibility of the property owner to satisfy the conditions to remove the holding symbol and to apply and fee to remove the holding symbol.
- Ontario Land Tribunal (OLT) Appeal Fee** \$1,100.00
An appeal is made through Council Services (519-255-6211 or clerks@citywindsor.ca). Fees, forms, and processes are subject to change. Visit <https://olt.gov.on.ca> for additional information

ZONING BY-LAW AMENDMENT APPLICATION

13. PROPOSED PUBLIC CONSULTATION STRATEGY

Select or describe your proposed strategy for consulting with the public with respect to the application:

Required Public Consultation (Public Notice & Public Meeting as required per the Planning Act)

Open House

Website

Other _____

14. SWORN DECLARATION OF APPLICANT

Complete in the presence of a Commissioner for Taking Affidavits. If the declaration is to be administered remotely, you must be able to see, hear and communicate with the Commissioner and show documentation that confirms your identity.

I, Lassaline Planning Consultants, Jackie Lassaline, solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the applicant is accurate and that the information contained in the documents that accompany this application is accurate, that if this declaration was administered remotely that it was in accordance with Ontario Regulation 431/20, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Jackeline Lassaline
Signature of Applicant

*Sign in the presence of a Commissioner
For Taking Affidavits*

Municipality of Lakeshore

Location of Applicant at time of declaration

This declaration was administered remotely in accordance with Ontario Regulation 431/20


Declared before me at Town of Kingsville at the County of Essex

Signature of Commissioner

Location of Commissioner

this 13th day of June, 2024
day month year

PLACE AN IMPRINT OF YOUR STAMP BELOW


Tammy Ann Snively, a Commissioner, etc.,
Province of Ontario, for McGregor, Sims, Schmoranz
Professional Corporation, Barristers and Solicitors.
Expires April 25, 2026.

READ & COMPLETE SCHEDULES A & E IN FULL & SIGN

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements

A1. Authorization of Registered Owner for Agent to Make the Application

If the applicant is not the registered owner of the land that is the subject of this application, the written authorization of the registered owner that the agent is authorized to make the application must be included with this application form or the authorization below must be completed.

I, HD Development Group - Haider Habib, am the registered owner of the land that is
Name of Registered Owner

subject of this application for an amendment to the City of Windsor Zoning By-law and I authorize

Lassaline Planning Consultants, Jackie Lassaline to make this application on my behalf.
Name of Agent



Signature of Registered Owner

June 12, 2024

Date

If Corporation - I have authority to bind the corporation

A2. Authorization to Enter Upon the Subject Lands and Premises

I, HD Development Group,
Name of Registered Owner

hereby authorize the Development and Heritage Standing Committee or their successor, City Council, and staff of The Corporation of the City of Windsor to enter upon the subject lands and premises described in Section 5 of the application form for the purpose of evaluating the merits of this application and subsequently to conduct any inspections on the subject lands that may be required as a condition of approval. This is their authority for doing so.



Signature of Registered Owner

June 12, 2024

Date

If Corporation – I have authority to bind the corporation

SCHEDULE A CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements - *Continued*

A3. Acknowledgements

Receipt, Fees, Additional Information, Termination, and Freedom of Information

I acknowledge that receipt of this application by the City of Windsor does not guarantee it to be a complete application, that further review of the application will occur, and that I may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted.

I further acknowledge that after the application is deemed complete, fees are not refundable, additional information may be requested, and that after 60 days of inactivity the City of Windsor may terminate the application without notice.

I further acknowledge that pursuant to the provisions of the Planning Act and the Municipal Freedom of Information and Protection of Privacy Act, this application and all material and information provided with this application are made available to the public.

Species at Risk

Ontario's *Endangered Species Act* protects endangered and threatened species — animals and plants in decline and at risk of disappearing from the province by restricting activities that may affect these plants, animals or their habitats.

I acknowledge that it is my sole responsibility as the Applicant to comply with the provisions of the *Endangered Species Act, 2007, S. O. c.6*. This could require me to register an activity, get a permit or other authorization from the Ministry of the Environment, Conservation and Parks (MECP) prior to conducting an activity that could impact an endangered or threatened plant or animal or its habitat. I further acknowledge that any *Planning Act, R.S.O. 1990, c.P.13* approval given by the City of Windsor does not constitute an approval under the *Endangered Species Act*, nor does it absolve me from seeking the necessary authorization, approvals or permits from the MECP prior to conducting any activity that may affect endangered or threatened plant or animal or its habitat.

Additional information can be found at:

<https://www.ontario.ca/page/development-and-infrastructure-projects-and-endangered-or-threatened-species>
or by contacting MECP at SAROntario@ontario.ca

Acknowledgement

I acknowledge that I have read and understand the above statements:



Signature of Applicant or Agent

June 12, 2024

Date

**END OF SCHEDULE A
COMPLETE SCHEDULE E ON NEXT PAGE**

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E – Environmental Site Screening Questionnaire

Previous Use of Property

- Residential Industrial Commercial Institutional
 Agricultural Parkland Vacant Other _____

- a) If previous use of the property is Industrial or Commercial, specify use:

- b) Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?
 Yes No Unknown
- c) Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- d) Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- e) Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- f) Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been applied as pesticides and/or sewage sludge applied to the lands?
 Yes No Unknown
- g) Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- h) Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational/non-operational public or private waste disposal site, landfill or dump?
 Yes No Unknown
- i) If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- j) Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*

* Possible uses that can cause contamination include but are not limited to: operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry cleaning plants have similar potential. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals that are present.

- k) If current or previous use of the property is Industrial or Commercial, or if YES to any of a) to j) above, attach a previous use inventory showing all former uses of the subject land, or if applicable, the land(s) adjacent to the subject lands.

SCHEDULE E CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E - CONTINUED

Acknowledgement Clause

I hereby acknowledge that it is my responsibility to ensure that I am in compliance with all applicable laws, regulations, guidelines and the City's Official Plan policies pertaining to potentially contaminated sites, and to use all reasonable effort to identify the potential for contamination on the subject property.

I acknowledge that as a condition of approval of this application that the City may require me to file a Record of Site Condition signed by a qualified person in the provincial Environmental Site Registry, and provide verification to the City of Windsor of acknowledgement of this Record of Site Condition by the Ministry of Environment.

I acknowledge that the City may require the qualified person signing the Record of Site Condition to submit to the City a Declaration acknowledging that the City of Windsor may rely on the statements in the Record of Site Condition.

I acknowledge that the City of Windsor is not responsible for the identification and/or remediation of contaminated sites, and I agree, whether in, through, or as a result of any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Windsor, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

Lassaline Planning Consultants, Jackie Lassaline

Name of Applicant (print)

Jacqueline Lassaline
Signature of Applicant

June 12, 2024

Date

Lassaline Planning Consultants, Jackie Lassaline

Name of Agent (print)

Jacqueline Lassaline
Signature of Agent

June 12, 2024

Date

END OF SCHEDULE E

ZONING BY-LAW AMENDMENT APPLICATION

DO NOT COMPLETE BELOW – STAFF USE ONLY

Receipt and Assignment of Application	Date Received Stamp
This application has been assigned to:	
<input type="checkbox"/> Adam Szymczak (AS)	<input type="checkbox"/> Brian Nagata (BN)
<input type="checkbox"/> Frank Garardo (FG)	<input type="checkbox"/> Tracy Tang (TT)
<input type="checkbox"/> Jim Abbs (JA)	<input type="checkbox"/> Justina Nwaesei (JN)
<input type="checkbox"/> Kevin Alexander (KA)	<input type="checkbox"/> Laura Strahl (LS)
<input type="checkbox"/> Simona Simion (SS)	<input type="checkbox"/> _____

Complete Application		
This application is deemed complete on _____ <div style="text-align: right;"><i>Date</i></div>		

<i>Signature of Delegated Authority</i>		
<input type="checkbox"/> Neil Robertson, MCIP, RPP Manager of Urban Design	<input type="checkbox"/> Greg Atkinson, MCIP, RPP Manager of Development	<input type="checkbox"/> Thom Hunt, MCIP, RPP City Planner & Executive Director

Internal Information
Fee Paid: \$ _____ Receipt No: _____ Date: _____
Payment Type: <input type="checkbox"/> Cash <input type="checkbox"/> Certified Cheque <input type="checkbox"/> Credit Card <input type="checkbox"/> Personal Cheque
NEW Zoning File No. ZNG/ _____ Z- _____
Previous Zoning File No. ZNG/ _____ Z- _____
Related OPA File No. OPA/ _____ OPA _____
Other File Numbers: _____
Notes: _____

THIS IS THE LAST PAGE OF THE APPLICATION FORM

PLANNING DEPARTMENT – DEVELOPMENT DIVISION

Memo

To: City Clerk

From: City Planner/Executive Director

Date: October 2, 2024

Subject: TRANSMITTAL OF NEW FILE

Our File Number: Z-028/24 [ZNG/7232]

RE: Application For: Zoning Amendment Official Plan Amendment
 Part Lot Control Draft Plan of Subdivision/Condominium

Applicant: HAUSOLOGY INC.

Location: 926-928 GILES BOULEVARD

Description: Application to amend Zoning By-law 8600 to permit a multiple dwelling with six units.

The ZONING AMENDMENT application submitted by HAUSOLOGY INC. for 926-928 GILES BOULEVARD has been deemed as complete on SEPTEMBER 24, 2024.

Enclosures:

- 1 copy of Application Form
- 1 copy of Drawings
- 1 copy of Site Plan



Neil Robertson, MCIP, RPP
City Planner, Executive Director

NR/nm

September 27, 2024

Dillon Consulting Ltd.
c/o Melanie Muir
3200 Deziel Dr., Suite 608
Windsor, ON N8W 5K8

Dear Agent,


Re: ZONING BYLAW AMENDMENT
APPLICANT: HAUSOLOGY INC.
LOCATION: 926-928 GILES BOULEVARD EAST
FILE NO.: Z 028/24 [ZNG/7232]

This is to acknowledge receipt of the application for a rezoning amendment which has been assigned the above-referenced file number. In accordance with the delegation authority as prescribed by By-Law 139-2013, the information and material required has been provided, therefore the application was deemed COMPLETE on September 24, 2024, and processing has begun.

You will be advised prior to the Development & Heritage Standing Committee and Council meetings of the position of the Planning Department on the application and the dates of the public meetings.

Please email me at ssimion@citywindsor.ca, if you have any questions.

Sincerely,



Simona Simion
Planner II – Development Review

SS/nm

ZONING BY-LAW AMENDMENT APPLICATION

INSTRUCTIONS

Verify that you are using the most current application form.

- Section 1: Before this application can be submitted, you must complete both Stage 1 and Stage 2 Planning Consultation Applications.
- Section 2: During the Stage 2 process, any required studies must be completed and submitted for review and comment. The final studies for Stage 2 must be included with this application and the proposal must remain unchanged.
- Section 3: Provide the full name, address, phone number, fax number and email address of the applicant, agent, and registered owner. If any of these are a corporation, provide the full corporate name. Include the full name of the contact person. If there is more than one person, corporation, or registered owner, use additional sheets.
- Section 4: Indicate if you are submitting other companion applications with this application. Please note that an application to amend the Official Plan or an application for Plan of Subdivision/Condominium are the only applications that will be accepted for processing concurrently with a Zoning Amendment.
- Section 5: Provide information about the subject land. This information is used to determine supporting information requirements and to assist in the review of the application.
- Section 6: Indicate the amendment, proposed uses and describe the nature and extent of the amendment being requested. Indicate why the amendment is being requested and how it is consistent with the Provincial Policy Statement and conforms to the City of Windsor Official Plan.
- Section 7: If there are any existing buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows this information.
- Section 8: If you propose to build any buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows the information.
- Section 9: Indicate how the property is accessed. Check all boxes that apply.
- Section 10: Provide information about water service, sanitary sewage disposal, and storm drainage.
- Section 11: Provide a sketch of the subject land showing, in metric units, the items listed or indicate if this information is provided on an existing plan or a conceptual site plan.
- Section 12: Please refer to the Stage 2 Planning Consultation letter for details regarding the fees needing to be paid.
- Section 13: Explain your proposed strategy for consulting with the public with respect to the application.
- Section 14: Complete and sign in the presence of a Commissioner of Taking Affidavits.
- Other: Read, complete in full, and sign Schedules A & E.

Submit application form, supporting information, and application fee to Senior Steno Clerk at Planning & Development Services, Suite 210, 350 City Hall Square West, Windsor ON N9A 6S1 or planningdept@citywindsor.ca

TYPE OF REZONING AMENDMENT

DATE RECEIVED STAMP

The type of amendment is stated in the Stage 2 Consultation letter.

Minor Zoning Amendment:

- Site zoned commercial, institutional, or manufacturing
 - Addition to the list of permitted uses
- Site already zoned
 - Change to existing regulations or to zoning district boundary to match lot lines
- Site designated in the Official Plan for residential use
 - Rezoning to accommodate a maximum of six dwelling units
- Site designated in the Official Plan for the proposed use other than residential
 - Site-specific zoning for a site with a lot area of less than 1,000.0 m²

Major Zoning Amendment: Any other amendment not listed as minor.

ZONING BY-LAW AMENDMENT APPLICATION

ZONING BY-LAW AMENDMENT PROCESS

The application will be terminated without notice after 60 days of inactivity. The following is for your information only. Review the Planning Act and relevant regulations for statutory requirements. The processing of the application is subject to change. Direct all questions to the assigned Planner. The process is generally as follows:

1. The application is reviewed to ensure all prescribed and required information and the fee have been submitted. Within 30 days of the receipt of the application, you will be notified in writing that the application is deemed incomplete or complete.
2. If deemed incomplete, the application and fee will be returned. If deemed complete, fees are not refundable, the application is circulated to departments and external agencies for review and comment, and all submitted documents are made available to the public.
3. Following circulation, a draft staff report containing a recommendation and any conditions is prepared. The City Planner and other staff review the draft staff report.
4. When the staff report is approved by appropriate municipal staff, it will be scheduled for a future meeting of the Development and Heritage Standing Committee (DHSC).
5. The DHSC meeting is the public meeting required by the Planning Act. Public notice of the DHSC meeting is advertised in the Windsor Star, a local newspaper, at least 20 days in advance of the DHSC meeting. A courtesy notice may be mailed to property owners and/or tenants within 120 metres or more of the subject land.
6. 10 days prior to the DHSC meeting, the staff report is circulated to the applicant and DHSC members and made available to the public. All supporting documentation submitted by the applicant is available for review.
7. At the DHSC meeting, a staff planner may make a presentation. The applicant and other parties have an opportunity to provide verbal and/or written submissions. The DHSC may ask questions of staff, the applicant, agent, and other parties. The DHSC may decide to defer or recommend approval or denial of the application.
8. If deferred, the application along with any additional information or a new staff report will be considered at a future DHSC meeting. If recommended for approval or denial, the staff report, the minutes of the DHSC meeting, and the amending by-law are forwarded to City of Windsor Council for consideration at a future date. The applicant, agent and all interested parties will be notified by Council Services of the date, time, and location of the Council meeting. Call 311 or contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
9. The application may be placed on the Consent Agenda of the Council Meeting, a part of the meeting where Council approves several matters with a single motion. If the application is not on the Consent Agenda, the staff planner may introduce the application, review the staff recommendation and any additional information provided to Council, and advise Council of any differences between the staff and DHSC recommendations. The applicant and other interested parties have an opportunity to make verbal and/or written submissions. Council may decide to approve, deny, or defer the application. If Council approves the application, the amending by-law may be approved at the same Council meeting, otherwise it will be approved at a future Council meeting.
10. When the amending by-law is passed, Council Services will mail a notice of the passing of the amending by-law to property owners and various public agencies within 15 days. There is a 20-day appeal period commencing the day after this notice is given. The notice will include the last day to file an appeal. An appeal is made to the Ontario Land Tribunal (OLT) through Council Services. If no appeal is filed, the amending by-law is final and binding as of the date of Council's passing of the by-law. Contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
11. If the rezoning is subject to a holding symbol, it is the responsibility of the property owner to satisfy the conditions to remove the holding symbol, to apply, and to pay the fee to remove the holding symbol.

CONTACT INFORMATION

Planning & Development Services
Suite 210
350 City Hall Square West
Windsor ON N9A 6S1

Telephone: 519-255-6543
Fax: 519-255-6544
Email: planningdept@citywindsor.ca
Web Site: www.citywindsor.ca

ZONING BY-LAW AMENDMENT APPLICATION

1. PLANNING CONSULTATION – Completion of Stage 2

Planning Consultation (Stage 2 Application) must be completed before this application can be submitted.

Has the Planning Consultation Stage 2 Application been completed? NO YES File Number: PC- 075/24

Staff Use Only

Signature of Staff Planner	Date of Consultation
<input type="checkbox"/> Jim Abbs	<input type="checkbox"/> Kevin Alexander
<input type="checkbox"/> Brian Nagata	<input type="checkbox"/> Justina Nwaesei
<input type="checkbox"/> Adam Szymczak	<input type="checkbox"/> Tracy Tang
	<input type="checkbox"/> Frank Garardo
	<input type="checkbox"/> Simona Simion
	<input type="checkbox"/> Laura Strahl
	<input type="checkbox"/> _____

2. REQUIRED SUPPORTING INFORMATION as Identified in the Planning Consultation Stage 2 Process:

For each document, provide one paper copy, and where possible, one digital copy on a USB flash drive or by email. All drawings or plans shall be in letter size (8.5 x 11 inches) in JPG and PDF format. All other document shall be provided in Word and PDF format. **All PDF documents shall be flattened with no layers.**

The City of Windsor reserves the right to require additional supporting information during the processing of the application. All supporting information submitted is made available for public review.

If you are submitting a companion application submit only one set of documents.

Staff Use Only

<input checked="" type="checkbox"/> Deed or Offer to Purchase	<input type="checkbox"/> Corporation Profile Report	<input checked="" type="checkbox"/> Site Plan Conceptual (see Section 8)	<input checked="" type="checkbox"/> Sketch of Subject Land (see Section 11)
<input type="checkbox"/> Archaeological Assessment – Stage 1	<input type="checkbox"/> Built Heritage Impact Study	<input type="checkbox"/> Environmental Evaluation Report	<input type="checkbox"/> Environmental Site Assessment
<input type="checkbox"/> Floor Plan and Elevations	<input type="checkbox"/> Geotechnical Study	<input type="checkbox"/> Guideline Plan	<input type="checkbox"/> Lighting Study
<input type="checkbox"/> Market Impact Assessment	<input type="checkbox"/> Micro-Climate Study	<input type="checkbox"/> Noise Study	<input type="checkbox"/> Planning Rationale Report
<input type="checkbox"/> Record of Site Condition (see Schedule E)	<input type="checkbox"/> Sanitary Sewer Study	<input type="checkbox"/> Species at Risk Screening	<input type="checkbox"/> Storm Sewer Study
<input type="checkbox"/> Storm Water Retention Scheme	<input type="checkbox"/> Topographic Plan of Survey	<input type="checkbox"/> Transportation Impact Statement	<input type="checkbox"/> Transportation Impact Study
<input type="checkbox"/> Tree Preservation	<input type="checkbox"/> Tree Survey Study	<input type="checkbox"/> Urban Design Study	<input type="checkbox"/> Vibration Study
<input type="checkbox"/> Wetland Evaluation Study	Other Required Information: _____		

ZONING BY-LAW AMENDMENT APPLICATION

3. APPLICANT, REGISTERED OWNER, AND AGENT INFORMATION

Provide in full the name of the applicant, registered owner, and agent, the name of the contact person, and address, postal code, phone number, fax number and email address.

If the applicant or registered owner is a numbered company, provide the name of the principals of the company. If there is more than one applicant or registered owner, copy this page, complete in full and submit with this application.

All communication is with the Agent authorized by the Owner to file the application. If there is no Agent, all communication is with the Applicant.

Applicant

Name: Hausology Inc. Contact: Dan Grenier
Name of Contact Person

Address: 380 Manning Road, Tecumseh, Ontario

Address: _____ Postal Code: N8N 4W5

Phone: 226-787-7842 Fax: _____

Email: daniel@perealestatesolutions.com

Registered Owner Same as Applicant

Name: _____ Contact: _____
Name of Contact Person

Address: _____

Address: _____ Postal Code: _____

Phone: _____ Fax: _____

Email: _____

Agent Authorized by the Owner to File the Application (Also complete Section A1 in Schedule A)

Name: Dillon Consulting Limited Contact: Melanie Muir
Name of Contact Person

Address: 3200 Deziel Drive, Suite 608

Address: Windsor, Ontario Postal Code: N8W 5K8

Phone: 519-791-2221 Fax: 519-948-5054

Email: mmuir@dillon.ca

4. COMPANION APPLICATIONS

Are you submitting a companion Official Plan Amendment application? NO YES

Are you submitting a companion Plan of Subdivision/Condominium application? NO YES

Please note that if a development proposal requires site plan approval, that application can only be submitted after the zoning amendment has been considered by City Council and the appeal period has concluded.

ZONING BY-LAW AMENDMENT APPLICATION

5. SUBJECT LAND INFORMATION

Municipal Address 926-928 Giles Boulevard East, Windsor, Ontario N9A 4G1

Legal Description Lot 53, RP 937

Assessment Roll Number 030-270-07600

If known, the date the subject land was acquired by the current owner: _____

Frontage (m) 11.2 Depth (m) 42 Area (sq ~~ft~~) _____

Official Plan Designation Residential

Current Zoning RD 2.2

Existing Uses 4 unit residential dwelling

If known, the lengths of time that the existing uses have continued: Built in 1925

Previous Uses duplex dwelling

List the names and addresses of the holders of any mortgages, charges, or other encumbrances in respect of the subject land:

N/A

Are there any easements or restrictive covenants affecting the subject lands? NO YES

If yes, describe the easement or restrictive covenant and its effect: X

If known, has the subject land ever been subject of: *(leave blank if unknown)*

An application for a Plan of Subdivision or Consent: NO YES File: _____

An application for an amendment to a Zoning By-law: NO YES File: _____

An application for approval of a Site Plan: NO YES SPC- _____

A Minister's Zoning Order (Ontario Regulation): NO YES OR#: _____

ZONING BY-LAW AMENDMENT APPLICATION

6. DESCRIPTION OF AMENDMENT

Amendment to Zoning By-law from: Residential District 2.2 (RD 2.2)

to: Site Specific Residential District 2.2 (RD 2.2)

Proposed uses of subject land: 6 unit multiple dwelling building with associated parking area

Describe the nature and extent of the amendment(s) being requested:

Rezoning is required to permit an additional two (2) units within the existing 4 unit building. Site-specific provisions for reductions in the lot frontage, from 18m to 11.2m, reduction in lot area from 540m² to 469.4m² and reduction in parking from 7 spaces to 4 spaces is required.

Why is this amendment or these amendments being requested?

The current zoning permits multiple residential dwellings with up to four (4) units. The proposed development will require a site-specific Zoning By-law Amendment for a Residential 3.3 (RD3.3) zone on the subject site to allow for the development of 6 multiple residential dwelling units and the above noted site specific provisions.

Explain how the amendment to the Zoning By-law is consistent with the Provincial Policy Statement:

See Planning Rationale Report _____

Explain how the application conforms to the City of Windsor Official Plan:

See Planning Rationale Report _____

If this application is to remove land from an area of employment, details of the official plan or official plan amendment that deals with this matter:

See Planning Rationale Report See Official Plan Amendment

N/A

ZONING BY-LAW AMENDMENT APPLICATION

7. EXISTING BUILDINGS / STRUCTURES ON SUBJECT LAND

Are there any buildings or structures on the subject land?

- NO Continue to Section 8
- YES Indicate the type of building or structure, the date of construction (if known), and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure and its dimensions or floor area.
 - See attached Existing Plan or Sketch of Subject Land

8. PROPOSED BUILDINGS / STRUCTURES ON SUBJECT LAND

Do you propose to build any buildings or structures on the subject land?

- NO Continue to Section 9
- YES Indicate the type of building or structure and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure, and its dimensions or floor area.
 - See attached concept plan

Proposed additional units will be located within the existing basements of the current units. No additional buildings or construction above ground is required.

ZONING BY-LAW AMENDMENT APPLICATION

9. ACCESS TO SUBJECT LAND

Indicate if access to subject land is by: *(check all that apply)*

- Municipal Road Provincial Highway Another public road or a right-of-way
- Water - If access to the subject land is by water only, describe the parking and docking facilities used or to be used and provide the approximate distance in metric of these facilities from the subject land and the nearest public road:

10. WATER, SANITARY SEWAGE AND STORM DRAINAGE

WATER – Indicate whether water will be provided to the subject land by:

- Publicly owned & operated piped water system
- Privately owned & operated individual well
- Privately owned & operated communal well
- Other _____

SANITARY - Indicate whether sewage disposal will be provided to the subject land by:

- Publicly owned & operated sanitary sewage system
- Privately owned & operated individual septic system - See Note below
- Privately owned & operated communal septic system - See Note below
- Other _____

Note: If the application would permit development on privately owned and operated individual or communal septic systems, and more than 4,500 litres of effluent would be produced per day as a result of the development being completed, you must submit a Servicing Options Report and a Hydrogeological Report.

STORM DRAINAGE - Indicate whether storm drainage will be provided by:

- Sewers Ditches Swales Other _____

ZONING BY-LAW AMENDMENT APPLICATION

11. SKETCH OF SUBJECT LAND

Provide a sketch showing, in metric units,

- a) the boundaries and dimensions of the subject land;
- b) the location, size, and type of all existing and proposed buildings and structures on the subject land, including their distance from the front lot line, rear lot line, and side lines;
- c) the approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that are located on the subject land and on land that is adjacent to it, and in the applicant's opinion, may affect the application;
- d) the current uses of all land that is adjacent to the subject land;
- e) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road, or a right of way;
- f) if access to the subject land will be water only, the location of the parking and docking facilities to be used; and
- g) the location and nature of any easement affecting the subject land.

12. APPLICATION FEE & OTHER FEES

The amendment type and corresponding application fees are identified in the Planning Consultation Stage 2 process.

Fees may be subject to change and are not refundable once the application is deemed complete. Method of payment: Cash, Mastercard, Visa or Certified Cheque or Personal Cheque payable to The Corporation of the City of Windsor. If paying by Mastercard or Visa, contact the Senior Steno Clerk for further direction at planningdept@citywindsor.ca or 519-255-6543.

APPLICATION FEE

Amendment Type	Code	<input checked="" type="checkbox"/> Minor Rezoning	<input type="checkbox"/> Major Rezoning
Base Fee	53001	\$4,347.00	\$5,837.40
GIS Fee	63024	+ \$50.00	+ \$50.00
Essex Region Conservation Authority Fee	53023	+ <u>\$200.00</u>	+ <u>\$300.00</u>
Total Application Fee		= \$4,597.00	= \$6,187.40

The following fees are provided for information purposes. They are not due at this time but may be assessed depending on the type(s) of applications associated with the development proposal

OTHER FEES

- Re-Notification/Deferral Fee** Code 53016 \$2,258.40
 Required when an applicant requests a deferral after notice of a public meeting has been given.
- Legal Fee - Servicing Agreement** Code 63002 \$597.64 plus \$50 per unit, lot, or block
 Required when the preparation of a servicing agreement is a condition of approval.
- Removal of the Holding Symbol Application** Code 53001 \$1,536.00
 It is the responsibility of the property owner to satisfy the conditions to remove the holding symbol and to apply and fee to remove the holding symbol.
- Ontario Land Tribunal (OLT) Appeal Fee** \$1,100.00
 An appeal is made through Council Services (519-255-6211 or clerks@citywindsor.ca). Fees, forms, and processes are subject to change. Visit <https://olt.gov.on.ca> for additional information

ZONING BY-LAW AMENDMENT APPLICATION

13. PROPOSED PUBLIC CONSULTATION STRATEGY

Select or describe your proposed strategy for consulting with the public with respect to the application:

- Required Public Consultation (Public Notice & Public Meeting as required per the Planning Act)
 - Open House Website Other _____
-
-
-

14. SWORN DECLARATION OF APPLICANT

Complete in the presence of a Commissioner for Taking Affidavits. If the declaration is to be administered remotely, you must be able to see, hear and communicate with the Commissioner and show documentation that confirms your identity.

I, Daniel Grenier of Hausology Inc., solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the applicant is accurate and that the information contained in the documents that accompany this application is accurate, that if this declaration was administered remotely that it was in accordance with Ontario Regulation 431/20, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.



Daniel Grenier

Dillon Consulting Limited in the City of Windsor

Signature of Applicant

Location of Applicant at time of declaration

*Sign in the presence of a Commissioner
For Taking Affidavits*

This declaration was administered remotely in accordance with Ontario Regulation 431/20

Declared before me *[Signature]* at the Dillon Consulting Limited in the City of Windsor

Signature of Commissioner

Location of Commissioner

this 9 day of August, 2024

day

month

year

PLACE AN IMPRINT OF YOUR STAMP BELOW

MELANIE ANNE MUIR,
 a Commissioner, etc., Province of Ontario,
 for Dillon Consulting Limited.
 Expires May 3, 2025.

READ & COMPLETE SCHEDULES A & E IN FULL & SIGN

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements

A1. Authorization of Registered Owner for Agent to Make the Application

If the applicant is not the registered owner of the land that is the subject of this application, the written authorization of the registered owner that the agent is authorized to make the application must be included with this application form or the authorization below must be completed.

I, Daniel Grenier of Hausology Inc., am the registered owner of the land that is
Name of Registered Owner

subject of this application for an amendment to the City of Windsor Zoning By-law and I authorize

Dillon Consulting Limited to make this application on my behalf.
Name of Agent

 *Daniel Grenier*

August 9, 2024

Signature of Registered Owner

Date

If Corporation - I have authority to bind the corporation

A2. Authorization to Enter Upon the Subject Lands and Premises

Daniel Grenier of Hausology Inc.
I, _____,
Name of Registered Owner

hereby authorize the Development and Heritage Standing Committee or their successor, City Council, and staff of The Corporation of the City of Windsor to enter upon the subject lands and premises described in Section 5 of the application form for the purpose of evaluating the merits of this application and subsequently to conduct any inspections on the subject lands that may be required as a condition of approval. This is their authority for doing so.

 *Daniel Grenier*

August 9, 2024

Signature of Registered Owner

Date

If Corporation – I have authority to bind the corporation

SCHEDULE A CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements - *Continued*

A3. Acknowledgements

Receipt, Fees, Additional Information, Termination, and Freedom of Information

I acknowledge that receipt of this application by the City of Windsor does not guarantee it to be a complete application, that further review of the application will occur, and that I may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted.

I further acknowledge that after the application is deemed complete, fees are not refundable, additional information may be requested, and that after 60 days of inactivity the City of Windsor may terminate the application without notice.

I further acknowledge that pursuant to the provisions of the Planning Act and the Municipal Freedom of Information and Protection of Privacy Act, this application and all material and information provided with this application are made available to the public.

Species at Risk

Ontario's *Endangered Species Act* protects endangered and threatened species — animals and plants in decline and at risk of disappearing from the province by restricting activities that may affect these plants, animals or their habitats.

I acknowledge that it is my sole responsibility as the Applicant to comply with the provisions of the *Endangered Species Act, 2007, S. O. c.6*. This could require me to register an activity, get a permit or other authorization from the Ministry of the Environment, Conservation and Parks (MECP) prior to conducting an activity that could impact an endangered or threatened plant or animal or its habitat. I further acknowledge that any *Planning Act, R.S.O. 1990, c.P.13* approval given by the City of Windsor does not constitute an approval under the *Endangered Species Act*, nor does it absolve me from seeking the necessary authorization, approvals or permits from the MECP prior to conducting any activity that may affect endangered or threatened plant or animal or its habitat.

Additional information can be found at:

<https://www.ontario.ca/page/development-and-infrastructure-projects-and-endangered-or-threatened-species>

or by contacting MECP at SAROntario@ontario.ca

Acknowledgement

I acknowledge that I have read and understand the above statements:

 Daniel Grenier

Signature of Applicant or Agent

August 9, 2024

Date

**END OF SCHEDULE A
COMPLETE SCHEDULE E ON NEXT PAGE**

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E – Environmental Site Screening Questionnaire

Previous Use of Property

- | | | | |
|---|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial | <input type="checkbox"/> Institutional |
| <input type="checkbox"/> Agricultural | <input type="checkbox"/> Parkland | <input type="checkbox"/> Vacant | <input type="checkbox"/> Other _____ |

- a) If previous use of the property is Industrial or Commercial, specify use:

- b) Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?
 Yes No Unknown
- c) Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- d) Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- e) Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- f) Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been applied as pesticides and/or sewage sludge applied to the lands?
 Yes No Unknown
- g) Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- h) Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational/non-operational public or private waste disposal site, landfill or dump?
 Yes No Unknown
- i) If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- j) Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*

** Possible uses that can cause contamination include but are not limited to: operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry cleaning plants have similar potential. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals that are present.*

- k) If current or previous use of the property is Industrial or Commercial, or if YES to any of a) to j) above, attach a previous use inventory showing all former uses of the subject land, or if applicable, the land(s) adjacent to the subject lands.

SCHEDULE E CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E - CONTINUED

Acknowledgement Clause

I hereby acknowledge that it is my responsibility to ensure that I am in compliance with all applicable laws, regulations, guidelines and the City's Official Plan policies pertaining to potentially contaminated sites, and to use all reasonable effort to identify the potential for contamination on the subject property.

I acknowledge that as a condition of approval of this application that the City may require me to file a Record of Site Condition signed by a qualified person in the provincial Environmental Site Registry, and provide verification to the City of Windsor of acknowledgement of this Record of Site Condition by the Ministry of Environment.

I acknowledge that the City may require the qualified person signing the Record of Site Condition to submit to the City a Declaration acknowledging that the City of Windsor may rely on the statements in the Record of Site Condition.

I acknowledge that the City of Windsor is not responsible for the identification and/or remediation of contaminated sites, and I agree, whether in, through, or as a result of any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Windsor, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

Daniel Grenier



Name of Applicant (print)

Signature of Applicant

August 9, 2024

Date

Melanie Muir



Name of Agent (print)

Signature of Agent

August 9, 2024

Date

END OF SCHEDULE E

ZONING BY-LAW AMENDMENT APPLICATION

DO NOT COMPLETE BELOW – STAFF USE ONLY

Receipt and Assignment of Application	Date Received Stamp
This application has been assigned to:	
<input type="checkbox"/> Adam Szymczak (AS)	<input type="checkbox"/> Brian Nagata (BN)
<input type="checkbox"/> Frank Garardo (FG)	<input type="checkbox"/> Tracy Tang (TT)
<input type="checkbox"/> Jim Abbs (JA)	<input type="checkbox"/> Justina Nwaesei (JN)
<input type="checkbox"/> Kevin Alexander (KA)	<input type="checkbox"/> Laura Strahl (LS)
<input type="checkbox"/> Simona Simion (SS)	<input type="checkbox"/> _____

Complete Application
This application is deemed complete on _____ <i>Date</i>
_____ <i>Signature of Delegated Authority</i>
<input type="checkbox"/> Neil Robertson, MCIP, RPP Manager of Urban Design <input type="checkbox"/> Greg Atkinson, MCIP, RPP Manager of Development <input type="checkbox"/> Thom Hunt, MCIP, RPP City Planner & Executive Director

Internal Information
Fee Paid: \$ _____ Receipt No: _____ Date: _____
Payment Type: <input type="checkbox"/> Cash <input type="checkbox"/> Certified Cheque <input type="checkbox"/> Credit Card <input type="checkbox"/> Personal Cheque
NEW Zoning File No. ZNG/ _____ Z- _____
Previous Zoning File No. ZNG/ _____ Z- _____
Related OPA File No. OPA/ _____ OPA _____
Other File Numbers: _____
Notes: _____

THIS IS THE LAST PAGE OF THE APPLICATION FORM

PLANNING DEPARTMENT – DEVELOPMENT DIVISION

Memo

To: City Clerk

From: City Planner/Executive Director

Date: October 2, 2024

Subject: TRANSMITTAL OF NEW FILE

Our File Number: Z-029/24 [ZNG/7233]

RE: Application For: Zoning Amendment Official Plan Amendment
 Part Lot Control Draft Plan of Subdivision/Condominium

Applicant: DARDEVCO INC.

Location: 0 NORTH SERVICE ROAD

Description: Application to amend Zoning By-law 8600 to permit self storage units.

The ZONING AMENDMENT application submitted by DARDEVCO INC. for 0 NORTH SERVICE ROAD has been deemed as complete on SEPTEMBER 25, 2024.

Enclosures:

- 1 copy of Application Form
- 1 copy of Drawings
- 1 copy of Site Plan



Neil Robertson, MCIP, RPP
City Planner, Executive Director

NR/nm

October 2, 2024

Pillon Abbs Inc.
c/o Tracey Pillon-Abbs
23669 Prince Albert Rd.
Chatham, ON N7M 5J7

Dear Applicant,

Re: ZONING BYLAW AMENDMENT
APPLICANT: DARDEVCO INC.
LOCATION: 0 NORTH SERVICE ROAD
FILE NO.: Z 029/24 [ZNG/7233]

This is to acknowledge receipt of the application for a rezoning amendment which has been assigned the above-referenced file number. In accordance with the delegation authority as prescribed by By-Law 139-2013, the information and material required has been provided, therefore the application was deemed COMPLETE on September 25, 2024, and processing has begun.

You will be advised prior to the Development & Heritage Standing Committee and Council meetings of the position of the Planning Department on the application and the dates of the public meetings.

Please email me at jnwaesei@citywindsor.ca, if you have any questions.

Sincerely,



Justina Nwaesei
Planner III – Development Review

JN/nm



ZONING BY-LAW AMENDMENT APPLICATION

INSTRUCTIONS

Verify that you are using the most current application form.

- Section 1: Before this application can be submitted, you must complete both Stage 1 and Stage 2 Planning Consultation Applications.
- Section 2: During the Stage 2 process, any required studies must be completed and submitted for review and comment. The final studies for Stage 2 must be included with this application and the proposal must remain unchanged.
- Section 3: Provide the full name, address, phone number, fax number and email address of the applicant, agent, and registered owner. If any of these are a corporation, provide the full corporate name. Include the full name of the contact person. If there is more than one person, corporation, or registered owner, use additional sheets.
- Section 4: Indicate if you are submitting other companion applications with this application. Please note that an application to amend the Official Plan or an application for Plan of Subdivision/Condominium are the only applications that will be accepted for processing concurrently with a Zoning Amendment.
- Section 5: Provide information about the subject land. This information is used to determine supporting information requirements and to assist in the review of the application.
- Section 6: Indicate the amendment, proposed uses and describe the nature and extent of the amendment being requested. Indicate why the amendment is being requested and how it is consistent with the Provincial Policy Statement and conforms to the City of Windsor Official Plan.
- Section 7: If there are any existing buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows this information.
- Section 8: If you propose to build any buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows the information.
- Section 9: Indicate how the property is accessed. Check all boxes that apply.
- Section 10: Provide information about water service, sanitary sewage disposal, and storm drainage.
- Section 11: Provide a sketch of the subject land showing, in metric units, the items listed or indicate if this information is provided on an existing plan or a conceptual site plan.
- Section 12: Please refer to the Stage 2 Planning Consultation letter for details regarding the fees needing to be paid.
- Section 13: Explain your proposed strategy for consulting with the public with respect to the application.
- Section 14: Complete and sign in the presence of a Commissioner of Taking Affidavits.
- Other: Read, complete in full, and sign Schedules A & E.

Submit application form, supporting information, and application fee to Senior Steno Clerk at Planning & Development Services, Suite 210, 350 City Hall Square West, Windsor ON N9A 6S1 or planningdept@citywindsor.ca

TYPE OF REZONING AMENDMENT

DATE RECEIVED STAMP

The type of amendment is stated in the Stage 2 Consultation letter.

Minor Zoning Amendment:

- Site zoned commercial, institutional, or manufacturing
 - Addition to the list of permitted uses
- Site already zoned
 - Change to existing regulations or to zoning district boundary to match lot lines
- Site designated in the Official Plan for residential use
 - Rezoning to accommodate a maximum of six dwelling units
- Site designated in the Official Plan for the proposed use other than residential
 - Site-specific zoning for a site with a lot area of less than 1,000.0 m²

Major Zoning Amendment: Any other amendment not listed as minor.

ZONING BY-LAW AMENDMENT APPLICATION

ZONING BY-LAW AMENDMENT PROCESS

The application will be terminated without notice after 60 days of inactivity. The following is for your information only. Review the Planning Act and relevant regulations for statutory requirements. The processing of the application is subject to change. Direct all questions to the assigned Planner. The process is generally as follows:

1. The application is reviewed to ensure all prescribed and required information and the fee have been submitted. Within 30 days of the receipt of the application, you will be notified in writing that the application is deemed incomplete or complete.
2. If deemed incomplete, the application and fee will be returned. If deemed complete, fees are not refundable, the application is circulated to departments and external agencies for review and comment, and all submitted documents are made available to the public.
3. Following circulation, a draft staff report containing a recommendation and any conditions is prepared. The City Planner and other staff review the draft staff report.
4. When the staff report is approved by appropriate municipal staff, it will be scheduled for a future meeting of the Development and Heritage Standing Committee (DHSC).
5. The DHSC meeting is the public meeting required by the Planning Act. Public notice of the DHSC meeting is advertised in the Windsor Star, a local newspaper, at least 20 days in advance of the DHSC meeting. A courtesy notice may be mailed to property owners and/or tenants within 120 metres or more of the subject land.
6. 10 days prior to the DHSC meeting, the staff report is circulated to the applicant and DHSC members and made available to the public. All supporting documentation submitted by the applicant is available for review.
7. At the DHSC meeting, a staff planner may make a presentation. The applicant and other parties have an opportunity to provide verbal and/or written submissions. The DHSC may ask questions of staff, the applicant, agent, and other parties. The DHSC may decide to defer or recommend approval or denial of the application.
8. If deferred, the application along with any additional information or a new staff report will be considered at a future DHSC meeting. If recommended for approval or denial, the staff report, the minutes of the DHSC meeting, and the amending by-law are forwarded to City of Windsor Council for consideration at a future date. The applicant, agent and all interested parties will be notified by Council Services of the date, time, and location of the Council meeting. Call 311 or contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
9. The application may be placed on the Consent Agenda of the Council Meeting, a part of the meeting where Council approves several matters with a single motion. If the application is not on the Consent Agenda, the staff planner may introduce the application, review the staff recommendation and any additional information provided to Council, and advise Council of any differences between the staff and DHSC recommendations. The applicant and other interested parties have an opportunity to make verbal and/or written submissions. Council may decide to approve, deny, or defer the application. If Council approves the application, the amending by-law may be approved at the same Council meeting, otherwise it will be approved at a future Council meeting.
10. When the amending by-law is passed, Council Services will mail a notice of the passing of the amending by-law to property owners and various public agencies within 15 days. There is a 20-day appeal period commencing the day after this notice is given. The notice will include the last day to file an appeal. An appeal is made to the Ontario Land Tribunal (OLT) through Council Services. If no appeal is filed, the amending by-law is final and binding as of the date of Council's passing of the by-law. Contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
11. If the rezoning is subject to a holding symbol, it is the responsibility of the property owner to satisfy the conditions to remove the holding symbol, to apply, and to pay the fee to remove the holding symbol.

CONTACT INFORMATION

Planning & Development Services
Suite 210
350 City Hall Square West
Windsor ON N9A 6S1

Telephone: 519-255-6543
Fax: 519-255-6544
Email: planningdept@citywindsor.ca
Web Site: www.citywindsor.ca

ZONING BY-LAW AMENDMENT APPLICATION

1. PLANNING CONSULTATION – Completion of Stage 2

Planning Consultation (Stage 2 Application) must be completed before this application can be submitted.

Has the Planning Consultation Stage 2 Application been completed? NO YES File Number: PC-053/24

Staff Use Only

Signature of Staff Planner	Date of Consultation
<input type="checkbox"/> Jim Abbs	<input type="checkbox"/> Kevin Alexander
<input type="checkbox"/> Brian Nagata	<input type="checkbox"/> Justina Nwaesei
<input type="checkbox"/> Adam Szymczak	<input type="checkbox"/> Tracy Tang
	<input type="checkbox"/> Frank Garardo
	<input type="checkbox"/> Simona Simion
	<input type="checkbox"/> Laura Strahl
	<input type="checkbox"/> _____

2. REQUIRED SUPPORTING INFORMATION as Identified in the Planning Consultation Stage 2 Process:

For each document, provide one paper copy, and where possible, one digital copy on a USB flash drive or by email. All drawings or plans shall be in letter size (8.5 x 11 inches) in JPG and PDF format. All other document shall be provided in Word and PDF format. **All PDF documents shall be flattened with no layers.**

The City of Windsor reserves the right to require additional supporting information during the processing of the application. All supporting information submitted is made available for public review.

If you are submitting a companion application submit only one set of documents.

Staff Use Only

<input checked="" type="checkbox"/> Deed or Offer to Purchase	<input type="checkbox"/> Corporation Profile Report	<input checked="" type="checkbox"/> Site Plan Conceptual (see Section 8)	<input checked="" type="checkbox"/> Sketch of Subject Land (see Section 11)
<input type="checkbox"/> Archaeological Assessment – Stage 1	<input type="checkbox"/> Built Heritage Impact Study	<input type="checkbox"/> Environmental Evaluation Report	<input type="checkbox"/> Environmental Site Assessment
<input checked="" type="checkbox"/> Floor Plan and Elevations	<input type="checkbox"/> Geotechnical Study	<input type="checkbox"/> Guideline Plan	<input type="checkbox"/> Lighting Study
<input type="checkbox"/> Market Impact Assessment	<input type="checkbox"/> Micro-Climate Study	<input type="checkbox"/> Noise Study	<input checked="" type="checkbox"/> Planning Rationale Report
<input type="checkbox"/> Record of Site Condition (see Schedule E)	<input type="checkbox"/> Sanitary Sewer Study	<input type="checkbox"/> Species at Risk Screening	<input type="checkbox"/> Storm Sewer Study
<input type="checkbox"/> Storm Water Retention Scheme	<input type="checkbox"/> Topographic Plan of Survey	<input type="checkbox"/> Transportation Impact Statement	<input type="checkbox"/> Transportation Impact Study
<input checked="" type="checkbox"/> Tree Preservation	<input checked="" type="checkbox"/> Tree Survey Study	<input type="checkbox"/> Urban Design Study	<input type="checkbox"/> Vibration Study
<input type="checkbox"/> Wetland Evaluation Study	Other Required Information: _____		

ZONING BY-LAW AMENDMENT APPLICATION

3. APPLICANT, REGISTERED OWNER, AND AGENT INFORMATION

Provide in full the name of the applicant, registered owner, and agent, the name of the contact person, and address, postal code, phone number, fax number and email address.

If the applicant or registered owner is a numbered company, provide the name of the principals of the company. If there is more than one applicant or registered owner, copy this page, complete in full and submit with this application.

All communication is with the Agent authorized by the Owner to file the application. If there is no Agent, all communication is with the Applicant.

Applicant

Name: Dardevco Inc. Contact: Michael Primeau
Name of Contact Person

Address: 2752 Jos St Louis

Address: Windsor, ON Postal Code: N8T 2M6

Phone: 519-818-3078 Fax: _____

Email: michael.primeau@telsonic.com

Registered Owner Same as Applicant

Name: _____ Contact: _____
Name of Contact Person

Address: _____

Address: _____ Postal Code: _____

Phone: _____ Fax: _____

Email: _____

Agent Authorized by the Owner to File the Application (Also complete Section A1 in Schedule A)

Name: Pillon Abbs Inc. Contact: Tracey Pillon-Abbs, RPP
Name of Contact Person

Address: 23669 Prince Albert Rd

Address: Chatham, ON Postal Code: N7M 5J7

Phone: 226-340-1232 Fax: _____

Email: tracey@pillonabbs.ca

4. COMPANION APPLICATIONS

Are you submitting a companion Official Plan Amendment application? NO YES

Are you submitting a companion Plan of Subdivision/Condominium application? NO YES

Please note that if a development proposal requires site plan approval, that application can only be submitted after the zoning amendment has been considered by City Council and the appeal period has concluded.

ZONING BY-LAW AMENDMENT APPLICATION

5. SUBJECT LAND INFORMATION

Municipal Address 0 North Service Road East
Windsor, ON

Legal Description Lot 205 Plan 1153
Sandwich East; Windsor PIN: 01562-0241 LT

Assessment Roll Number 37-39-070-640-03100

If known, the date the subject land was acquired by the current owner: 2021

Frontage (m) 66.14 m Depth (m) 40.6 m Area (sq m) 106.4 m2

Official Plan Designation "Business Park" Schedule "D" Land Use

Current Zoning Manufacturing District 1.4 (MD1.4)
Map 11

Existing Uses Vacant

If known, the lengths of time that the existing uses have continued: unknown

Previous Uses unknown

List the names and addresses of the holders of any mortgages, charges, or other encumbrances in respect of the subject land:
None

Are there any easements or restrictive covenants affecting the subject lands? NO YES
If yes, describe the easement or restrictive covenant and its effect:

If known, has the subject land ever been subject of: *(leave blank if unknown)*
An application for a Plan of Subdivision or Consent: NO YES File: _____
An application for an amendment to a Zoning By-law: NO YES File: _____
An application for approval of a Site Plan: NO YES SPC- _____
A Minister's Zoning Order (Ontario Regulation): NO YES OR#: _____

ZONING BY-LAW AMENDMENT APPLICATION

6. DESCRIPTION OF AMENDMENT

Amendment to Zoning By-law from: Manufacturing District 1.4 (MD1.4)

to: Manufacturing District 1.4 (MD1.4 - S.20(1)(XXX))

Proposed uses of subject land: Proposed to use the Site for manufacturing

Describe the nature and extent of the amendment(s) being requested:

It is proposed that self-storage shipping container units be constructed.

On-site parking is proposed.

Why is this amendment or these amendments being requested?

It is proposed to permit a self-storage facility as an additional permitted use.

Explain how the amendment to the Zoning By-law is consistent with the Provincial Policy Statement:

See Planning Rationale Report _____

Explain how the application conforms to the City of Windsor Official Plan:

See Planning Rationale Report _____

If this application is to remove land from an area of employment, details of the official plan or official plan amendment that deals with this matter:

See Planning Rationale Report See Official Plan Amendment

ZONING BY-LAW AMENDMENT APPLICATION

7. EXISTING BUILDINGS / STRUCTURES ON SUBJECT LAND

Are there any buildings or structures on the subject land?

- NO Continue to Section 8
- YES Indicate the type of building or structure, the date of construction (if known), and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure and its dimensions or floor area.
 - See attached Existing Plan or Sketch of Subject Land

8. PROPOSED BUILDINGS / STRUCTURES ON SUBJECT LAND

Do you propose to build any buildings or structures on the subject land?

- NO Continue to Section 9
- YES Indicate the type of building or structure and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure, and its dimensions or floor area.
 - See attached concept plan

ZONING BY-LAW AMENDMENT APPLICATION

9. ACCESS TO SUBJECT LAND

Indicate if access to subject land is by: *(check all that apply)*

- Municipal Road
- Provincial Highway
- Another public road or a right-of-way
- Water - If access to the subject land is by water only, describe the parking and docking facilities used or to be used and provide the approximate distance in metric of these facilities from the subject land and the nearest public road:

10. WATER, SANITARY SEWAGE AND STORM DRAINAGE

WATER – Indicate whether water will be provided to the subject land by:

- Publicly owned & operated piped water system Services available, but not required.
- Privately owned & operated individual well
- Privately owned & operated communal well
- Other _____

SANITARY - Indicate whether sewage disposal will be provided to the subject land by:

- Publicly owned & operated sanitary sewage system Services available, but not required.
- Privately owned & operated individual septic system - See Note below
- Privately owned & operated communal septic system - See Note below
- Other _____

Note: If the application would permit development on privately owned and operated individual or communal septic systems, and more than 4,500 litres of effluent would be produced per day as a result of the development being completed, you must submit a Servicing Options Report and a Hydrogeological Report.

STORM DRAINAGE - Indicate whether storm drainage will be provided by:

- Sewers
- Ditches
- Swales
- Other _____

ZONING BY-LAW AMENDMENT APPLICATION

11. SKETCH OF SUBJECT LAND

Provide a sketch showing, in metric units,

- a) the boundaries and dimensions of the subject land;
- b) the location, size, and type of all existing and proposed buildings and structures on the subject land, including their distance from the front lot line, rear lot line, and side lines;
- c) the approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that are located on the subject land and on land that is adjacent to it, and in the applicant’s opinion, may affect the application;
- d) the current uses of all land that is adjacent to the subject land;
- e) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road, or a right of way;
- f) if access to the subject land will be water only, the location of the parking and docking facilities to be used; and
- g) the location and nature of any easement affecting the subject land.

12. APPLICATION FEE & OTHER FEES

The amendment type and corresponding application fees are identified in the Planning Consultation Stage 2 process. Fees may be subject to change and are not refundable once the application is deemed complete. Method of payment: Cash, Mastercard, Visa or Certified Cheque or Personal Cheque payable to The Corporation of the City of Windsor. If paying by Mastercard or Visa, contact the Senior Steno Clerk for further direction at planningdept@citywindsor.ca or 519-255-6543.

APPLICATION FEE

Amendment Type	Code	<input type="checkbox"/> Minor Rezoning	<input checked="" type="checkbox"/> Major Rezoning
Base Fee	53001	\$4,347.00	\$5,837.40
GIS Fee	63024	+ \$50.00	+ \$50.00
Essex Region Conservation Authority Fee	53023	+ \$200.00	+ \$300.00
Total Application Fee		= \$4,597.00	= \$6,187.40

The following fees are provided for information purposes. They are not due at this time but may be assessed depending on the type(s) of applications associated with the development proposal

OTHER FEES

- Re-Notification/Deferral Fee** Code 53016 \$2,258.40
 Required when an applicant requests a deferral after notice of a public meeting has been given.
- Legal Fee - Servicing Agreement** Code 63002 \$597.64 plus \$50 per unit, lot, or block
 Required when the preparation of a servicing agreement is a condition of approval.
- Removal of the Holding Symbol Application** Code 53001 \$1,536.00
 It is the responsibility of the property owner to satisfy the conditions to remove the holding symbol and to apply and fee to remove the holding symbol.
- Ontario Land Tribunal (OLT) Appeal Fee** \$1,100.00
 An appeal is made through Council Services (519-255-6211 or clerks@citywindsor.ca). Fees, forms, and processes are subject to change. Visit <https://olt.gov.on.ca> for additional information

ZONING BY-LAW AMENDMENT APPLICATION

13. PROPOSED PUBLIC CONSULTATION STRATEGY

Select or describe your proposed strategy for consulting with the public with respect to the application:

- Required Public Consultation (Public Notice & Public Meeting as required per the Planning Act)
- Open House Website Other _____

14. SWORN DECLARATION OF APPLICANT

Complete in the presence of a Commissioner for Taking Affidavits. If the declaration is to be administered remotely, you must be able to see, hear and communicate with the Commissioner and show documentation that confirms your identity.


I, Michael Primeau, solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the applicant is accurate and that the information contained in the documents that accompany this application is accurate, that if this declaration was administered remotely that it was in accordance with Ontario Regulation 431/20, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

X _____ Signed by:
Michael Primeau
1CA6BD79AECE470... _____ City of Windsor _____

Signature of Applicant Location of Applicant at time of declaration

*Sign in the presence of a Commissioner
For Taking Affidavits*

This declaration was administered remotely in accordance with Ontario Regulation 431/20

Declared before me  at the Municipality of Chatham-Kent

Signature of Commissioner *Location of Commissioner*

this 9th day of August, 2024

day month year

PLACE AN IMPRINT OF YOUR STAMP BELOW

Tracey Lynn Cecilia Pillon-Abbs, a Commissioner, etc.,
Province of Ontario, for Pillon Abbs Inc
Expires August 4, 2026

READ & COMPLETE SCHEDULES A & E IN FULL & SIGN

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements

A1. Authorization of Registered Owner for Agent to Make the Application

If the applicant is not the registered owner of the land that is the subject of this application, the written authorization of the registered owner that the agent is authorized to make the application must be included with this application form or the authorization below must be completed.

I, Michael Primeau, am the registered owner of the land that is
Name of Registered Owner

subject of this application for an amendment to the City of Windsor Zoning By-law and I authorize

Pillon Abbs Inc. to make this application on my behalf.
Name of Agent

X  August 9, 2024
Signed by:
1CA6BD79AECE470...
Signature of Registered Owner Date

If Corporation - I have authority to bind the corporation

A2. Authorization to Enter Upon the Subject Lands and Premises

I, Michael Primeau,
Name of Registered Owner

hereby authorize the Development and Heritage Standing Committee or their successor, City Council, and staff of The Corporation of the City of Windsor to enter upon the subject lands and premises described in Section 5 of the application form for the purpose of evaluating the merits of this application and subsequently to conduct any inspections on the subject lands that may be required as a condition of approval. This is their authority for doing so.

X  August 9, 2024
Signed by:
1CA6BD79AECE470...
Signature of Registered Owner Date

If Corporation – I have authority to bind the corporation

SCHEDULE A CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements - *Continued*

A3. Acknowledgements

Receipt, Fees, Additional Information, Termination, and Freedom of Information

I acknowledge that receipt of this application by the City of Windsor does not guarantee it to be a complete application, that further review of the application will occur, and that I may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted.

I further acknowledge that after the application is deemed complete, fees are not refundable, additional information may be requested, and that after 60 days of inactivity the City of Windsor may terminate the application without notice.

I further acknowledge that pursuant to the provisions of the Planning Act and the Municipal Freedom of Information and Protection of Privacy Act, this application and all material and information provided with this application are made available to the public.

Species at Risk

Ontario's *Endangered Species Act* protects endangered and threatened species — animals and plants in decline and at risk of disappearing from the province by restricting activities that may affect these plants, animals or their habitats.

I acknowledge that it is my sole responsibility as the Applicant to comply with the provisions of the *Endangered Species Act, 2007, S. O. c.6*. This could require me to register an activity, get a permit or other authorization from the Ministry of the Environment, Conservation and Parks (MECP) prior to conducting an activity that could impact an endangered or threatened plant or animal or its habitat. I further acknowledge that any *Planning Act, R.S.O. 1990, c.P.13* approval given by the City of Windsor does not constitute an approval under the *Endangered Species Act*, nor does it absolve me from seeking the necessary authorization, approvals or permits from the MECP prior to conducting any activity that may affect endangered or threatened plant or animal or its habitat.

Additional information can be found at:

<https://www.ontario.ca/page/development-and-infrastructure-projects-and-endangered-or-threatened-species>

or by contacting MECP at SAROntario@ontario.ca

Acknowledgement

I acknowledge that I have read and understand the above statements:

X

Signed by:
Michèle Primeau
1CA6BD79AECE470...

August 9, 2024

Signature of Applicant or Agent

Date

**END OF SCHEDULE A
COMPLETE SCHEDULE E ON NEXT PAGE**

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E – Environmental Site Screening Questionnaire

Previous Use of Property

- | | | | |
|---------------------------------------|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial | <input type="checkbox"/> Institutional |
| <input type="checkbox"/> Agricultural | <input type="checkbox"/> Parkland | <input type="checkbox"/> Vacant | <input checked="" type="checkbox"/> Other <u>Unknown</u> |

- a) If previous use of the property is Industrial or Commercial, specify use:

- b) Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?
 Yes No Unknown
- c) Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- d) Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- e) Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- f) Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been applied as pesticides and/or sewage sludge applied to the lands?
 Yes No Unknown
- g) Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- h) Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational/non-operational public or private waste disposal site, landfill or dump?
 Yes No Unknown
- i) If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- j) Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*

** Possible uses that can cause contamination include but are not limited to: operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry cleaning plants have similar potential. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals that are present.*

- k) If current or previous use of the property is Industrial or Commercial, or if YES to any of a) to j) above, attach a previous use inventory showing all former uses of the subject land, or if applicable, the land(s) adjacent to the subject lands.

SCHEDULE E CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E - CONTINUED

Acknowledgement Clause

I hereby acknowledge that it is my responsibility to ensure that I am in compliance with all applicable laws, regulations, guidelines and the City's Official Plan policies pertaining to potentially contaminated sites, and to use all reasonable effort to identify the potential for contamination on the subject property.

I acknowledge that as a condition of approval of this application that the City may require me to file a Record of Site Condition signed by a qualified person in the provincial Environmental Site Registry, and provide verification to the City of Windsor of acknowledgement of this Record of Site Condition by the Ministry of Environment.

I acknowledge that the City may require the qualified person signing the Record of Site Condition to submit to the City a Declaration acknowledging that the City of Windsor may rely on the statements in the Record of Site Condition.

I acknowledge that the City of Windsor is not responsible for the identification and/or remediation of contaminated sites, and I agree, whether in, through, or as a result of any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Windsor, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

Michael Primeau

Name of Applicant (print)

X

Signed by:
Michale Primeau
1CA6BD79AECE470...

Signature of Applicant

August 9, 2024

Date

Tracey Pillon-Abbs

Name of Agent (print)



Signature of Agent

August 9, 2024

Date

END OF SCHEDULE E

ZONING BY-LAW AMENDMENT APPLICATION

DO NOT COMPLETE BELOW – STAFF USE ONLY

Receipt and Assignment of Application	Date Received Stamp
This application has been assigned to:	
<input type="checkbox"/> Adam Szymczak (AS)	<input type="checkbox"/> Brian Nagata (BN)
<input type="checkbox"/> Frank Garardo (FG)	<input type="checkbox"/> Tracy Tang (TT)
<input type="checkbox"/> Jim Abbs (JA)	<input type="checkbox"/> Justina Nwaesei (JN)
<input type="checkbox"/> Kevin Alexander (KA)	<input type="checkbox"/> Laura Strahl (LS)
<input type="checkbox"/> Simona Simion (SS)	<input type="checkbox"/> _____

Complete Application		
This application is deemed complete on _____		
<i>Date</i>		

<i>Signature of Delegated Authority</i>		
<input type="checkbox"/> Neil Robertson, MCIP, RPP Manager of Urban Design	<input type="checkbox"/> Greg Atkinson, MCIP, RPP Manager of Development	<input type="checkbox"/> Thom Hunt, MCIP, RPP City Planner & Executive Director

Internal Information		
Fee Paid: \$ _____	Receipt No: _____	Date: _____
Payment Type: <input type="checkbox"/> Cash	<input type="checkbox"/> Certified Cheque	<input type="checkbox"/> Credit Card
		<input type="checkbox"/> Personal Cheque
NEW Zoning File No. ZNG/ _____	Z- _____	
Previous Zoning File No. ZNG/ _____	Z- _____	
Related OPA File No. OPA/ _____	OPA _____	
Other File Numbers: _____		
Notes: _____		

THIS IS THE LAST PAGE OF THE APPLICATION FORM

PLANNING DEPARTMENT – DEVELOPMENT DIVISION

Memo

To: City Clerk

From: City Planner/Executive Director

Date: October 2, 2024

Subject: TRANSMITTAL OF NEW FILE

Our File Number: Z-027/24 [ZNG/7230]

RE: Application For: (X) Zoning Amendment () Official Plan Amendment
() Part Lot Control () Draft Plan of Subdivision/Condominium

Applicant: MARKO AGBABA

Location: 180 CALIFORNIA AVENUE

Description: Application to amend Zoning By-law 8600 to permit a semi-detached dwelling with a reduction in the minimum lot width and rear yard setback, and an increase in maximum lot coverage and maximum gross floor area (GFA).

The ZONING AMENDMENT application submitted by MARKO AGBABA for 180 CALIFORNIA AVENUE has been deemed as complete on SEPTEMBER 12, 2024.

Enclosures:

- (X) 1 copy of Application Form
- () 1 copy of Drawings
- () 1 copy of Site Plan



Neil Robertson, MCIP, RPP
City Planner, Executive Director

NR/nm

September 27, 2024

Lassaline Planning Consultants
c/o Jackie Lassaline
PO Box 52
1632 County Rd. 31
St. Joachim, ON N0R 1S0

Dear Agent,

Re: ZONING BYLAW AMENDMENT
APPLICANT: MARKO AGBABA
LOCATION: 180 CALIFORNIA AVENUE
FILE NO.: Z 027/24 [ZNG/7230]

This is to acknowledge receipt of the application for a rezoning amendment which has been assigned the above-referenced file number. In accordance with the delegation authority as prescribed by By-Law 139-2013, the information and material required has been provided, therefore the application was deemed COMPLETE on September 12, 2024, and processing has begun.

You will be advised prior to the Development & Heritage Standing Committee and Council meetings of the position of the Planning Department on the application and the dates of the public meetings.

Please email me at dradulescu@citywindsor.ca, if you have any questions.

Sincerely,



Diana Radulescu
Planner II – Development Review

DR/nm



ZONING BY-LAW AMENDMENT APPLICATION

INSTRUCTIONS

Verify that you are using the most current application form.

- Section 1: Before this application can be submitted, you must complete both Stage 1 and Stage 2 Planning Consultation Applications.
- Section 2: During the Stage 2 process, any required studies must be completed and submitted for review and comment. The final studies for Stage 2 must be included with this application and the proposal must remain unchanged.
- Section 3: Provide the full name, address, phone number, fax number and email address of the applicant, agent, and registered owner. If any of these are a corporation, provide the full corporate name. Include the full name of the contact person. If there is more than one person, corporation, or registered owner, use additional sheets.
- Section 4: Indicate if you are submitting other companion applications with this application. Please note that an application to amend the Official Plan or an application for Plan of Subdivision/Condominium are the only applications that will be accepted for processing concurrently with a Zoning Amendment.
- Section 5: Provide information about the subject land. This information is used to determine supporting information requirements and to assist in the review of the application.
- Section 6: Indicate the amendment, proposed uses and describe the nature and extent of the amendment being requested. Indicate why the amendment is being requested and how it is consistent with the Provincial Policy Statement and conforms to the City of Windsor Official Plan.
- Section 7: If there are any existing buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows this information.
- Section 8: If you propose to build any buildings or structures on the subject land, provide the required information or submit a sketch, drawing or plan that shows the information.
- Section 9: Indicate how the property is accessed. Check all boxes that apply.
- Section 10: Provide information about water service, sanitary sewage disposal, and storm drainage.
- Section 11: Provide a sketch of the subject land showing, in metric units, the items listed or indicate if this information is provided on an existing plan or a conceptual site plan.
- Section 12: Please refer to the Stage 2 Planning Consultation letter for details regarding the fees needing to be paid.
- Section 13: Explain your proposed strategy for consulting with the public with respect to the application.
- Section 14: Complete and sign in the presence of a Commissioner of Taking Affidavits.
- Other: Read, complete in full, and sign Schedules A & E.

Submit application form, supporting information, and application fee to Senior Steno Clerk at Planning & Development Services, Suite 210, 350 City Hall Square West, Windsor ON N9A 6S1 or planningdept@citywindsor.ca

TYPE OF REZONING AMENDMENT

DATE RECEIVED STAMP

The type of amendment is stated in the Stage 2 Consultation letter.

Minor Zoning Amendment:

- Site zoned commercial, institutional, or manufacturing
 - Addition to the list of permitted uses
- Site already zoned
 - Change to existing regulations or to zoning district boundary to match lot lines
- Site designated in the Official Plan for residential use
 - Rezoning to accommodate a maximum of six dwelling units
- Site designated in the Official Plan for the proposed use other than residential
 - Site-specific zoning for a site with a lot area of less than 1,000.0 m²

Major Zoning Amendment: Any other amendment not listed as minor.

ZONING BY-LAW AMENDMENT APPLICATION

ZONING BY-LAW AMENDMENT PROCESS

The application will be terminated without notice after 60 days of inactivity. The following is for your information only. Review the Planning Act and relevant regulations for statutory requirements. The processing of the application is subject to change. Direct all questions to the assigned Planner. The process is generally as follows:

1. The application is reviewed to ensure all prescribed and required information and the fee have been submitted. Within 30 days of the receipt of the application, you will be notified in writing that the application is deemed incomplete or complete.
2. If deemed incomplete, the application and fee will be returned. If deemed complete, fees are not refundable, the application is circulated to departments and external agencies for review and comment, and all submitted documents are made available to the public.
3. Following circulation, a draft staff report containing a recommendation and any conditions is prepared. The City Planner and other staff review the draft staff report.
4. When the staff report is approved by appropriate municipal staff, it will be scheduled for a future meeting of the Development and Heritage Standing Committee (DHSC).
5. The DHSC meeting is the public meeting required by the Planning Act. Public notice of the DHSC meeting is advertised in the Windsor Star, a local newspaper, at least 20 days in advance of the DHSC meeting. A courtesy notice may be mailed to property owners and/or tenants within 120 metres or more of the subject land.
6. 10 days prior to the DHSC meeting, the staff report is circulated to the applicant and DHSC members and made available to the public. All supporting documentation submitted by the applicant is available for review.
7. At the DHSC meeting, a staff planner may make a presentation. The applicant and other parties have an opportunity to provide verbal and/or written submissions. The DHSC may ask questions of staff, the applicant, agent, and other parties. The DHSC may decide to defer or recommend approval or denial of the application.
8. If deferred, the application along with any additional information or a new staff report will be considered at a future DHSC meeting. If recommended for approval or denial, the staff report, the minutes of the DHSC meeting, and the amending by-law are forwarded to City of Windsor Council for consideration at a future date. The applicant, agent and all interested parties will be notified by Council Services of the date, time, and location of the Council meeting. Call 311 or contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
9. The application may be placed on the Consent Agenda of the Council Meeting, a part of the meeting where Council approves several matters with a single motion. If the application is not on the Consent Agenda, the staff planner may introduce the application, review the staff recommendation and any additional information provided to Council, and advise Council of any differences between the staff and DHSC recommendations. The applicant and other interested parties have an opportunity to make verbal and/or written submissions. Council may decide to approve, deny, or defer the application. If Council approves the application, the amending by-law may be approved at the same Council meeting, otherwise it will be approved at a future Council meeting.
10. When the amending by-law is passed, Council Services will mail a notice of the passing of the amending by-law to property owners and various public agencies within 15 days. There is a 20-day appeal period commencing the day after this notice is given. The notice will include the last day to file an appeal. An appeal is made to the Ontario Land Tribunal (OLT) through Council Services. If no appeal is filed, the amending by-law is final and binding as of the date of Council's passing of the by-law. Contact Council Services at 519-255-6211 or clerks@citywindsor.ca.
11. If the rezoning is subject to a holding symbol, it is the responsibility of the property owner to satisfy the conditions to remove the holding symbol, to apply, and to pay the fee to remove the holding symbol.

CONTACT INFORMATION

Planning & Development Services
Suite 210
350 City Hall Square West
Windsor ON N9A 6S1

Telephone: 519-255-6543
Fax: 519-255-6544
Email: planningdept@citywindsor.ca
Web Site: www.citywindsor.ca

ZONING BY-LAW AMENDMENT APPLICATION

1. PLANNING CONSULTATION – Completion of Stage 2

Planning Consultation (Stage 2 Application) must be completed before this application can be submitted.

Has the Planning Consultation Stage 2 Application been completed? NO YES File Number: PC-_____

Staff Use Only

Signature of Staff Planner	Date of Consultation
<input type="checkbox"/> Jim Abbs <input type="checkbox"/> Brian Nagata <input type="checkbox"/> Adam Szymczak	<input type="checkbox"/> Kevin Alexander <input type="checkbox"/> Justina Nwaesei <input type="checkbox"/> _____
<input type="checkbox"/> Tracy Tang <input type="checkbox"/> Simona Simion	<input type="checkbox"/> Frank Garardo <input type="checkbox"/> Laura Strahl

2. REQUIRED SUPPORTING INFORMATION as Identified in the Planning Consultation Stage 2 Process:

For each document, provide one paper copy, and where possible, one digital copy on a USB flash drive or by email. All drawings or plans shall be in letter size (8.5 x 11 inches) in JPG and PDF format. All other document shall be provided in Word and PDF format. **All PDF documents shall be flattened with no layers.**

The City of Windsor reserves the right to require additional supporting information during the processing of the application. All supporting information submitted is made available for public review.

If you are submitting a companion application submit only one set of documents.

Staff Use Only

<input checked="" type="checkbox"/> Deed or Offer to Purchase	<input type="checkbox"/> Corporation Profile Report	<input checked="" type="checkbox"/> Site Plan Conceptual <i>(see Section 8)</i>	<input checked="" type="checkbox"/> Sketch of Subject Land <i>(see Section 11)</i>
<input type="checkbox"/> Archaeological Assessment – Stage 1	<input type="checkbox"/> Built Heritage Impact Study	<input type="checkbox"/> Environmental Evaluation Report	<input type="checkbox"/> Environmental Site Assessment
<input type="checkbox"/> Floor Plan and Elevations	<input type="checkbox"/> Geotechnical Study	<input type="checkbox"/> Guideline Plan	<input type="checkbox"/> Lighting Study
<input type="checkbox"/> Market Impact Assessment	<input type="checkbox"/> Micro-Climate Study	<input type="checkbox"/> Noise Study	<input type="checkbox"/> Planning Rationale Report
<input type="checkbox"/> Record of Site Condition <i>(see Schedule E)</i>	<input type="checkbox"/> Sanitary Sewer Study	<input type="checkbox"/> Species at Risk Screening	<input type="checkbox"/> Storm Sewer Study
<input type="checkbox"/> Storm Water Retention Scheme	<input type="checkbox"/> Topographic Plan of Survey	<input type="checkbox"/> Transportation Impact Statement	<input type="checkbox"/> Transportation Impact Study
<input type="checkbox"/> Tree Preservation	<input type="checkbox"/> Tree Survey Study	<input type="checkbox"/> Urban Design Study	<input type="checkbox"/> Vibration Study
<input type="checkbox"/> Wetland Evaluation Study	Other Required Information: _____		

ZONING BY-LAW AMENDMENT APPLICATION

3. APPLICANT, REGISTERED OWNER, AND AGENT INFORMATION

Provide in full the name of the applicant, registered owner, and agent, the name of the contact person, and address, postal code, phone number, fax number and email address.

If the applicant or registered owner is a numbered company, provide the name of the principals of the company. If there is more than one applicant or registered owner, copy this page, complete in full and submit with this application.

All communication is with the Agent authorized by the Owner to file the application. If there is no Agent, all communication is with the Applicant.

Applicant

Name: Lassaline Planning Consultants Contact: Jackie Lassaline
Name of Contact Person

Address: P.O. Box 52, 1632 County Road 31, St Joachim ON N0R 1S0

Address: _____ Postal Code: _____

Phone: 519-563-8814 Fax: _____

Email: jackie@lasslaineplan.ca

Registered Owner Same as Applicant

Name: Marko Agbaba Contact: _____
Name of Contact Person

Address: 2121 Riverside Dr., Windsor ON N9B 1A8

Address: _____ Postal Code: _____

Phone: 519-999-9425 Fax: _____

Email: agbahholdings@gmail.com

Agent Authorized by the Owner to File the Application (Also complete Section A1 in Schedule A)

Name: Lassaline Planning Consultants Contact: Jackie Lassaline
Name of Contact Person

Address: P.O. Box 52, 1632 County Road 31, St. Joachim ON N0R 1S0

Address: _____ Postal Code: _____

Phone: 519-563-8814 Fax: _____

Email: jackie@lassalineplan.ca

4. COMPANION APPLICATIONS

Are you submitting a companion Official Plan Amendment application? NO YES

Are you submitting a companion Plan of Subdivision/Condominium application? NO YES

Please note that if a development proposal requires site plan approval, that application can only be submitted after the zoning amendment has been considered by City Council and the appeal period has concluded.

ZONING BY-LAW AMENDMENT APPLICATION

5. SUBJECT LAND INFORMATION

Municipal Address 180 California Avenue, Windsor

Legal Description Lot 5, Plan 804, Town of Sandwich, City of Windsor; Pt Alley Plan 51 (closed by CE248037) designated as Pt 7 on Plan 12R22710 Subject to an Easement in Gross over Pt 7 on Plan 12R22710 as in CE248163; Windsor

Assessment Roll Number PIN: 01230-005

If known, the date the subject land was acquired by the current owner: _____

Frontage (m) 13.7 m Depth (m) _____ Area (sq m) 469 m2

Official Plan Designation 'Residential'

Current Zoning 'Residential District 2.2 (RD2.2)'

Existing Uses vacant residential

If known, the lengths of time that the existing uses have continued: 100 years +

Previous Uses residential

List the names and addresses of the holders of any mortgages, charges, or other encumbrances in respect of the subject land:

Are there any easements or restrictive covenants affecting the subject lands? NO YES

If yes, describe the easement or restrictive covenant and its effect:

Service Easement over the purchased alleyway at the rear of the lot

If known, has the subject land ever been subject of: *(leave blank if unknown)*

An application for a Plan of Subdivision or Consent: NO YES File: _____

An application for an amendment to a Zoning By-law: NO YES File: _____

An application for approval of a Site Plan: NO YES SPC- _____

A Minister's Zoning Order (Ontario Regulation): NO YES OR#: _____

ZONING BY-LAW AMENDMENT APPLICATION

6. DESCRIPTION OF AMENDMENT

Amendment to Zoning By-law from: 'Residential District 2.2 (RD2.2)'

to: a site specific 'Residential District 2.2 (RD2.2(##))'

Proposed uses of subject land: Residential

Describe the nature and extent of the amendment(s) being requested:

The owner is proposing the construction of a new residential, semi-detached building with a 672.5 m2 GFA. The building is proposed with 2 main floor units, 2 ADU's below the main floor, 2 ADU's above the main floor for a total of 2 main and 4 ADU's in the building. The lot will be divided into two separate parcels, each with one main unit and 2 ADU's.

Why is this amendment or these amendments being requested?

There are 4 site specific provisions: i) Lot Width (min) = 15 m required, with 13.7 m provided; (ii) Lot Coverage = 45% max, 46% provided; (iii) Rear yard setback = 7.5 m (min), 6.9 m provided and (iv) Gross Floor Area = 400 m2 max, with 757.4 m2 provided (including ADU's and mechanical space in the attic).

Explain how the amendment to the Zoning By-law is consistent with the Provincial Policy Statement:

See Planning Rationale Report _____

Explain how the application conforms to the City of Windsor Official Plan:

See Planning Rationale Report _____

If this application is to remove land from an area of employment, details of the official plan or official plan amendment that deals with this matter:

See Planning Rationale Report See Official Plan Amendment

ZONING BY-LAW AMENDMENT APPLICATION

7. EXISTING BUILDINGS / STRUCTURES ON SUBJECT LAND

Are there any buildings or structures on the subject land?

- NO Continue to Section 8
- YES Indicate the type of building or structure, the date of construction (if known), and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure and its dimensions or floor area.
 - See attached Existing Plan or Sketch of Subject Land

8. PROPOSED BUILDINGS / STRUCTURES ON SUBJECT LAND

Do you propose to build any buildings or structures on the subject land?

- NO Continue to Section 9
- YES Indicate the type of building or structure and, in metric units, the setback from the front lot line, rear lot line and side lot lines, the height of the building or structure, and its dimensions or floor area.
 - See attached concept plan

ZONING BY-LAW AMENDMENT APPLICATION

9. ACCESS TO SUBJECT LAND

Indicate if access to subject land is by: *(check all that apply)*

- Municipal Road Provincial Highway Another public road or a right-of-way
- Water - If access to the subject land is by water only, describe the parking and docking facilities used or to be used and provide the approximate distance in metric of these facilities from the subject land and the nearest public road:

10. WATER, SANITARY SEWAGE AND STORM DRAINAGE

WATER – Indicate whether water will be provided to the subject land by:

- Publicly owned & operated piped water system
- Privately owned & operated individual well
- Privately owned & operated communal well
- Other _____

SANITARY - Indicate whether sewage disposal will be provided to the subject land by:

- Publicly owned & operated sanitary sewage system
- Privately owned & operated individual septic system - See Note below
- Privately owned & operated communal septic system - See Note below
- Other _____

Note: If the application would permit development on privately owned and operated individual or communal septic systems, and more than 4,500 litres of effluent would be produced per day as a result of the development being completed, you must submit a Servicing Options Report and a Hydrogeological Report.

STORM DRAINAGE - Indicate whether storm drainage will be provided by:

- Sewers Ditches Swales Other _____

ZONING BY-LAW AMENDMENT APPLICATION

11. SKETCH OF SUBJECT LAND

Provide a sketch showing, in metric units,

- a) the boundaries and dimensions of the subject land;
- b) the location, size, and type of all existing and proposed buildings and structures on the subject land, including their distance from the front lot line, rear lot line, and side lines;
- c) the approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that are located on the subject land and on land that is adjacent to it, and in the applicant's opinion, may affect the application;
- d) the current uses of all land that is adjacent to the subject land;
- e) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road, or a right of way;
- f) if access to the subject land will be water only, the location of the parking and docking facilities to be used; and
- g) the location and nature of any easement affecting the subject land.

12. APPLICATION FEE & OTHER FEES

The amendment type and corresponding application fees are identified in the Planning Consultation Stage 2 process. Fees may be subject to change and are not refundable once the application is deemed complete. Method of payment: Cash, Mastercard, Visa or Certified Cheque or Personal Cheque payable to The Corporation of the City of Windsor. If paying by Mastercard or Visa, contact the Senior Steno Clerk for further direction at planningdept@citywindsor.ca or 519-255-6543.

APPLICATION FEE

Amendment Type	Code	<input checked="" type="checkbox"/> Minor Rezoning	<input type="checkbox"/> Major Rezoning
Base Fee	53001	\$4,347.00	\$5,837.40
GIS Fee	63024	+ \$50.00	+ \$50.00
Essex Region Conservation Authority Fee	53023	+ \$200.00	+ \$300.00
Total Application Fee		= \$4,597.00	= \$6,187.40

The following fees are provided for information purposes. They are not due at this time but may be assessed depending on the type(s) of applications associated with the development proposal

OTHER FEES

- Re-Notification/Deferral Fee** Code 53016 \$2,258.40
Required when an applicant requests a deferral after notice of a public meeting has been given.
- Legal Fee - Servicing Agreement** Code 63002 \$597.64 plus \$50 per unit, lot, or block
Required when the preparation of a servicing agreement is a condition of approval.
- Removal of the Holding Symbol Application** Code 53001 \$1,536.00
It is the responsibility of the property owner to satisfy the conditions to remove the holding symbol and to apply and fee to remove the holding symbol.
- Ontario Land Tribunal (OLT) Appeal Fee** \$1,100.00
An appeal is made through Council Services (519-255-6211 or clerks@citywindsor.ca). Fees, forms, and processes are subject to change. Visit <https://olt.gov.on.ca> for additional information

ZONING BY-LAW AMENDMENT APPLICATION

13. PROPOSED PUBLIC CONSULTATION STRATEGY

Select or describe your proposed strategy for consulting with the public with respect to the application:

- Required Public Consultation (Public Notice & Public Meeting as required per the Planning Act)
 - Open House Website Other _____
- _____
- _____
- _____

14. SWORN DECLARATION OF APPLICANT

Complete in the presence of a Commissioner for Taking Affidavits. If the declaration is to be administered remotely, you must be able to see, hear and communicate with the Commissioner and show documentation that confirms your identity.

I, Lassaline Planning Consultants c/o Jackie Lassaline, solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the applicant is accurate and that the information contained in the documents that accompany this application is accurate, that if this declaration was administered remotely that it was in accordance with Ontario Regulation 431/20, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

Jacqueline Lassaline

Signature of Applicant

*Sign in the presence of a Commissioner
For Taking Affidavits*

Municipality of Lakeshore

Location of Applicant at time of declaration

This declaration was administered remotely in accordance with Ontario Regulation 431/20

Declared before me Town of Kingsville at the County of Essex

Signature of Commissioner

Location of Commissioner

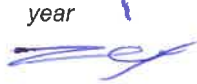
this 9th day of July, 20²⁴

day

month

year

PLACE AN IMPRINT OF YOUR STAMP BELOW



Tammy Ann Snively, a Commissioner, etc.,
Province of Ontario, for McGregor, Sims, Schmoranz
Professional Corporation, Barristers and Solicitors.
Expires April 25, 2026.

READ & COMPLETE SCHEDULES A & E IN FULL & SIGN

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements

A1. Authorization of Registered Owner for Agent to Make the Application

If the applicant is not the registered owner of the land that is the subject of this application, the written authorization of the registered owner that the agent is authorized to make the application must be included with this application form or the authorization below must be completed.

I, Marko Agbaba, am the registered owner of the land that is
Name of Registered Owner

subject of this application for an amendment to the City of Windsor Zoning By-law and I authorize

Lassaline Planning Consultants c/o Jackie Lassaline to make this application on my behalf.
Name of Agent

 *Marko Agbaba*

July 9, 2024

07/09/24

Signature of Registered Owner

Date

If Corporation - I have authority to bind the corporation

A2. Authorization to Enter Upon the Subject Lands and Premises

I, Marko Agbaba,
Name of Registered Owner

hereby authorize the Development and Heritage Standing Committee or their successor, City Council, and staff of The Corporation of the City of Windsor to enter upon the subject lands and premises described in Section 5 of the application form for the purpose of evaluating the merits of this application and subsequently to conduct any inspections on the subject lands that may be required as a condition of approval. This is their authority for doing so.

 *Marko Agbaba*

July 9, 2024

07/09/24

Signature of Registered Owner

Date

If Corporation – I have authority to bind the corporation

SCHEDULE A CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE A – Authorizations & Acknowledgements - *Continued*

A3. Acknowledgements

Receipt, Fees, Additional Information, Termination, and Freedom of Information

I acknowledge that receipt of this application by the City of Windsor does not guarantee it to be a complete application, that further review of the application will occur, and that I may be contacted to provide additional information and/or resolve any discrepancies or issues with the application as submitted.

I further acknowledge that after the application is deemed complete, fees are not refundable, additional information may be requested, and that after 60 days of inactivity the City of Windsor may terminate the application without notice.

I further acknowledge that pursuant to the provisions of the Planning Act and the Municipal Freedom of Information and Protection of Privacy Act, this application and all material and information provided with this application are made available to the public.

Species at Risk

Ontario's *Endangered Species Act* protects endangered and threatened species — animals and plants in decline and at risk of disappearing from the province by restricting activities that may affect these plants, animals or their habitats.

I acknowledge that it is my sole responsibility as the Applicant to comply with the provisions of the *Endangered Species Act, 2007, S. O. c.6*. This could require me to register an activity, get a permit or other authorization from the Ministry of the Environment, Conservation and Parks (MECP) prior to conducting an activity that could impact an endangered or threatened plant or animal or its habitat. I further acknowledge that any *Planning Act, R.S.O. 1990, c.P.13* approval given by the City of Windsor does not constitute an approval under the *Endangered Species Act*, nor does it absolve me from seeking the necessary authorization, approvals or permits from the MECP prior to conducting any activity that may affect endangered or threatened plant or animal or its habitat.

Additional information can be found at:

<https://www.ontario.ca/page/development-and-infrastructure-projects-and-endangered-or-threatened-species>

or by contacting MECP at SAROntario@ontario.ca

Acknowledgement

I acknowledge that I have read and understand the above statements:



Signature of Applicant or Agent

July 9, 2024

Date

**END OF SCHEDULE A
COMPLETE SCHEDULE E ON NEXT PAGE**

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E – Environmental Site Screening Questionnaire

Previous Use of Property

- | | | | |
|---|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial | <input type="checkbox"/> Institutional |
| <input type="checkbox"/> Agricultural | <input type="checkbox"/> Parkland | <input type="checkbox"/> Vacant | <input type="checkbox"/> Other _____ |

- a) If previous use of the property is Industrial or Commercial, specify use:

- b) Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?
 Yes No Unknown
- c) Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- d) Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- e) Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- f) Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been applied as pesticides and/or sewage sludge applied to the lands?
 Yes No Unknown
- g) Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- h) Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational/non-operational public or private waste disposal site, landfill or dump?
 Yes No Unknown
- i) If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- j) Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*

** Possible uses that can cause contamination include but are not limited to: operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry cleaning plants have similar potential. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals that are present.*

- k) If current or previous use of the property is Industrial or Commercial, or if YES to any of a) to j) above, attach a previous use inventory showing all former uses of the subject land, or if applicable, the land(s) adjacent to the subject lands.

SCHEDULE E CONTINUES ON NEXT PAGE

ZONING BY-LAW AMENDMENT APPLICATION

SCHEDULE E - CONTINUED

Acknowledgement Clause

I hereby acknowledge that it is my responsibility to ensure that I am in compliance with all applicable laws, regulations, guidelines and the City's Official Plan policies pertaining to potentially contaminated sites, and to use all reasonable effort to identify the potential for contamination on the subject property.

I acknowledge that as a condition of approval of this application that the City may require me to file a Record of Site Condition signed by a qualified person in the provincial Environmental Site Registry, and provide verification to the City of Windsor of acknowledgement of this Record of Site Condition by the Ministry of Environment.

I acknowledge that the City may require the qualified person signing the Record of Site Condition to submit to the City a Declaration acknowledging that the City of Windsor may rely on the statements in the Record of Site Condition.

I acknowledge that the City of Windsor is not responsible for the identification and/or remediation of contaminated sites, and I agree, whether in, through, or as a result of any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Windsor, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

Lassaline Planning Consultants, Jackie Lassaline

Name of Applicant (print)

Jacqueline Lassaline

Signature of Applicant

July 9, 2024

Date

Lassaline Planning Consultants, Jackie Lassaline

Name of Agent (print)

Jacqueline Lassaline

Signature of Agent

Date

END OF SCHEDULE E

ZONING BY-LAW AMENDMENT APPLICATION

DO NOT COMPLETE BELOW – STAFF USE ONLY

Receipt and Assignment of Application	Date Received Stamp
This application has been assigned to:	
<input type="checkbox"/> Adam Szymczak (AS)	<input type="checkbox"/> Brian Nagata (BN)
<input type="checkbox"/> Frank Garardo (FG)	<input type="checkbox"/> Tracy Tang (TT)
<input type="checkbox"/> Jim Abbs (JA)	<input type="checkbox"/> Justina Nwaesei (JN)
<input type="checkbox"/> Kevin Alexander (KA)	<input type="checkbox"/> Laura Strahl (LS)
<input type="checkbox"/> Simona Simion (SS)	<input type="checkbox"/> _____

Complete Application
This application is deemed complete on _____ <i>Date</i>
_____ <i>Signature of Delegated Authority</i>
<input type="checkbox"/> Neil Robertson, MCIP, RPP Manager of Urban Design <input type="checkbox"/> Greg Atkinson, MCIP, RPP Manager of Development <input type="checkbox"/> Thom Hunt, MCIP, RPP City Planner & Executive Director

Internal Information
Fee Paid: \$ _____ Receipt No: _____ Date: _____
Payment Type: <input type="checkbox"/> Cash <input type="checkbox"/> Certified Cheque <input type="checkbox"/> Credit Card <input type="checkbox"/> Personal Cheque
NEW Zoning File No. ZNG/ _____ Z- _____
Previous Zoning File No. ZNG/ _____ Z- _____
Related OPA File No. OPA/ _____ OPA _____
Other File Numbers: _____
Notes: _____

THIS IS THE LAST PAGE OF THE APPLICATION FORM

COMMITTEE OF ADJUSTMENT/CONSENT AUTHORITY AGENDA RECORD

PLEASE BE ADVISED THIS MEETING IS CONDUCTED ELECTRONICALLY.

The following applications are scheduled to be heard by the Committee of Adjustment/Consent Authority on Thursday, October 31, 2024 in the order stated below.
 LOCATION: Room 204 Via Electronic Participation

ITEM	TIME	ROLL #	FILE #	APPLICANT	LOCATION	REQUEST
1	3:30 PM	3739080150044050000	B-041/24	OLIVIA CONSTRUCTION HOMES	0 NORTHWAY AVE (VACANT LOT SOUTH OF 3948 NORTHWAY AVE)	CONSENT: Create two new Lots.
2	3:30 PM	3739040090001000000	A-060/24	1000919663 ONTARIO LIMITED	430 KARL PL	RELIEF: Construct a semi-detached dwelling with reduced minimum lot width and minimum lot area.
3	3:30 PM	3739050370036000000	A-061/24	DECORO HOLDINGS INC.	1074 CALIFORNIA AVE	RELIEF: Residential Lot with minimum lot width, lot area, and rear yard depth requirements.
4	3:30 PM	3739080510098000000	A-062/24	SUSANNAH DOROTHY CHADWICK	2125 BETTS AVE	RELIEF: Accommodate an addition to an existing single unit dwelling with reduced minimum side yard setback.
5	3:30 PM	3739080150044010000	A-063/24	ASHRAF BOTROS	3972 NORTHWAY AVE	RELIEF: A single unit dwelling with maximum Gross Floor Area- Main Building
6	3:30 PM	3739040050044000000	A-064/24	2424718 ONTARIO LIMITED	423-439 OUELLETTE AVE	RELIEF: Creation of 8 residential units with minimum required parking spaces.
7	3:30 PM	37390804900005150000	A-065/24	GIHAD GAWANMEH CLEARSTONE	2514-2517 NORTHWOOD ST	RELIEF: Maximum building gross floor area.
8	3:30 PM	3739050370155000000	B-042/24	UNIVERSITY SHOPPING CENTRE INC	2640 TECUMSEH RD W	CONSENT: Create an easement for ingress/egress.

If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent does not make written submissions to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Ontario Land Tribunal may dismiss the appeal.

In addition, if you wish to be notified of the decision of the Committee of Adjustment in respect of the proposed applications, you must make a written request to the Committee of Adjustment at the address shown below with the specific file number please emails COAdjustment@citywindsor.ca. **NOTE:** To access the Agenda Record, Comments for the upcoming meeting, and past Committee of Adjustment Minutes, please visit our website at: [Committee of Adjustment Meeting Agenda \(citywindsor.ca\)](http://CommitteeofAdjustmentMeetingAgenda(citywindsor.ca))

Subject: Windsor Canada Utilities Ltd. 2nd Quarter 2024 Financial Statements - City Wide

Reference:

Date to Council: October 28, 2024
Author: Lorie Gregg
Deputy Treasurer - Taxation, Treasury & Financial Projects
519-255-6100 Ext. 6522
lgregg@citywindsor.ca
Taxation & Financial Projects
Report Date: October 7, 2024
Clerk's File #: MU2024

To: Mayor and Members of City Council

Recommendation:

THAT City Council **RECEIVE** for information, the Windsor Canada Utilities Lt. 2nd Quarter 2024 Financial Statements.

Executive Summary:

N/A

Background:

The Shareholder direction for Windsor Canada Utilities Ltd. (WCU) requires that Quarterly Financial Statements be provided to the shareholder.

Discussion:

In compliance with this requirement, WCU has provided consolidated financial statements as at June 30, 2024, with comparatives as at June 30, 2023.

Risk Analysis:

N/A

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

See attached Appendix A, which includes the following as at June 30, 2024:

- Covering letter from WCU's Vice President and Chief Financial Officer and the President and Chief Executive Officer
- Consolidated Balance Sheet
- Consolidated Income Statement
- Consolidated Statement of Cash Flows

Consultations:

N/A

Conclusion:

Information is submitted to City Council in compliance with the requirements of the Shareholder Directions for WCU.

Planning Act Matters:

N/A

Approvals:

Name	Title
Lorie Gregg	Deputy Treasurer – Taxation, Treasury & Financial Projects
Janice Guthrie	Commissioner, Finance & City Treasurer
Joseph Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email
Enwin		

Appendices:

- 1 Appendix A - WCU - 2024 2nd Quarter Financial Statements



To: Mayor and Members of City Council

2024 09 11

From: Matt Carlini

Re: Windsor Canada Utilities Ltd. June 2024 Quarterly Financial Statements

BACKGROUND AND BASIS OF REPORTING

Enclosed are the financial reports for Windsor Canada Utilities Ltd. (“WCU”) as at June 30, 2024.

WCU’s financial statements are presented in accordance with International Financial Reporting Standards (“IFRS”) which is a requirement, as WCU is a publicly accountable entity. WCU is not eligible to use Public Sector Accounting Standards, which is what the Corporation of the City of Windsor uses for external reporting. Within the Windsor Canada Utilities Ltd., consolidated operations are the operations of the local distribution company (ENWIN Utilities Ltd.) and the unregulated businesses held under ENWIN Energy Ltd..

The Ontario Energy Board (“OEB”) regulates ENWIN Utilities Ltd. (“EWU”), and has a prescribed accounting framework which is used for rate-setting purposes which is called Modified IFRS (MIFRS). Embedded within WCU’s income statement is both the net income on a MIFRS and IFRS basis. The IFRS balances are the values used for external reporting purposes.

An exposure draft is currently in the final stages of approval where IFRS is going to be modified to allow for regulatory balances, which should help to simplify the financial reporting for rate regulated entities. This exposure draft is still in progress and not expected to become effective for another several years.

DISCUSSION

The objective of this report is to provide quarterly consolidated financial performance updates to the Mayor and members of City Council. Further financial analysis and explanations can be found under the 'Financial Matters' section.

RISK ANALYSIS

The results reported to the City Council are for internal reporting purposes and are intended to provide an update of the company's financial performance relative to budget and prior year. The figures are not audited and do not contain all the note disclosure that would be present in a full audited financial statement.

FINANCIAL MATTERS*Financial Highlights*

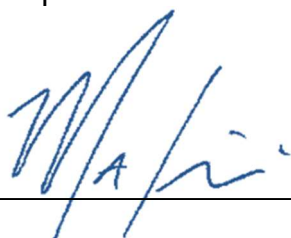
Overall, the financial performance was strong through the second quarter of the year. Operating results on a regulated basis are performing better than budget although overall net income on a IFRS basis is under budget due to timing of energy related costs.

As of the quarter-ended June 30, 2024, WCU is reporting Total Revenue of \$28.4 million, Operating Income of \$12.5 million, and Net Income of \$6.1 million under IFRS. The 2024 forecast shows revenue consistent with budget and operating expenses slightly less than budget. Finance income and previously anticipated regulatory adjustments are expected to increase overall net income. These regulatory adjustments are often impacted by market conditions, but management will continue to monitor financial performance and liquidity throughout the year.


The dividend is expected to remain at \$4 million for the year.

Liquidity and Financial Strength

As at June 30, 2024, WCU is in a positive cash flow position. Cash is expected to slowly decrease throughout 2024 because of the timing of capital spending as well as the settlement of regulatory balances. WCU continues to experience a strong balance sheet and consistent credit profile.



Matt Carlini
Chief Financial Officer

A handwritten signature in black ink that reads "Garry Rossi". The signature is written in a cursive style with a large, prominent "G" and "R".

Garry Rossi
President and CEO

encls Appendix A – WCU Q2 2024 Consolidated Financial Review Statements

Windsor Canada Utilities Ltd.

Board Financial Review Statements

June 30, 2024

Unaudited

	Page Reference
Consolidated Balance Sheet.....	i
Consolidated Income Statement.....	ii
Consolidated Statement of Cash Flows.....	iii

Windsor Canada Utilities Ltd.

Consolidated Balance Sheet
(In thousands of Canadian dollars)

June 30, 2024, with comparative information for 2023

	June 2024	June 2023	December 2023
Assets			
Current assets:			
Cash and cash equivalents	\$ 19,613	\$ 12,811	\$ 22,234
Investment	3,636	14,847	3,532
Accounts receivable	49,131	43,755	48,907
Due from related parties	4,223	4,029	5,008
Inventory	8,898	8,094	8,828
Other assets	2,648	3,082	1,786
	88,149	86,618	90,295
Non-current assets:			
Property, plant and equipment	265,573	255,012	261,513
Intangible assets	1,015	1,047	1,228
Investment, sinking fund	17,785	15,270	16,601
Investment in joint venture	165	136	217
Due from related parties - debentures and post-retirement	52,000	52,000	52,000
Deferred income taxes	2,687	2,841	2,677
	339,225	326,306	334,236
Total assets	\$ 427,374	\$ 412,924	\$ 424,531
Liabilities			
Current liabilities:			
Accounts payable and accruals	\$ 25,020	\$ 24,015	\$ 30,119
Payments in lieu of income taxes payable	2,775	1,787	1,081
Due to related parties	10,059	9,347	9,391
Current portion of customer deposits	1,492	1,345	1,107
Deferred revenue	4,117	4,088	4,118
	43,463	40,582	45,816
Non-current liabilities:			
Customer deposits	7,044	6,061	6,172
Deferred revenue - customer contributions	19,158	19,345	19,375
Long-term debt	102,550	102,534	102,542
Employee future benefits	48,701	44,151	48,299
	177,453	172,091	176,388
Total liabilities	220,916	212,673	222,204
Equity			
Common shares	81,842	81,842	81,842
Contributed surplus	516	516	516
Retained earnings	124,100	117,893	119,969
	206,458	200,251	202,327
Total liabilities and equity	\$ 427,374	\$ 412,924	\$ 424,531

Windsor Canada Utilities Ltd.

Consolidated Statement of Income
(In thousands of Canadian dollars)

June 30, 2024, with comparative information for 2023

	YTD - June 30, 2024			YTD - June 30, 2023		2024 Annual	2024
	Actuals	Budget	Variance	Actuals	Variance	Budget	Forecast
Distribution revenue:							
Residential	\$ 14,695	\$ 14,698	\$ (3)	\$ 13,973	\$ 722	\$ 29,396	\$ 29,393
General service - small	9,906	9,630	276	9,066	840	19,530	19,807
General service - large	2,120	2,183	(63)	2,050	70	4,450	4,376
Street lighting	898	892	6	853	45	1,784	1,790
	27,619	27,403	216	25,942	1,677	55,160	55,366
Net service revenue							
Services provided to WUC	10,372	10,717	(345)	10,016	356	21,434	21,204
Services provided to City	1,282	1,371	(89)	1,236	46	2,743	2,666
	11,654	12,088	(434)	11,252	402	24,177	23,870
Cost of services - MSA	(11,005)	(11,393)	388	(10,625)	(380)	(22,775)	(22,519)
Cost of services - depreciation - MSA	(401)	(404)	3	(377)	(24)	(809)	(793)
	248	291	(43)	250	(2)	593	558
Other income	492	478	14	824	(332)	970	1,238
Total revenue	28,359	28,172	187	27,016	1,343	56,723	57,162
Operating expenses:							
Distribution operation and maintenance	6,327	6,782	455	6,903	576	13,266	12,729
Billing and collection	1,590	1,695	105	1,774	184	3,441	3,345
Community relations	203	171	(32)	106	(97)	307	341
Administration and general	1,790	2,154	364	1,861	71	4,468	4,531
Property and tools and maintenance	979	995	16	1,028	49	1,977	1,959
Salaries and benefits	3,791	3,940	149	3,465	(326)	7,331	7,619
Regulatory	274	285	11	239	(35)	570	559
Employee future benefits	892	917	25	902	10	1,834	1,819
	15,846	16,939	1,093	16,278	432	33,194	32,902
Operating income / EBITDA	12,513	11,233	1,280	10,738	1,775	23,529	24,260
Other income/expenses:							
Share of joint venture's net loss (gain)	52	5	(47)	21	(31)	9	17
Depreciation and amortization	3,675	3,803	128	3,663	(12)	7,605	7,566
Net finance expense	(551)	483	1,035	(704)	(153)	978	(669)
Loss (gain) on sale of PP&E	207	-	(207)	1	(206)	-	207
	3,383	4,292	909	2,981	(402)	8,592	7,121
Income before tax	9,130	6,941	2,189	7,757	1,373	14,937	17,139
Provision for PILs of corporate taxes	2,669	1,974	(695)	2,443	(226)	4,229	5,012
Deferred income taxes	(10)	-	10	-	10	18	18
	2,659	1,974	(685)	2,443	(216)	4,247	5,030
Net income - MIFRS	6,471	4,967	1,504	5,314	1,157	10,690	12,109
Regulatory adjustment (IFRS)	(339)	1,600	(1,939)	(3,935)	3,596	3,202	1,262
Net income - IFRS	\$ 6,132	\$ 6,567	\$ (435)	\$ 1,379	\$ 4,753	\$ 13,892	\$ 13,371

Windsor Canada Utilities Ltd.

Consolidated Statement of Cash Flows
(In thousands of Canadian dollars)

June 30, 2024, with comparative information for 2023

	June 2024	June 2023	December 2023	Forecast 2024
Cash flows from operating activities:				
Total IFRS net income (loss) for the year	\$ 6,132	\$ 1,379	\$ 5,454	\$ 13,371
Adjustments for:				
Depreciation and amortization	6,206	5,896	11,971	12,675
Amortization of deferred revenue customer contribution	(280)	(272)	(549)	(561)
Remeasurement of employee future benefits	-	-	3,651	-
Loss (gain) on investment	(689)	(1,354)	(2,431)	(1,400)
Loss (gain) on sale of property, plant and equipment	205	(26)	1,507	205
Amortization of debt issuance costs	8	8	16	16
Share in joint venture's net loss	52	21	41	17
Net finance expense	(529)	(541)	(1,026)	(513)
Income tax expense	2,669	2,443	1,721	5,469
	13,774	7,554	20,355	29,279
Changes in:				
Accounts receivable	(222)	2,231	(2,924)	(2,508)
Due from related parties	785	(379)	(1,358)	1,797
Inventory	(70)	(1,655)	(2,389)	49
Other assets	(864)	(834)	462	(532)
Deferred income taxes	(10)	-	164	18
Accounts payable and accruals	(5,101)	(3,951)	2,157	(2,665)
PIL of income taxes	(359)	(960)	(588)	(1,784)
Due to related parties	668	1,496	1,540	(102)
Deferred revenue	-	-	29	(4,118)
Customer deposits	1,257	855	727	1,257
Employee future benefits	402	422	920	1,126
	(3,514)	(2,775)	(1,260)	(7,462)
Interest paid	(2,234)	(2,482)	(4,721)	(4,475)
Interest received	2,763	3,024	5,747	4,988
Income taxes paid	(616)	(909)	(1,266)	(5,004)
	10,173	4,412	18,855	17,326
Cash flows from investing activities:				
Acquisition of PP&E and intangible assets	(10,594)	(7,934)	(22,937)	(25,078)
Acquisition of investments	(600)	(600)	(1,200)	(1,300)
Investment in joint venture	-	-	(100)	-
Deferred revenue - customer contributions	173	336	690	3,109
Proceeds from investments	-	-	11,661	-
Proceeds on sale of PP&E	227	199	867	225
	(10,794)	(7,999)	(11,019)	(23,044)
Cash flows from financing activities:				
Dividends paid	(2,000)	(2,000)	(4,000)	(4,000)
	(2,000)	(2,000)	(4,000)	(4,000)
Net increase (decrease) in cash and cash equivalents	(2,621)	(5,587)	3,836	(9,718)
Cash and cash equivalents, beginning of period	22,234	18,398	18,398	22,234
Cash and cash equivalents, end of period	\$ 19,613	\$ 12,811	\$ 22,234	\$ 12,516

Subject: Housing Enabling Core Servicing and Water Systems Funding Update - Citywide

Reference:

Date to Council: October 28, 2024
Author: Averil Parent
Asset Coordinator
aparent@citywindsor.ca
519-255-6100 ext.6126
Asset Planning
Report Date: October 11, 2024
Clerk's File #: SW/14743 & SW/14226

To: Mayor and Members of City Council

Recommendation:

That the report of the Asset Coordinator dated October 11, 2024 entitled "Housing Enabling Core Servicing and Water Systems Funding Update – Citywide" **BE RECEIVED** for information.

Executive Summary:

N/A

Background:

Housing Enabling Water Systems Fund

In the fall of 2023, the Province announced a new funding opportunity called the Housing-Enabling Water Systems Fund (HEWSF). The HEWSF is an application-based program totalling \$970 million (intake 1) aimed at supporting the repair, rehabilitation and expansion of core water (drinking, storm and waste) infrastructure to protect communities and enable new housing development.

The goal of the fund is to:

- enable growth and housing development;
- increase access to clean drinking water;
- increase treatment and/or management of wastewater and stormwater.

All municipalities that own water infrastructure were able to submit only one project. The program provides for a total provincial contribution maximum of \$35 million or 73% of eligible project costs. Applications to the fund were accepted until April 19th, 2024. All projects were to be complete before March 2027.

On March 18th 2024 through CR 127/2024 City Council supported an application to the HEWSF for the Sandwich South Servicing Project. On August 7th 2024 the City received a letter from the Ministry of Infrastructure stating that following an evidence-based provincial review process, our project was not approved for funding, however the City was encouraged to apply under future intake streams.

In August of 2024 the Province announced a second intake of the HEWSF with an additional \$250 million to be invested in water/wastewater infrastructure that enables housing. The objectives, criteria and application remain the same. Municipalities that were successful in intake 1 of the program are ineligible to apply for intake 2 of the program. Applications for intake 2 are due on November 1st 2024. Projects must be completed by March 2028.

Housing Enabling Core Servicing

Also in August of 2024, the Province announced a new funding opportunity called the Housing-Enabling Core Servicing (HECS) stream under their Municipal Housing Infrastructure Program. The HECS fund is an application-based program totalling \$400 million aimed at supporting the development, repair, rehabilitation and expansion of municipal roads and bridges to promote growth and enable housing for growing and developing communities.

Municipalities will be able to submit only one project application under this stream. The program provides for a total provincial contribution maximum of \$20 million or 50% of eligible project costs. The deadline to apply for the program was October 18th 2024 and an application was submitted accordingly before the deadline. All projects must be completed before March 2028.

Eligible projects under this intake must meet the following project outcomes:

- Enable housing opportunities and promote growth; and
- Improve and develop more reliable road and/or bridge assets to support this growth.

Discussion:

Housing Enabling Water Systems Fund

Administration is preparing to apply for intake 2 of the HEWSF for the same Sandwich South Servicing Project that was applied to under intake 1.

This project includes the following infrastructure improvements, as shown in Appendix A – Sandwich South Servicing Project Map:

- County Road 42 (renamed Cabana Road East per CR420/2024) road and servicing improvements including storm, sanitary and watermain infrastructure;
- Realignment of the Lauzon Parkway/County Road 42 intersection, including storm infrastructure

- 9th Concession infrastructure servicing, including watermain, storm and sanitary infrastructure;
- Stormwater management ponds on airport lands at the corner of County Road 42 & Lauzon Parkway; and
- Improvements to the Sixth Concession municipal drain.

This project was originally brought forward to Council through report C 33/2024, with Council approving the following (CR 127/2024):

- I. **THAT** City council **SUPPORT** an application to the Housing-Enabling Water Systems Fund (HEWSF) for the project identified in this report; and,
- II. **THAT** City Council **APPROVE** the signing and submission of the HEWSF application by the Chief Administrative Officer subject to all documentation being satisfactory in form to the City Solicitor, in technical content to the City Engineer, and in financial content to the City Treasurer, or designates; and,
- III. **THAT** subject to written confirmation from the grant provider that the City's application has been successful, Administration **REPORT BACK** to Council regarding the proposed financing strategy required to carry out this project and execute the Agreement.

As noted in CR 127/2024, subject to written confirmation from the grant provider that the City's application to intake 2 has been successful, Administration will report back to Council regarding the proposed financing strategy required to carry out this project and execute the Agreement.

Housing Enabling Core Servicing

Administration reviewed the funding criteria and compiled a list of potential projects that would be eligible for application to the program. Potential projects were vetted against program criteria and the project that has been selected for application to the HECS stream is the Banwell Road and Wyandotte Street East Road System Improvements Project. To meet the deadline for this intake, CAO 281/2024 was prepared and approved.

Report C 91/2024 originally brought forward the Banwell Road/E.C. Row Expressway Interchange and Corridor Improvements project for both project and funding approvals. These approvals included not only improvements to Banwell Road, but also the construction of a new interchange at Banwell Road and E.C. Row Expressway.

On March 11, 2024, the Province of Ontario issued a media release announcing the government's investment of \$50M towards the construction of the new interchange. As further detailed in that report, while the significant contribution of the Province provided a substantial source of funding for the interchange, the total estimated cost for the overall infrastructure project, inclusive of the Banwell Road Improvements was estimated \$93,600,000.

Taking into account funds currently available and the afore-mentioned Provincial contribution, it was noted that a balance of approximately \$35.1M would need to be funded by the City in order to complete the Banwell Road works, outside of the interchange.

Given the opportunity presented under the HECS, under approvals provided through CAO 218/2024, Administration recommended that the following projects, which include components of the Banwell Road Corridor Improvements project, along with additional infrastructure improvements as shown in Appendix B – Banwell Road and Wyandotte Street East Road System Improvements Project Map and detailed below, be brought forward for potential grant funding:

- Widening of Banwell Road from the south limit of the new E.C. Row Expressway/Banwell Road interchange south to the City limit at the CP Rail, in accordance with the Municipal Class Environmental Assessment Study dated September 20, 2016; and
- Extension of Wyandotte Street East from Banwell Road east to Jarvis Avenue in accordance with the Municipal Class Environmental Assessment Study dated July 2023; and
- Intersection improvements at the existing Banwell Road/McHugh Street intersection.

Renewal, road extension and service improvements on Banwell Road and Wyandotte Street East as noted will contribute to increased housing opportunities and improved traffic and active transportation connectivity in the East Riverside Planning Area. The City of Windsor has approved 13 zoning by-law amendments on Wyandotte Street East and Banwell Road, north of Tecumseh Road in the last 5 years totaling 3030 new housing units.

In addition, the noted works, inclusive of the widening of Banwell Road from the south limit of the new E.C. Row Expressway/Banwell Road interchange south to the City limit at the CP Rail, will further support the development of the Sandwich South lands (East Pelton and County Rd 42 Secondary Plan Areas) and the Tecumseh Hamlet Secondary Plan area, which are anticipated to be proceeding through rezoning and plan of subdivision applications in the immediate future.

As noted above, subject to written confirmation from the grant provider that the City's application has been successful, Administration will report back to Council regarding on revised capital budget implications including any impacts to the proposed financing strategy required to carry out this project and seek approval to execute the Agreement.

Risk Analysis:

There is minimal risk in applying to these funding programs. Upon receiving written confirmation from the grant provider that the City's applications have been successful, Administration will report back to Council regarding the proposed financial strategies required to carry out these projects. If the City is awarded funding and financial strategies are not approved and in place for the City's portion of project costs, the City

will forfeit any funding awarded under these programs. If awarded, these projects will have appropriate staff assigned to them.

There are risks associated with the selection of Banwell Road from the south limit of the E.C. Row interchange to the City limits as part of the overall project. The interchange itself has received Provincial funding. It is Administration’s position however, that the Banwell Road widening project should be considered separate and apart from the Banwell/interchange works as they are two separate and distinct project scopes. The application was accordingly completed in a manner as to support this position.

Climate Change Risks

Climate Change Mitigation:

There is no climate change mitigation risk associated with applying to these funding programs. Project work to improve Banwell Rd. and Wyandotte Street East will improve traffic flow and decrease congestion thereby improving efficiency of vehicles. The implementation of both Environmental Assessments will also include new active transportation improvements to both roadways.

Climate Change Adaptation:

There is no climate change mitigation risk associated with applying to these funding programs. If awarded, stormwater design guidelines will be followed when investing in this infrastructure to ensure that flooding risks are mitigated. The Sandwich South area was further considered and modeled as part of the Upper Little River Master Plan Environmental Assessment Study and Sandwich South Master Servicing Plan.

Financial Matters:

Housing Enabling Water Systems Fund

The HEWSF will fund up to 73% of eligible project expenses to a maximum of \$35 million. The high-level project budget is as follows and outlines potential eligible and ineligible contributions. These numbers represent preliminary, high level estimates at this time. These estimates will be refined for the grant application and, if successful, updated estimates and a proposed funding strategy will be reported to Council.

Sandwich South Servicing Project

Item	Eligible Cost	Ineligible Cost	Total Cost
Storm & Sanitary Sewers (Lauzon Pkwy, CR42 and 9 th Concession)	\$24,500,000		\$24,500,000
Watermain (CR42 and 9 th Concession)	\$15,500,000		\$15,500,000
Stormwater Ponds	\$35,100,000		\$35,100,000
Roadway Widening, Intersection Improvements, Lauzon Realignment (including active transportation)		\$45,900,000	\$45,900,000
6 th Concession Municipal Drain Reconstruction	\$7,500,000		\$7,500,000

(7 th concession to Little River)			
Project Management Costs		\$600,000	\$600,000
Contract Administration and Material Testing	\$2,100,000		\$2,100,000
Land Acquisition		\$4,000,000	\$4,000,000
SUB-TOTAL	\$84,700,000	\$50,500,000	\$135,200,000
Non-Recoverable HST (1.7602% of eligible and ineligible costs)		\$2,380,000	\$2,380,000
TOTAL	\$84,700,00	\$52,880,000	\$137,580,000
HEWSF Funding Contribution (estimated)			(\$35,000,000)
City of Windsor Funding Contribution (estimated)			\$102,580,000

It should be noted that the costs presented above represent the total cost of the noted project works. For purposes of the grant, only the portion of the project work that can be completed by the funding deadline of March 2028 will be submitted under the application. The balance of the work, along with the cost of other servicing and infrastructure improvements, will form part of the larger development and servicing of the area encompassed by Walker Road to the west, County Road 42 to the south, City municipal boundary to the east and E.C. Row to the north.

While a portion of this work has been funded in the current 10-year capital plan, given the magnitude of the proposed works, along with other servicing needs required in the area, as previously reported to Council, a comprehensive funding strategy will need to be developed to fully support the required infrastructure development.

Administration continues to work on the development of a financial strategy for servicing of the area, which is expected to be presented to Council in the near future. As this project forms part of the work contemplated in that report, it is the intention to apply the HEWSF contributions, if successful, towards this work.

Housing Enabling Core Servicing Fund

The following table outlines the estimated cost for each project, the funding that is currently available, and if needed, the additional funding required in order to allow the City's share of the work to proceed.

Item	Banwell – Interchange South to CP Rail	Wyandotte Street Extension	Banwell / McHugh Intersection	Total
Gross Project Cost (inclusive of non-recoverable HST)	\$34,910,000	\$7,800,000	\$375,000	\$43,085,000
Add: Required Project Contingency (25% of Total Eligible Costs)	\$6,852,500	\$600,000	\$93,750	\$7,546,250
Less: WUC Recoveries	(\$7,500,000)	(\$0)	(\$0)	(\$7,500,000)
Less: Current Funding Available	(\$0)	(\$650,000)	(\$234,375)	(\$884,375)

Net Project Cost	\$34,262,500	\$7,750,000	\$234,375	\$42,246,875
Less: Anticipated Grant Funding (estimated)				(\$18,865,625)
Additional Funding Required				\$23,381,250

The total cost to complete this work is estimated at \$43,085,000. The grant provider requires that a mandatory contingency amount of 25% of the gross project cost be included in the application. As a result, the anticipated grant funding would total \$18,865,625. When considering this contingency amount, and including the anticipated grant and recoveries from WUC, along with current available funding, the net project cost to the City is estimated at \$23,381,250. If the City is successful with this grant application, a Council Report will be brought forward with a detailed funding strategy for the \$23,381,250 in remaining funds required to complete this work.

Consultations:

Mike Dennis – Manager Strategic Capital Budget Development & Control
 Pat Winters – Manager, Development
 Joshua Meloche – Senior Legal Counsel
 Neil Robertson – City Planner
 Greg Atkinson – Deputy City Planner, Development

Conclusion:

Administration recommends accepting this report for information. Applications to both the Housing Enabling Core Servicing and Housing Enabling Water Systems funding streams provide opportunity to further growth priorities within the City.

Approvals:

Name	Title
Natasha Gabbana	Senior Manager, Asset Planning
Wira Vendrasco	City Solicitor
Stacey McGuire	Executive Director, Engineering/Deputy City Engineer
David Simpson	Commissioner, Infrastructure Services & City Engineer
Jelena Payne	Commissioner, Economic Development
Janice Guthrie	Commissioner, Finance & City Treasurer
Joe Mancina	Chief Administrative Officer

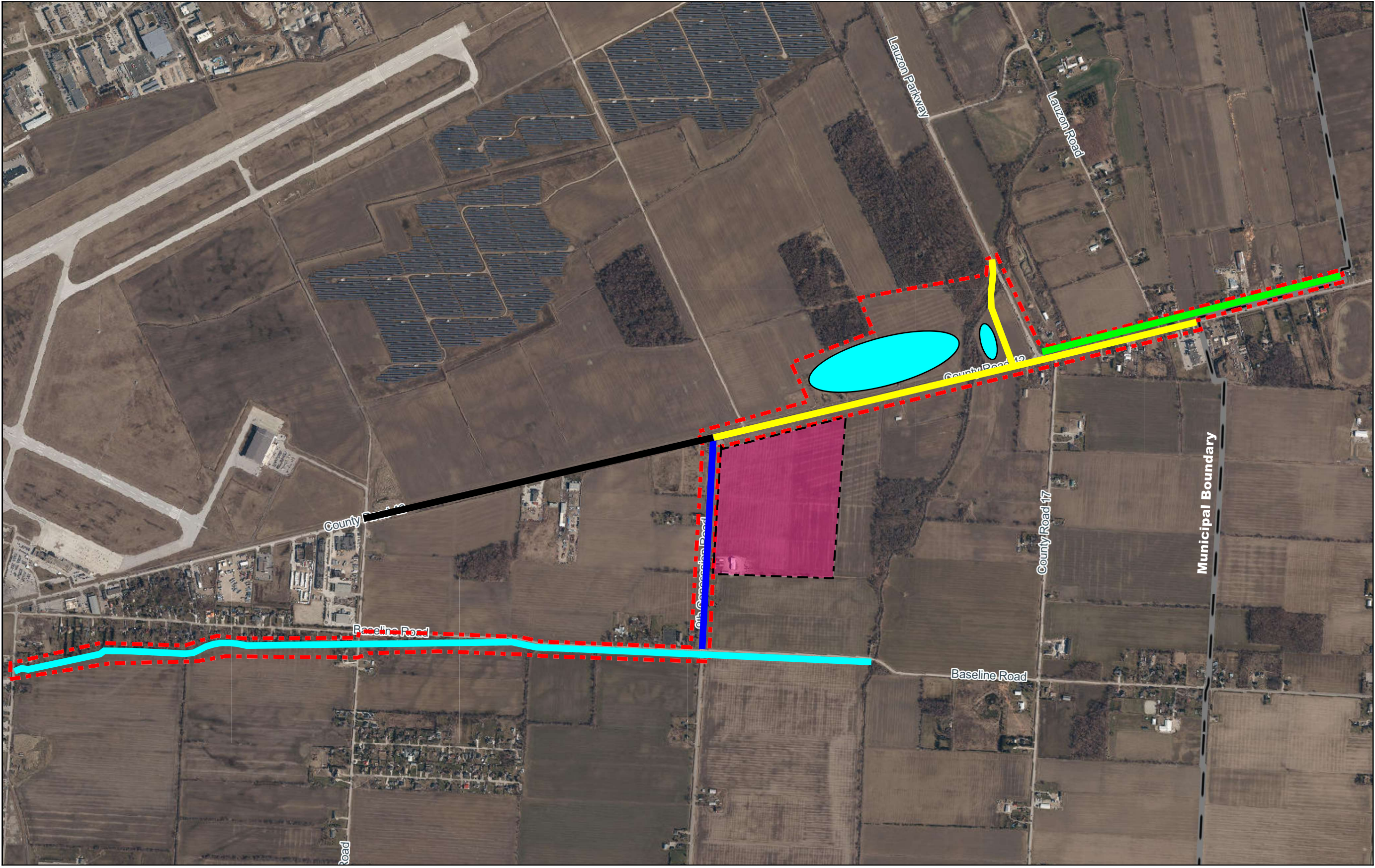
Notifications:

Name	Address	Email

Appendices:

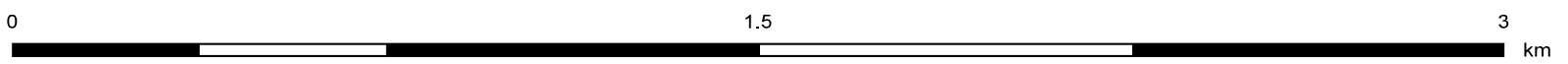
Appendix A – Sandwich South Servicing Project Map

Appendix B – Banwell Road and Wyandotte Street East Road System Improvements Project Map



- Legend**
- - - Project Area Boundary
 - Storm Sewer and Watermain Project Area
 - Municipal Drain Project Area
 - Sanitary Sewer Project Area
 - Storm, Sanitary, Watermain Project Area
 - Watermain Project Area
 - New Storm Ponds
 - New Windsor Regional Hospital Site

Notes

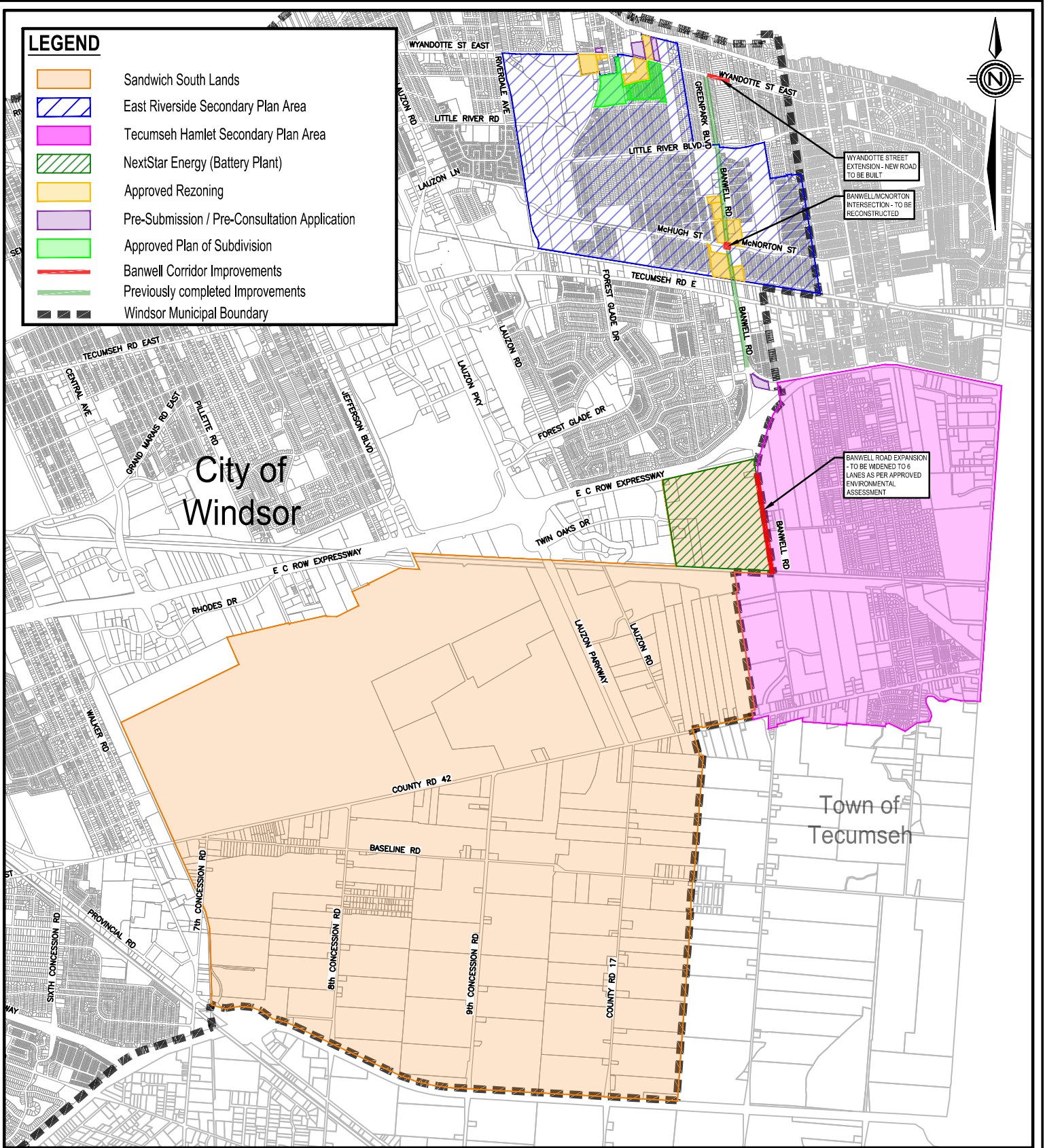


This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

LEGEND

- Sandwich South Lands
- East Riverside Secondary Plan Area
- Tecumseh Hamlet Secondary Plan Area
- NextStar Energy (Battery Plant)
- Approved Rezoning
- Pre-Submission / Pre-Consultation Application
- Approved Plan of Subdivision
- Banwell Corridor Improvements
- Previously completed Improvements
- Windsor Municipal Boundary



THE CORPORATION OF THE CITY OF WINDSOR - ENGINEERING DEPARTMENT

Housing Enabling Core Servicing Grant Application

4M-214

Kirk Tamm, Manager of Geomatics

City Council

SCALE: 1:50,000

DATE: OCTOBER 2024

REVISED: -

DWG. NO.

Meeting Agenda - Monday, October 28, 2024
 City of Windsor
 Page 126 of 854

REVISION NO.: -

FIGURE No. 1



Subject: Engineering/Architectural Consultants Engaged via Roster – January 1 2024 to June 30, 2024 "City Wide"

Reference:

Date to Council: October 28, 2024
Author: Alex Vucinic
Manager of Purchasing & Risk Management
519-255-6100 ext. 6280
avucinic@citywindsor.ca
Purchasing
Report Date: July 23, 2024
Clerk's File #: SW/13041

To: Mayor and Members of City Council

Recommendation:

THAT this report **BE RECEIVED** by Council for information in compliance with section 163 of Bylaw 93-2012 (the "Purchasing Bylaw").

Background:

Section 163 of the Purchasing Bylaw provides:

163 ... "The responsible CLT Member and Manager of Purchasing and Risk Management (now Purchasing Manager) shall provide a semi-annual report to Council disclosing all consultants engaged through any rostering process in Part IX of this Bylaw."

This report is provided in satisfaction of these requirements.

Discussion:

Section 163 of the Purchasing Bylaw permits direct contract awards to firms listed on the engineering roster for professional services valued under \$100,000.

This method recognizes the fact that professional services for public works services are frequently utilized and are often of a repetitive or similar nature. Accordingly, proceeding with a request for proposals for each such project would be unnecessarily time- and resource- intensive. Instead, qualified professionals competed for inclusion on a roster and were categorized based on area of expertise, and contracts are awarded having regard to compatibility of work to be performed and consultant skill and expertise, with an intention to distribute work equitably.

Projects exceeding the established threshold must be addressed in accordance with the Purchasing Bylaw, either by issuing a Request for Proposals or, if applicable, proceeding with a sole source.

Section 163 the Bylaw requires the Manager of Purchasing and Risk Management (now Purchasing Manager) and the responsible CLT member to provide a semi-annual report outlining the nature of the awards made under this section.

All contracts awarded by roster as described above are shown at Appendix “A.”

Risk Analysis:

There is no risk associated with receipt of this report.

Financial Matters:

Twenty-Seven consultant contracts were awarded under section 163 of the Purchasing Bylaw during the first half of 2024 totalling \$857,289.86 (excluding HST).

Consultations:

Jennifer Musson, Senior Buyer

Conclusion:

Twenty-Seven consultant contracts were awarded under section 163 of the Purchasing Bylaw during the first half of 2024 totalling \$857,289.86 (excluding HST).

Approvals:

Name	Title
Alex Vucinic	Manager of Purchasing & Risk Management
Dana Paladino	Acting Senior Executive Director, Corporate Services

Name	Title
Ray Mensour	Commissioner, Community & Corporate Services
David Simpson	Commissioner, Infrastructure Services & City Engineer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- 1 Appendix "A" - Rostered Consultants Used by Public Works, Parks and Facilities – January 1 2024 to June 30 2024

APPENDIX "A"

Rostered Consultants Used by Public Works, Parks and Facilities – January 1 2024 to June 30 2024

Contract Number	Consultant	Description	\$ Value
CO7119	Dillon	2023 Regulatory Reporting - WBPF	\$5,000.00
CO7122	Stantec	Archaeological Assessment 700 Wellington Ave	\$7,475.96
CO7123	EXP	Laboratory Testing Services Asphalt 2024 Construction Season	\$95,000.00
CO7124	EXP	Inspection & Testing Services 2024 Construction Season	\$80,000.00
CO7129	Dillon	Phase 1 ESA 700 Wellington Avenue	\$12,000.00
CO7133	Stantec	Archaeological Assessment 7310 Tecumseh Rd E	\$9,979.94
CO7135	Archon Architects	Central Library Functional Plan from 2018 and provide recommendations for a new central library design.	\$31,700.00
CO7155	Dillon	Annual monitoring of the Western Inert (Malden Road) Landfill for 2024	\$93,100.00
CO7157	Haddad Morgan	Engineering assessment of EC Row bridge mounted signs and Huron Church sign structures	\$21,600.00
CO7160	Egis Canada Ltd.	Building Condition Assessment for 26 City owned properties	\$87,100.00
CO7161	Dillon	MCEA Florence Avenue	\$33,050.00
CO7173	Pinchin	Noise Impact Study 7310 Tecumseh Road East	\$4,750.00
CO7175	EXP	Excess Soils Consulting Parking Lots A and B at WFCU 8787 McHugh St	\$8,500.00
CO7195	Stantec	Stage 1 Archaeological Assessment Caron, Pelissier Crawford	\$8,836.76
CO7196	LP Meyer	Goyeau Garage 1 2024 Restoration Project	\$96,100.00
CO7206	Landmark Engineers	Peche Island Floating Bridge Feasibility Study	\$16,500.00
CO7209	Hanscomb	Roseland Housing Cost Consultant	\$15,900.00
CO7211	Stantec	Archaeological 1453 Prince Road	\$9,857.20
CO7217	RWDI	Air Quality Assessment 7310 Tecumseh Rd East	\$8,700.00
CO7221	GHD	Environmental Delineation 680 Goyeau St	\$16,700.00
CO7224	GHD	Geotechnical & Excess Soils St. Luke Road	\$76,560.00
CO7225	GHD	Limited EA Dufferin Place ROW	\$18,880.00
CO7229	Architecttura	Capri Centre Interior Renovations	\$7,800.00
CO7237	Dillon	Phase 1 ESA Pelissier Parking Lot	\$11,000.00
CO7238	Dillon	Phase 1 ESA 874 Giles Blvd	\$13,000.00
CO7239	Dillon	Phase 1 ESA 455 Kennedy Drive	\$10,500.00
CO7243	EXP	Geotechnical & Excess Soils McEwan	\$57,700.00
TOTAL			\$857,289.86

Subject: IT Deliverable Providers Engaged via Roster – January 1 2024 to June 30, 2024 "City Wide"

Reference:

Date to Council: October 28, 2024
Author: Alex Vucinic
Manager of Purchasing and Risk Management
519-255-6100 ext. 6280
avucinic@citywindsor.ca
Purchasing
Report Date: July 23, 2024
Clerk's File #: AL2024

To: Mayor and Members of City Council

Recommendation:

THAT this report **BE RECEIVED** by Council for information in compliance with section 163 of Bylaw 93-2012 (the "Purchasing Bylaw").

Background:

Section 163 of the Purchasing Bylaw provides:

163 ... "The responsible CLT Member and Manager of Purchasing and Risk Management (now Purchasing Manager) shall provide a semi-annual report to Council disclosing all consultants engaged through any rostering process in Part IX of this Bylaw."

This report is provided in satisfaction of these requirements.

Discussion:

Section 163 of the Purchasing Bylaw permits direct contract awards to firms listed on the IT roster for professional services valued under \$100,000.

This method recognizes the fact that professional services for IT deliverables are frequently utilized and are often of a repetitive or similar nature. Accordingly, proceeding with a request for proposals for each such project would be unnecessarily

time- and resource- intensive. Instead, qualified professionals competed for inclusion on a roster and were categorized based on area of expertise, and contracts are awarded having regard to compatibility of work to be performed and consultant skill and expertise, with an intention to distribute work equitably.

Projects exceeding the established threshold must be addressed in accordance with the Purchasing Bylaw, either by issuing a Request for Proposals or, if applicable, proceeding with a sole source.

Section 163 the Bylaw requires the Manager of Purchasing and Risk Management (now Purchasing Manager) and the responsible CLT member to provide a semi-annual report outlining the nature of the awards made under this section.

All contracts awarded by roster as described above are shown at Appendix “A.”

Risk Analysis:

There is no risk associated with receipt of this report.

Financial Matters:

Five deliverable provider contracts were awarded under section 163 of the Purchasing Bylaw during the second first half of 2024 totalling \$193,719.25 (excluding HST).

Consultations:

Ryan Malott, Senior Buyer

Conclusion:

Five deliverable provider contracts were awarded under section 163 of the Purchasing Bylaw during the second first half of 2024 totalling \$193,719.25 (excluding HST).

Approvals:

Name	Title
Alex Vucinic	Manager of Purchasing and Risk Management
Dana Paladino	Acting Senior Executive Director, Corporate Services
Ray Mensour	Commissioner, Community & Corporate Services
Joe Mancina	Chief Administrative Officer

Name	Title

Notifications:

Name	Address	Email

Appendices:

- 1 APPENDIX "A" Rostered Deliverable Providers Used by Technology Services – January 1 2024 to June 30 2024

APPENDIX "A"**Rostered Deliverable Providers Used by Technology Services – January 1 2024 to June 30 2024**

Contract Number	Consultant	Description	\$ Value
CO7111	Insight Canada	Microsoft 365 Program Adoption & Change Mgmt Support	\$37,528.00
CO7134	Insight Canada	M365 Exchange Online Migration	\$24,680.00
CO7146	Perry Group	IT Service Desk Transformation Strategy & Roadmap	\$76,431.25
PO19168	Vollmer	Fibre Conduit Little River	\$29,590.00
PO19175	Vollmer	Huron Lodge WiFi	\$25,490.00
TOTAL			\$193,719.25



Subject: Confirm & Ratify Report--Road Rehabilitation Project Addition, Chrysler Centre – Ward 5

Reference:

Date to Council: October 28, 2024

Author: Anna Ciacelli--Deputy City Clerk/Supervisor of Council Services

(519) 255-6100 ext 1837

aciacelli@citywindsor.ca

Council Services

Report Date: October 16, 2024

Clerk's File #: SW2024

To: Mayor and Members of City Council

Recommendation:

That the results of the email poll to members of Council, conducted by the City Clerk on October 7, 2024, **BE CONFIRMED AND RATIFIED:**

That Council **APPROVE** the addition of the east side of Chrysler Centre (Tecumseh to Grand Marais) to the 2024 Road Rehabilitation Project plan; and,

Whereas on February 2, 2024, the 2024 Capital Budget was deemed approved via Mayoral Decision MD05-2024 and subsequently City Council **SUPPORTS** an expenditure of \$2,500,000 to be used for the purpose of partial road rehabilitation on the east side of Chrysler Centre (Tecumseh to Grand Marais); and,

THAT the City Treasurer **BE DIRECTED** to transfer \$2,500,000 in surplus funds remaining in the 2022 Road Rehabilitation Project ID 7221001 to the 2024 Road Rehabilitation Project ID 7241000 to fund such works; and,

THAT Council **PRE-APPROVE** and **AWARD** any procurement(s) necessary that are related to the Chrysler Centre road rehabilitation project, provided that the procurement(s) are within approved budget amounts, pursuant to the Purchasing By-Law 93-2012 and amendments thereto; satisfactory in financial content to the City Treasurer, in legal form to the City Solicitor; and in technical content to the City Engineer; and,

THAT the Chief Administrative Officer and the City Clerk **BE AUTHORIZED** to take any such action required to effect the recommendation noted above and sign any required documentation for the Chrysler Centre road rehabilitation

project, satisfactory in financial content to the City Treasurer, in legal form to the City Solicitor; and in technical content to the City Engineer; and,

THAT the Purchasing Manager **BE AUTHORIZED** to issue Purchase Orders as may be required to effect the recommendation noted above, subject to all specification being satisfactory in financial content to the City Treasurer, and in technical content to the City Engineer; and,

THAT the Chief Administrative Officer and City Clerk **BE AUTHORIZED** to execute any amendment(s) as may be required, provided that the amendment(s) are within approved budget amounts, satisfactory in financial content to the City Treasurer, in legal form to the City Solicitor; and in technical content to the City Engineer; and,

THAT the Purchasing Manager **BE AUTHORIZED** to issue Purchase Orders for any amendment(s) as may be required, provided that the amendment(s) are within approved budget amounts, satisfactory in financial content to the City Treasurer, and in technical content to the City Engineer; and,

THAT Administration **BE AUTHORIZED** to issue any change order(s) for any amendment(s) as may be required, if the amendment(s) are within approved budget amounts, satisfactory in financial content to the City Treasurer, and in technical content to the City Engineer.

Executive Summary:

N/A.

Background:

Section 3.7 of Procedure By-law 98-2011 provides the following:

“Telephone and/or email polls of Members of Council shall be permitted only upon authorization by the Mayor or CAO, in emergency situations requiring Council direction where time does not permit holding a special meeting of Council and/or quorum of Council cannot physically convene to consider a matter. The results of a poll must be confirmed and ratified at the next public meeting of Council”.

Discussion:

Due to the time sensitive nature of the request to begin the project, the request to conduct an e-mail poll was granted by the Mayor and Chief Administrative Officer.

The e-mail poll was approved by Council unanimously.

Risk Analysis:

N/A

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

The financial matters are provided in Report C 118/2024 included in the agenda package.

Consultations:

N/A

Conclusion:

It is recommended that the results of the email poll conducted on October 7, 2024 approving the above noted resolution unanimously be confirmed and ratified.

Planning Act Matters:

N/A.

Approvals:

Name	Title
Steve Vlachodimos	City Clerk
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

1 Report C 118 2024--Road Rehabilitation Project Addition--Chrysler Centre Ward 5

Subject: Road Rehabilitation Project Addition, Chrysler Centre – Ward 5

Reference:

Date to Council: October 15, 2024

Author: David Simpson

Commissioner, Infrastructure Services & City Engineer

(519 255 6247

dsimpson@citywindsor.ca

Public Works - Operations

Report Date: September 9, 2024

Clerk's File #: SW2024

To: Mayor and Members of City Council

Recommendation:

That Council **APPROVE** the addition of the east side of Chrysler Centre (Tecumseh to Grand Marais) to the 2024 Road Rehabilitation Project plan; and,

Whereas on February 2, 2024, the 2024 Capital Budget was deemed approved via Mayoral Decision MD05-2024 and subsequently City Council **SUPPORTS** an expenditure of \$2,500,000 to be used for the purpose of partial road rehabilitation on the east side of Chrysler Centre (Tecumseh to Grand Marais); and,

THAT the City Treasurer **BE DIRECTED** to transfer \$2,500,000 in surplus funds remaining in the 2022 Road Rehabilitation Project ID 7221001 to the 2024 Road Rehabilitation Project ID 7241000 to fund such works; and,

THAT Council **PRE-APPROVE** and **AWARD** any procurement(s) necessary that are related to the Chrysler Centre road rehabilitation project, provided that the procurement(s) are within approved budget amounts, pursuant to the Purchasing By-Law 93-2012 and amendments thereto; satisfactory in financial content to the City Treasurer, in legal form to the City Solicitor; and in technical content to the City Engineer; and,

THAT the Chief Administrative Officer and the City Clerk **BE AUTHORIZED** to take any such action required to effect the recommendation noted above and sign any required documentation for the Chrysler Centre road rehabilitation project, satisfactory in financial content to the City Treasurer, in legal form to the City Solicitor; and in technical content to the City Engineer; and,

THAT the Purchasing Manager **BE AUTHORIZED** to issue Purchase Orders as may be required to effect the recommendation noted above, subject to all specification being

satisfactory in financial content to the City Treasurer, and in technical content to the City Engineer; and,

THAT the Chief Administrative Officer and City Clerk **BE AUTHORIZED** to execute any amendment(s) as may be required, provided that the amendment(s) are within approved budget amounts, satisfactory in financial content to the City Treasurer, in legal form to the City Solicitor; and in technical content to the City Engineer; and,

THAT the Purchasing Manager **BE AUTHORIZED** to issue Purchase Orders for any amendment(s) as may be required, provided that the amendment(s) are within approved budget amounts, satisfactory in financial content to the City Treasurer, and in technical content to the City Engineer; and,

THAT Administration **BE AUTHORIZED** to issue any change order(s) for any amendment(s) as may be required, if the amendment(s) are within approved budget amounts, satisfactory in financial content to the City Treasurer, and in technical content to the City Engineer.

Executive Summary:

N/A

Background:

A proposed road rehabilitation project list is submitted to Council annually as part of the Public Works capital budget submission. The road rehabilitation program for 2024 was approved as part of the 2024 budget process.

The proposed project list is a 5-year plan that occasionally is modified throughout the year as project priorities change both at the City and with our partners at the Windsor Utilities Commission (WUC). A few roadways on the proposed project list, provided to Council during the budget process, have already been re-prioritized to future years in order to appropriately harmonize and bundle road rehabilitation work with other projects being undertaken by neighbouring Municipalities, WUC, Windsor Engineering, etc., as a result of priorities and timelines for such projects being altered for various reasons (i.e. delays in approvals, land acquisition, etc.).

Additionally, at the end of each year, if prices are favourable, the annual road rehabilitation program may have individual project surplus funds available to complete additional priority roadwork as determined by Administration in order to carry out other in-year needed road improvements throughout the City.

Discussion:

The City's Asset Management Plan (AMP) outlines the recommended Road Investment Strategy and guides the annual proposed road rehabilitation project list. Road projects are identified in order to achieve desired service level improvements. Road projects are selected for rehabilitation or reconstruction based on current asset condition/remaining service life, risk (based on traffic volume and operating speed), planned underground capital infrastructure work (within the right-of-way) and recommendations stemming from previously studies (i.e. Class Environmental Assessment Studies, Transportation Master Plans, Traffic Impact Studies, etc.).

As per the AMP, selection of individual projects (in poor to very poor current road asset condition) within the annual road rehabilitation program work are first primarily prioritized using a risk based approach where the City's most important road assets are given preferential consideration. The spectrum of risk across the City's road network ranges from highest to lowest in the following order for E.C. ROW, Arterial, Collector and Local road classifications respectively.

Chrysler Centre from Tecumseh Road East to Grand Marais has been identified as a higher risk road due to the volume of traffic and current pavement condition that falls in the NOW deficient category. Traffic volume is closely related to the Stellantis plant; however; it is also a major cut through from Drouillard Road to the E.C. ROW Expressway (both the Walker Road and Central Road access points). While the Stellantis plant has reduced in shifts and working staff in the past, a staffing increase to the second shift, along with the addition of a third shift (planned to resume in 2026) will notably increase daily traffic volumes in this area.

These unique travel pattern characteristics position the need to rehabilitate Chrysler Centre (Collector 1 road) ahead of certain other Arterial roads that are of similar poor to very poor (NOW deficient) asset condition. As well, several other Arterial roads of similar asset condition are planned to be upgraded per recommendations from completed Class Environmental Assessment Studies and/or other traffic studies, which include changes to the roadway, i.e. addition of bike lanes, expansion of sidewalks, sewer and/or water work, none of which is completed as part of a road rehabilitation project. It is further recognized that the majority of required E.C. ROW work has been completed within the past five to ten years and this critical roadway is in good condition.

Furthermore, any associated infrastructure (sanitary, stormwater, sidewalks) within the Chrysler Centre road corridor has sufficient remaining service life and is in fair to very good condition. Accordingly, mill and pave resurfacing of Chrysler Centre will afford approximately ten to fifteen years of added service life before full road reconstruction may be necessary, along with harmonized replacement of any associated infrastructure within this corridor that may be necessary at that time.

At this time, there is surplus funding remaining in the existing road rehabilitation projects that was either saved because of lower pricing on other jobs or re-prioritization of work. The surplus funding available would be sufficient to complete approximately half of the Chrysler Centre roadway (i.e. either the northbound or southbound lanes). Administration recommends using available surplus funds in the current road rehabilitation projects program to add a portion of Chrysler Centre (Tecumseh to Grand Marais) to the 2024 Road Rehabilitation Project and complete this work in-year

Risk Analysis:

There is no risk to completing this work in 2024 other than the need to re-prioritize future work to complete resurfacing of the remaining portion of Chrysler Centre.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

As part of the 2022 Capital budget approval, a total of \$15,763,424 was approved for purposes of road rehabilitation. As of the writing of this report, it is estimated that there is approximately \$3,000,000 in uncommitted funds remaining in the 2022 Road Rehabilitation Project ID 7221001 which is sufficient to fund the additional works as described in the body of this report on Chrysler Centre. The estimated cost to complete this work is \$2,500,000 including construction, escalation, engineering, and non-refundable HST costs.

At the time that the 2024 capital project list was developed, this road project was not included. As such, should Council support this project moving forward, Administration recommends transferring \$2,500,000 in surplus funding from the 2022 Road Rehabilitation Project ID 7221001 to the 2024 Road Rehabilitation Project ID 7241000 to fund this partial rehabilitation work. The remaining work on Chrysler Centre would need to be included and prioritized as part of the 2025 capital budget development process and completed within the 2025 road rehabilitation project program budget allocation.

Consultations:

Phong Nguy, Manager, Contracts, Field Services and Maintenance

Eric Bailey, Manager, Technical Support

Cindy Becker, Financial Planning Administrator

Mike Dennis, Manager, Strategic Capital Budget Development and Control

Natasha Gabbana, Senior Manager of Asset Planning

Marie Gil, Manager of Asset Planning

Conclusion:

Administration recommends completing the work as described above on Chrysler Centre in 2024.

Planning Act Matters:

N/A

Approvals:

Name	Title
Mark Spizzirri	Manager, Performance Measurement and Business Case Development
Alex Vucinic	Purchasing Manager
Dana Paladino	Acting Senior Executive Director, Corporate Services
Shawna Boakes	Executive Director, Public Works Operations
David Simpson	Commissioner, Infrastructure Services / City Engineer
Ray Mensour	Commissioner, Community and Corporate Services
Janice Guthrie	Commissioner, Finance / City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

Subject: Confirm & Ratify Report-Lauzon Parkway Reconstruction - Noise Bylaw Exemption - Ward 8

Reference:

Date to Council: October 28, 2024

Author: Anna Ciacelli--Deputy City Clerk/Supervisor of Council Services

(519) 255-6100 ext. 1837

aciacelli@citywindsor.ca

Council Services

Report Date: October 16, 2024

Clerk's File #: SW/14805 & SW/14226

To: Mayor and Members of City Council

Recommendation:

That the results of the email poll to members of Council, conducted by the City Clerk on October 15, 2024, **BE CONFIRMED AND RATIFIED:**

That the following exemption request to the provisions of the Noise By-law 6716 (as amended), **BE GRANTED** to permit for the operation of construction equipment required to complete the Lauzon Parkway concrete pavement from Hawthorne Drive to Cantelon Drive.

a. Specific exemption request:

Construction activities during the noise by-law prohibited time between 8:00 p.m. through 6:00 a.m. to complete construction of concrete pavement on Lauzon Parkway.

b. Scope of Exemption:

The completion of concrete pavement on Lauzon Parkway from Hawthorne Drive to Cantelon Drive.

c. Duration of Exemption:

The request is tentatively scheduled for the period from October 21 to December 13 (once Council approval is granted) with the option of renewal to be approved by the CAO through Delegation of Authority report. There will be a total of 4–5 night shifts with no more than 2 night shifts occurring consecutively during this time period.

Executive Summary:

N/A.

Background:

Section 3.7 of Procedure By-law 98-2011 provides the following:

“Telephone and/or email polls of Members of Council shall be permitted only upon authorization by the Mayor or CAO, in emergency situations requiring Council direction where time does not permit holding a special meeting of Council and/or quorum of Council cannot physically convene to consider a matter. The results of a poll must be confirmed and ratified at the next public meeting of Council”.

Discussion:

Due to the time sensitive nature for the noise by-law exemption, the request to conduct an e-mail poll was granted by the Mayor and Chief Administrative Officer.

The e-mail poll was approved by Members of Council unanimously.

Risk Analysis:

N/A.

Climate Change Risks

Climate Change Mitigation:

N/A.

Climate Change Adaptation:

N/A.

Financial Matters:

The Financial matters are provided in report C 127/2024 included in the agenda package.

Consultations:

N/A.

Conclusion:

It is recommended that the results of the email poll conducted on October 15, 2024 approving the above noted resolution unanimously be confirmed and ratified.

Planning Act Matters:

N/A

Approvals:

Name	Title
Steve Vlachodimos	City Clerk
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- 1 C 127/2024--Lauzon Parkway Reconstruction - Noise Bylaw Exemption - Ward 8

Subject: Lauzon Parkway Reconstruction - Noise Bylaw Exemption - Ward 8

Reference:

Date to Council: October 15, 2024
Author: Sarah Meneses
Environmental Compliance Coordinator
(519) 255-6100 Ext. 6336
smeneses@citywindsor.ca
Design – Engineering
Report Date: 10/9/2024
Clerk's File #: TBD

To: Mayor and Members of City Council

Recommendation:

- I. That the following exemption request to the provisions of the Noise By-law 6716 (as amended), **BE GRANTED** to permit for the operation of construction equipment required to complete the Lauzon Parkway concrete pavement from Hawthorne Drive to Cantelon Drive.
 - a. **Specific exemption request:**
Construction activities during the noise by-law prohibited time between 8:00 p.m. through 6:00 a.m. to complete construction of concrete pavement on Lauzon Parkway.
 - b. **Scope of Exemption:**
The completion of concrete pavement on Lauzon Parkway from Hawthorne Drive to Cantelon Drive.
 - c. **Duration of Exemption:**
The request is tentatively scheduled for the period from October 21 to December 13 (once Council approval is granted) with the option of renewal to be approved by the CAO through Delegation of Authority report. There will be a total of 4–5 night shifts with no more than 2 night shifts occurring consecutively during this time period.

Executive Summary:

N/A

Background:

Tender 04-24 Lauzon Parkway Reconstruction has been in construction since June 2024. J&J Lepera Infrastructures Inc. is the Contractor for this work, as per CAOP 65/2024 approval of the award of tender. The work on Lauzon Parkway includes the reconstruction of a six-lane concrete road including new sanitary and storm sewers, upgrades to watermain, and new sidewalk, multi-use trail and street lighting. The Contractor is currently working on the sewer phase of construction from Hawthorne Drive to Cantelon Drive with pavement preparation work planned to begin the week of October 14 and concrete pavement to follow.

Discussion:

Noise By-Law 6716 includes the following prohibitions as per Table 3-1: *“The operation of any equipment in connection with construction with Prohibited Period of Time of 8:00 p. m. to 6:00 a.m.”*

The Contractor has requested an exemption to the Noise By-Law 6716 be granted to permit the operation of construction equipment required to complete the concrete pavement on Lauzon Parkway, from Hawthorne Drive to Cantelon Drive.

The request is tentatively scheduled for the period from October 21 to December 13. There will be a total of 4-5 night shifts during this time period with no more than 2 night shifts occurring consecutively. Once the west side of Lauzon Parkway is completed, traffic would be shifted to the west side and concrete pavement work would commence on the east side of Lauzon Parkway until completion.

Lauzon Parkway is a commercial corridor, and the work location has a reasonable distance from the residential area, with the exception of a small portion of Lauzon Parkway which is adjacent to a residential area. Working at night would accelerate the overall construction schedule and avoid any further delays as well as provide a better-quality product. The work will primarily consist of saw cutting concrete pavement, however there is potential some other concrete road work may be required during this time.

Since only one side of the road will be constructed at a time, there would be no additional impacts to commuter traffic, business deliveries or emergency services. Traffic, transit and emergency service impacts will continue to be mitigated and handled through approved Traffic Control Plans.

No additional impacts to properties are foreseen other than the potential noise impacts. Notifications will be delivered to all affected property owners and businesses prior to work commencing at each location.

Risk Analysis:

Not approving the Noise By-Law exemption would result in potential delays to the construction schedule and may affect the concrete pavement quality. In particular at this

time of the year with temperatures falling, saw cutting at the optimal curing and temperature thresholds will help prevent cracking of the concrete.

Climate Change Risks

Climate Change Mitigation:

This by-law exemption does not pose a risk to climate change.

Climate Change Adaptation:

N/A

Financial Matters:

No additional costs are anticipated related to this work and therefore should not alter or add more to the approved contract value.

Consultations:

Kathy Buis – Financial Planning Administrator

Dillon Consulting Limited

Field Operations

Conclusion:

If approved, the Contractor will plan to work night shifts for the Lauzon Parkway concrete pavement work from Hawthorne Drive to Cantelon Drive starting October 21 to December 13. There will be a total of 4-5 night shifts with no more than 2 night shifts occurring consecutively during this time period.

Planning Act Matters:

N/A

Approvals:

Name	Title
Sarah Meneses	Environmental Compliance Coordinator
Fahd Mikhael	Manager, Design
Stacey McGuire	Executive Director of Engineering

Name	Title
David Simpson	Commissioner, Infrastructure
Wira Vendrasco	City Solicitor
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email
Chris Patten, Dillon Consulting Limited	1 Riverside Drive West, 12 th floor, Windsor, ON N9A 5K3	cpatten@dillon.ca
Joseph Lepera, J&J Lepera Infrastructures Inc	4405 7th Concession Rd, Windsor, ON N8V 0A7	joseph@jjepera.com

Appendices:

Subject: RFP No.70-24, Little River Pollution Control Plant (LRPCP) Bio-solids Odour Control System - Award - City Wide

Reference:

Date to Council: October 28, 2024
Author: Pompiliu Ignat
Pollution Control Project Engineer
519-253-7111 ext. 3367
pignat@citywindsor.ca
Pollution Control
Report Date: 7/19/2024
Clerk's File #: SW/14843

To: Mayor and Members of City Council

Recommendation:

Whereas in the opinion of the CFO/City Treasurer and the City Council, the proposed lease financing agreement will not materially impact the debt and financial obligation limit of the City of Windsor, and its risks, in combination with all the other lease financing agreements of that category entered into or proposed to be entered into this year by The Corporation of the City of Windsor, will not result in a material impact for the community be it resolved:

THAT APPROVAL BE GIVEN for a lease financing agreement between The Corporation of the City of Windsor and USP Technologies Inc. to lease a hydrogen peroxide storage & dosage system at the facility known as the Little River Pollution Control Plant (LRPCP), located at 9400 Little River Road, in accordance with the following terms:

BASIC TERMS:

- a) Lease Term: 60 months
- b) Monthly Lease Cost: \$1,950 per month, (plus HST); lease renewal options (after the 5 yrs) are subject to an NPV analysis at that time to ensure the depreciated asset values are considered in formulating any future lease extension monthly costs beyond 5 years
- c) One-Time Mobilization Fee: \$19,000 (plus HST);
- d) Renewal Option(s): Available one year extensions on an evergreen basis;
- e) CPI Factor: Starting with the third anniversary of the successful hydrogen peroxide dosing system startup (Years 4 & 5), the chemical unit and monthly lease cost will be updated annually using the change of the CPI index for all-

items, monthly, percentage change, not seasonally adjusted for Canada posted by Statistics Canada; and,

THAT Council **ACCEPT** USP Technologies Inc. proposal of up to a maximum of \$497,798.20, excluding HST, as the total all-inclusive cost for five (5) years' hydrogen peroxide bio-solids odour control services at the Little River Pollution Control Plant (LRPCP); and,

THAT the Chief Administrative Officer and City Clerk **BE AUTHORIZED** to sign an agreement with USP Technologies Inc. reflective of the terms set out in RFP 70-24 for a period of Five (5) YEARS with the option for renewal for one year extensions on an evergreen basis, satisfactory in form to the City Solicitor, in technical content to the City Engineer, and financial content to the City Treasurer; and,

THAT the City Treasurer **BE AUTHORIZED** to transfer an amount up to \$100,000 from the Pollution Control Reserve (Fund 208) to project 7211027 LRPCP – Dewatering Odour Control for the construction of the tank foundation.

Executive Summary:

N/A

Background:

The Corporation of the City of Windsor's (City) Pollution Control department operates two wastewater treatment plants; the Lou Romano Water Reclamation Plant (LRWRP) and the Little River Pollution Control Plant (LRPCP), along with 20 Wastewater Pumping Stations.

During the wastewater treatment process, sludge is generated during the coagulation and settling of suspended solids in the wastewater. Sludge dewatering then occurs to remove as much water as possible from the sludge produced through wastewater settling. The output of the dewatering process generates untreated water, that will continue to be cleaned and purified (before being discharged to the river), and bio-solids (sludge by-products).

Centrifugation is a common method of sludge dewatering which is employed successfully at both Plants. Sludge is pumped into the centrifuge and the high rpm spinning action causes the separation of solids from liquids. Foul air and odours must be dealt with as part of the process.

At the root of most odours generated from wastewater operations is hydrogen sulfide (H₂S), which is a naturally occurring compound generated by bacterial breakdown or decomposition of organic material. Beside odour control, other factors driving the need for odorous H₂S gas removal include workers' safety, corrosion of the equipment/concrete, as well as regulatory compliance requirements.

The existing Potassium Permanganate Bio-solids Odour Control system installed at LRPCP in Dewatering building is considered obsolete. This chemical poses potential

health risks to the Plant operators and the chemical supply is becoming unreliable in Ontario.

Hydrogen Peroxide (H₂O₂) in high concentration (above 50%) is well suited to remove odourous H₂S gas created during sludge dewatering. Pollution Control is recommending the use of this chemical based on the results of a successful trial conducted at LRPCP in 2022 and similar chemical system municipal applications across North America. Proper chemical dosage in combination with air scrubbing serves to effectively minimize odour from the Plant stack air emissions to the degree possible.

Request for Proposal (RFP)

RFP 70-24 was released to the vendor market on May 1st, 2024. Proposals were received until 11:30:59am (E.S.T.) on Tuesday, May 28th, 2024 via electronic bid submission.

Key service requirements and deliverables included:

- Design, supply, install and operate Bio-solids Odour Control System using H₂O₂ for the initial agreement period of five (5) years. At the end of this period, the City shall have the option to take ownership of the equipment and operate the system with its own forces or extend the agreement for an additional one (1) year term on an evergreen basis or end the agreement;
- H₂O₂ shall be injected into the bio-solids flow line during operation following the sludge dewatering process. The objective is to control the H₂S in the bio-solids in order to minimize odours;
- Installation of equipment for storage and handling of H₂O₂ including a chemical storage tank, chemical dosing pumping system (complete with all required piping) and chemical control system; and
- Supply of the required H₂O₂ (50% concentration) chemical.

Due to requirement for contract duration commitment and experience of previous successful installations only one proposal (Proposal) was received, as submitted by USP Technologies Inc. (USP).

USP has historically proven installations of this system used to address odour elimination in dewatering at numerous Wastewater Treatment Plants across North America (West Babylon, NY; St. Louis, MO; San Antonio, TX; Kansas City, MO; and others) dating back over 10 years. In October of 2019, USP conducted a successful 75 day trial of the proposed Bio-solids Odour Control system at the LRPCP with proven results and outcomes.

Discussion:

The Proposal was reviewed by the Purchasing and Pollution Control Departments to ensure that all mandatory RFP requirements had been satisfied. Based on this review, the Proposal was deemed to be compliant. The response included an estimated cost to purchase H₂O₂ at a total cost of \$361,798.20 plus the lease of equipment \$117,000 and a one-time mobilization fee of \$19,000 for a total upset contract value of \$497,798.20 excluding HST.

The proposed lease financing agreement with USP, is for an initial term of five (5) years with mutual option for additional indefinite number of one (1) year terms on an evergreen basis.

A brief description of the services to be provided are as follows:

- USP will provide all labour, management, technical support staff, and all other resources to design, install, operate and maintain the H₂O₂ storage and dosing system located in Dewatering building at LRPCP.
- USP will guarantee the supply of H₂O₂ (50% concentration) chemical required for bio-solids odour control for the duration of the agreement.

Administration is seeking Council's approval to award the LRPCP Bio-solids Odour Control Services agreement to USP, as recommended by the Evaluation Committee of Pollution Control Department in accordance with the terms and conditions of RFP 70-24.

Risk Analysis:

Unpleasant odours emitted by wastewater treatment plants must be carefully managed, especially where plants are located within near proximity to densely populated communities. Odours released from wastewater treatment plants can, at times, cause aesthetic nuisances to nearby residents and could contribute to the degradation of neighbourhood and community relations.

There is a risk that should the modernized bio-solids odour treatment system not be implemented, there may be an increase in number of public complaints about odour nuisance caused by LRPCP dewatering air emissions.

The proposed new Bio-solids Odour Control system will also be modernized within an enclosed space where no handling of chemicals is required (unlike the existing system); thereby, mitigating any potential risk of chemical exposure to Plant Staff while operating this new system application.

As per Section 4.4 of the City's Lease Financing Policy (Policy), the City Solicitor is responsible to provide legal advice with respect to the proposed lease financing agreements. It has been determined that USP does not have a standard form of lease financing agreement. Therefore, the City's Legal Department will be preparing a form of agreement and ensuring that, in addition to the terms and conditions included in the

RFP, all other necessary terms and conditions will be included in order to protect the City's interests and minimize risk.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

As defined by Ontario Regulation 653/05, the proposed lease of this equipment involves long-term financing of a capital undertaking of the municipality. In accordance with the Policy, an internal analysis between purchasing a new storage & dosage system and leasing a unit is required as the total lease payments amount to \$100,000 or more (Section 5.2). The preamble in the recommendation section of this report is required as a recommendation in accordance with Section 5.3 of the Policy.

As indicated above, Pollution Control explored purchasing the hydrogen peroxide storage & dosage system, at a cost of approximately \$238,625 (excluding HST) which includes installation, five-year maintenance program and periodic system inspection. By comparison, USP also offered a 5-year lease of this storage & dosage system at a monthly fee of \$1,950 for 60 months, for an estimated total of \$117,000 (excluding HST). This monthly fee shall be fixed for the first three (3) calendar years. Starting with the third anniversary of the agreement date, this monthly fee shall be updated annually with an inflationary factor using the variation of the Statistics Canada CPI index.

Total Cost to Purchase of Hydrogen Peroxide Dosage & Storage System

USP-6550 Storage Tank (Specifically engineered for storage of bulk 50% Hydrogen Peroxide)	\$66,000
USP-2P1D MVS Skid (Engineered for dosing hydrogen peroxide system)	\$81,000
Two (2) Acrulog (4-20 mA) units	\$13,000
Installation	\$8,000
5-year maintenance program	\$39,000
Freight/shipping of USP Equipment	\$31,125
Non-Recoverable HST	\$4,200.28
TOTAL COST TO PURCHASE	\$242,825.28

Divide by Factor of 5% Discount Rate over 5 years (1.05 ^ 5)	1.27628156
NET PRESENT VALUE TO PURCHASE EQUIPMENT	\$190,259.96

Total Cost to Lease Hydrogen Peroxide Dosage & Storage System

A monthly fee of \$1,950 (plus HST) that includes: equipment depreciation, maintenance, profit margin, service repairs and any other costs.

Annual lease fee – Year 1 (inclusive of non-refundable HST)	\$23,811.84
Annual lease fee – Year 2	\$23,811.84
Annual lease fee – Year 3	\$23,811.84
Annual lease fee – Year 4 (assuming 3% CPI inflation factor)	\$24,526.20
Annual lease fee – Year 5 (assuming 3% CPI inflation factor)	\$25,261.98
One-time mobilization fee (inclusive of non-refundable HST)	\$19,334.40
TOTAL COST TO LEASE	\$140,558.10

Net Present Value to Lease

Annual Lease Fee (use Year 5 projection)	\$25,261.98
Multiply: Present Value of annuity factor at 5% for 5 periods	4.3295
Subtotal	109,371.42
Add: One-time mobilization fee (inclusive of non-refundable HST)	19,334.40
Net Present Value to Lease Equipment	\$128,706.14

Given the net present value to lease equipment is less than the net present value to purchase the equipment, Pollution Control is seeking Council approval to enter a sixty (60) month or 5-year lease financing agreement for a hydrogen peroxide storage & dosage system. A full maintenance service guarantee for the leased equipment is included in the cost of the lease. Thus, no additional costs will be incurred to maintain the storage & dosage system over the life of the lease.

A separate unfunded capital component is required to be setup to support the new Bio-Solids Odour Control system equipment. Specifically, a foundation needs to be constructed for the H2O2 chemical storage tank, which is estimated between \$50,000

and \$100,000. Administration is requesting a transfer an amount up to \$100,000 from the Pollution Control Reserve to Project 7211027 LRPCP - Dewatering Odour Control.

In this proposed agreement, there is a purchase price of \$25,000 for a buy-out option of the storage tank, dosing pumping system, and all other equipment installed. If the City elects to purchase the system at the end of the agreement, the \$25,000 can be funded from the 7211027 LRPCP - Dewatering Odour Control. There is approximately \$2,600,000 in unencumbered funding in the reserve, which is sufficient to cover this transfer.

Conversely, a one-time de-mobilization fee (provisional item) of \$12,500 is to be paid by the City at the end of agreement in the event the City decides that the new equipment installed must be decommissioned and removed from the site. This fee can be funded from the 7211027 LRPCP - Dewatering Odour Control.

There is currently \$87,134 available in 7211027 LRPCP – Dewatering Odour Control. At the end of the agreement, regardless of whether the City decides to buy-out or decommission the equipment, sufficient funding remains to pay for these expenses.

Below is a summary of the annual anticipated operating costs under the terms of the proposed agreement:

ANNUAL ESTIMATED OPERATIONAL COSTS	
Hydrogen Peroxide (50%) total annual cost for 580 L/week x 52 weeks/ yr	\$73,633.17
Annual Lease Fee (includes equipment, depreciation, maintenance, profit margin, service repairs)	\$23,811.84
Annual Estimated Operating Cost	\$97,445.01
Estimated annual cost savings from not using Potassium Permanganate	(\$100,280.00)
Net Annual Estimated Operating Cost/(Savings)	(\$2,834.99)

The total estimated annual operational cost under the new agreement for the proposed Hydrogen Peroxide Bio-solids Odour Control system (H2O2) is not expected to exceed costs associated with the existing Odour Control system (approximately \$100,280 per year). Accordingly, the annual chemical operational costs (i.e. no longer using Potassium Permanganate chemical) will cover the new cost of the equipment system lease and associated chemicals (H2O2).

It should be noted; however, that the budget has been developed based on estimates. Actual annual expenditures may fluctuate based on the actual H2O2 chemical volumes

required to be purchased. For instance, if 10% less H2O2 chemical is used (522 L/week), then the 5-year total cost would be approximately \$325 K for H2O2 (versus approximately \$498 K chemical supply tender bid received). The monthly fee and mobilization fees would remain unchanged.

Consultations:

Sergio Mannina, Manager of Little River Pollution Control Plant
 Mark DiPasquale, Financial Planning Administrator
 Joshua Meloche, Senior Legal Counsel

Conclusion:

That Council approve the Proposal received from USP.

Planning Act Matters:

N/A

Approvals:

Name	Title
Ed Valdez	Manager of Process Engineering & Maintenance – Pollution Control
Jake Renaud	Executive Director, Pollution Control & Deputy City Engineer
Mark Spizzirri	Manager, Performance Measurement & Business Case Development
Michael Dennis	Manager of Strategic Budget Development & Control
Alex Vucinic	Purchasing Manager
David Simpson	Commissioner, Infrastructure Services & City Engineer
Janice Guthrie	Commissioner, Finance & City Treasurer
Wira H.D. Vendrasco	City Solicitor
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- 1 RFP no. 70-24, USP Technologies Cost Proposal 2
- 2 RFP no. 70-24, Single Response Agreement, USP Technologies
- 3 USP Technologies, Equipment Sale Proposal
- 4 Appendix A – RFP no. 70-24, USP Technologies Services Proposal—available at www.citywindsor.ca due to size

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Subject: 2024/2025 Municipally Significant Event Status - Ward 6

Reference:

Date to Council: October 28, 2024

Author: Cory Elliott

Manager of Arena's and Recreation Facilities

519-974-7979 ext. 4610

celliott@citywindsor.ca

Recreation and Culture

Report Date: 10/4/2024

Clerk's File #: SR2024

To: Mayor and Members of City Council

Recommendation:

THAT the request from Windsor Thai Boxing & Fitness for approval of designation as 'municipally significant' for the purpose of applying for their Special Occasions Permit – Public Event **BE APPROVED** by City Council subject to the terms and conditions of the Special Event Agreement with the City; and further,

THAT City Council **APPROVE** the following proposed significant event dates for 2024 and 2025:

Friday December 6, 2024:

- King Striking Series (WFCU Centre Banquet Hall) - Amateur Kickboxing Event hosted by Windsor Thai Boxing & Fitness

Saturday February 6, 2025:

- King Striking Series (WFCU Centre Banquet Hall) - Amateur Kickboxing Event hosted by Windsor Thai Boxing & Fitness

Saturday May 24, 2025:

- King Striking Series (WFCU Centre Banquet Hall) - Amateur Kickboxing Event hosted by Windsor Thai Boxing & Fitness

Saturday September 20, 2025:

- King Striking Series (WFCU Centre Banquet Hall) - Amateur Kickboxing Event hosted by Windsor Thai Boxing & Fitness

Saturday December 6, 2025:

- King Striking Series (WFCU Centre Banquet Hall) - Amateur Kickboxing Event hosted by Windsor Thai Boxing & Fitness

Executive Summary:

N/A

Background:

The Alcohol and Gaming Commission of Ontario (AGCO) administers the Special Occasion Permit (SOP) program, which allows for the sale, service and in most cases consumption of liquor on special occasions, such as cash bars at weddings or private receptions, as well as larger scale events that are open to the public, such as charity fundraisers.

A Special Occasion Permit (SOP) is required any time liquor is sold or served anywhere other than in a licensed establishment or a private place. SOPs are for occasional, special events only, and not for personal profit or running an ongoing business.

AGCO defines a Public Event as an event that is advertised to the public to attend. These events can be advertised and fundraising and/or profit from the sale of liquor at the event is permitted.

Public Event permits can be issued for events of “municipal significance”.

An event of municipal significance requires a designation by the municipality in which the event will take place. SOP applications for a municipally significant public event must be accompanied by either a municipal resolution or a letter from a delegated municipal official designating the event as municipally significant. Requests for municipal significance must be requested on an annual basis.

Discussion:

Previously, Council approved eleven events as “municipally significant” at its meeting of March 18, 2024, and April 22, 2024, as per CR 128/2024 CSSC 236 and CR149/2024. Administration has received a request for five (5) additional events for the 2024/2025 season to be designated as “municipally significant”.

The Province of Ontario supports safe participation in amateur combative sports. As of July 1, 2017, the hosting of amateur contests approved by a recognized Provincial Sport Organization (PSO) was deemed legal. Windsor Thai Boxing and Fitness is approved by a recognized PSO and will abide by all hosting requirements including posting signage and advertising noting “This contest is sanctioned by an organization officially recognized by the Province of Ontario”.

This event listed has received no objection from either Administration or the Special Events Resources Team (SERT). Administration has consulted with the local AGCO representatives (included as part of SERT), who did not object to any of the events applying for “municipal significance” status noted in this report.

The event organizers will be required to enter into an agreement with the Corporation to the extent similar to the other festivals and events that currently are presented at other

City of Windsor municipal locations, including indemnifying the City of Windsor from liability associated with the event.

Risk Analysis:

There is a significant risk that if the event noted in this report is not approved for Significant Event Status designation, they will not get approval for an SOP by the AGCO. If Significant Event Status were not approved, these public events would not be able to occur.

The consumption of alcohol within the event site will occur at this event if they are granted an SOP. The applicant will be required to provide the required insurance. All liquor services will adhere to the AGCO regulations and the Municipal Alcohol Policy, which provides information that covers requirements for Smart Service staffing resources. These factors will mitigate the risk factor to the Corporation.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

No Financial implications to the City to approve the Significant Event Status designation for the events. The applicants hosting events on City-owned public property would be required to rent the respective venue and pay the applicable fees as per the 2024 and 2025 Schedule of Fees.

Consultations:

SERT (Special Events Resource Team)

Michelle Staadegaard, Manager – Culture & Events

Tracy Ou, Financial Planning Administrator

Conclusion:

The City of Windsor recognizes the importance of special events and festivals enhancing the quality of life, tourism, culture, recreation and education, not all of which would be possible without the invaluable services of volunteers, community groups, and sponsors that add their support and skills to enhancing the community events.

Planning Act Matters:

N/A

Approvals:

Name	Title
Cory Elliott	Manager of Arenas and Recreation Facilities
Jen Knights	Executive Director, Recreation & Culture
Emilie Dunnigan	Manager, Development Revenue & Financial Administration
Wira Vendrasco	City Solicitor
Ray Mensour	Commissioner, Community & Corporate Services
Janice Guthrie	Commissioner, Finance & City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:



Committee Matters: SCM 267/2024

Subject: Response to CQ 13-2024, CQ 16-2024 and CQ 30-2024 - Pickleball & Squash Courts within the City - City Wide

Moved by: Councillor Mark McKenzie

Seconded by: Councillor Renaldo Agostino

Decision Number: **CSSC 256**

THAT the report of the Manager, Community Programming and Development dated August 16, 2024 entitled "Response to CQ 13-2024, CQ 16-2024 and CQ 30-2024- Pickleball & Squash Courts within the City - City Wide" **BE RECEIVED** for information. Carried.

Report Number: S 108/2024

Clerk's File: SR2024

Clerk's Note:

1. The recommendation of the Community Services Standing Committee and Administration are the same.
2. Please refer to Item 8.3 from the Community Services Standing Committee held on September 4, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20240904/-1/10502>

**Subject: Response to CQ 13-2024, CQ 16-2024 and CQ 30-2024-
Pickleball & Squash Courts within the City - City Wide**

Reference:

Date to Council: September 4, 2024
Author: Nada Tremblay
Manager, Community Programming and Development
519-253-2700x2720
ntremblay@citywindsor.ca
Recreation and Culture
Report Date: August 16, 2024
Clerk's File #: SR2024

To: Mayor and Members of City Council

Recommendation:

THAT the report titled Response to CQ 13-2024, CQ 16-2024 and CQ 30-2024-
Pickleball & Squash Courts within the City **BE RECEIVED FOR INFORMATION.**

Executive Summary:

N/A

Background:

At the February 26, 2024, meeting of City Council, Councillor Kaschak asked CQ 13-2024:

“Asks that Administration prepare a report in regard to the potential of City installing a couple squash courts at a City owned facility for residents to rent & use moving forward. I understand there are no squash courts or facilities any longer in the City.”

At the March 18, 2024, meeting of City Council, Councillor Gignac asked the CQ 16-2024:

“Asks that Administration provide a report on the feasibility of adding indoor pickle ball courts to our facilities where space allows, utilizing the space as much as possible.”

At the May 27, 2024, meeting of City Council, Councillor Marignani asked CQ 30-2024:

“When responding to the CQ 16-2024 regarding indoor pickle ball courts asks that administration report back on limiting Pickleball bookings and making it more open to more users.”

This report is in response to those questions.

In 2019, City Council approved the new Recreation Master Plan. During the creation of this plan, the consultants examined the overall sport court inventory within the City. The Recreation Master Plan's 20-year vision identified 48 recommendations.

Recommendation # 20 states: "Formalize a sport court replacement strategy and associated funding plan for existing hard surface courts (e.g. tennis courts, pickleball courts, and basketball courts) so that the City can offer a safe and desirable playing experience in a fiscally sustainable manner. Resurfacing projects should evaluate the use of Flex Court sports tiling, or other alternative court surfaces that offer a longer warranty of 7 to 10 years, to determine if these are more cost-effective options compared to replacing the traditional and /or asphalt concrete. A sport court replacement strategy should be developed to identify and prioritize the replacement of hard surface sport courts."

As funding becomes available, Administration continues to explore the latest materials and technologies for sport court replacement in the most cost-effective manner. An example of this is the new surface that was installed at Forest Glade courts which is comprised of a new type of material, similar to fiberglass. All new and refurbished courts are included in the City's asset management plan to ensure these are being installed/renewed in a fiscally sustainable manner.

Recommendation #21 states: "Investigate opportunities to create multi-use courts by adding pickleball court lining to existing tennis courts. Potential locations include Garry Dugal Park, Remington Booster Park, or other locations to be determined by City staff." This process has begun and over the course of the past two years, pickleball lines were overlaid on all existing tennis courts, excluding Central Park and Forest Glade Optimist Park.

There are no further recommendations within the Recreation Master Plan for either squash or pickleball courts within the City of Windsor.

Discussion:

Indoor Options

Presently, pickleball configuration is set up in four out of six gymnasiums within the Recreation Centres. Those include the WFCU Centre (WFCU), Forest Glade Community Centre (FGCC), Capri Pizzeria Recreation Complex (CPRC) and John Atkinson Memorial Community Centre (AMC). Among the four, the WFCU and AMC feature multiple-court configurations, each with three courts. The remaining gyms (CPRC and FGCC) are designed for single-court use. There are currently no indoor courts at Optimist Community Centre (OPT) or Gino & Liz Marcus Community Centre (GLM).

Administration has explored the possibility of extending pickleball to OPT however it became apparent that the court floor at this location is not suitable due to the pickleball's poor reaction to the existing floor surface. Should Council wish to expand pickleball to a fifth location, Administration believes that with potential floor replacement at OPT, a fifth pickleball location could be established, subject to programming availability. Replacement is estimated to be a minimum of \$150,000.

Of the current locations offering pickleball, the daily gym schedules are currently being adjusted to increase time slot availability during peak hours of the day which include 8:30am-10:30am, and 4:30pm-8:30pm. This adjustment aims to strike a balance between the community programming offered at our centers and the needs of our long-standing renters. Some rental groups already offer pickleball programming during their reserved permitted timeslots.

Court bookings over the past three years have shown that the most popular court reservations are at facilities such as the WFCU and AMC, as they offer multiple court availability at one time. The single-court availability at FGCC and CPRC received less interest from rental groups, as multi-court play is the preferred option.

City of Windsor facilities can operate from 6am to midnight, providing approximately 557 operational programming hours per gym in a 31-day month. It is important to note that some of the available time is designated for setup and teardown between various activities and rental groups and is therefore not available for use or rent. Below is a chart illustrating the available rental hours for the gyms, noting that significant portion of these hours are during early morning or late evening hours. There are also sporadic times throughout the weekday and weekends available for rental hours.

Resource	Total Hours in a Month	Hours Reserved	Hours Available	% Hours Reserved
AMC - Sports Gym	557	339.98	217.02	61.04%
CPRC - Sports Gym	557	121.25	435.75	21.77%
FGCC - Gymnasium	557	116.50	440.50	20.92%
GLM - Gymnasium	557	119.00	438.00	21.35%
OPT - Gymnasium	557	192.00	365.00	34.47%
WFCU - Sports Gym	557	324.75	232.25	58.30%

If directed by Council, Administration could expand pickle ball to OPT, however, based on the current usage rates, it does not appear that an additional court is necessary at this time.

Squash:

There are currently no public squash courts available within the City. There are courts available at private facilities in Windsor, such as the Caboto Club and Westchester Place condominium complex. The Windsor Squash and Fitness Club did offer squash courts to members, but it recently closed.

Administration has looked at opportunities to offer squash to community members on both a temporary and regular basis.

In terms of utilizing indoor space for squash, Administration could be directed to install permanent squash courts in an existing community centre. The cost to do so would be determined by what venue would be the host. Unfortunately, the installation of a squash court in a City facility would limit the space from being used for any other purpose, as the primary use would be squash. Squash courts are generally not desirable for other recreation programming. This would significantly impact the ability of Administration to

run any other programming including summer camps in that space. If Administration was directed to permanently install squash courts at a specified location, current registered and drop-in programming and summer camps would be displaced as a result.

Outdoor Courts:

Presently, Administration permits outdoor courts, three (3) days per week for two (2) hours per day to a local pickleball club. As a result, the club runs games at the court and oversees the management of game times and rotation of players within their organization. If Council wishes to move forward with a formal Outdoor Pickleball Court Booking Policy, Administration is recommending limiting formal bookings/rentals of outdoor pickleball sports courts to a maximum of 10% total time (of all courts) per location and furthermore to allow for a maximum of 2 hour booking timeslots prior to 10am or after 6pm daily. Additionally, Administration suggests only 50% of available courts at each location can be formally booked at a time, allowing availability of 50% of said location for open public drop in use.

Signage is currently placed at each venue and on the City of Windsor's website encouraging 30-minute play intervals when others are waiting. By implementing time limits, recognizing peak and off-peak hours, careful court allocation, and permitting advance reservation, this allows for maximum court usage and more people to play.

Permitting or renting courts can be favourable as it helps organize play and improve facility usage. As per the user fee schedule, the current fee to rent a court is \$5.25 plus HST, per court, per hour. This approach also helps with covering costs associated with regular upkeep, repairs, and potential upgrades, ensuring the sport court facilities remain a valuable community resource. In addition, Administration will be purchasing pickleball paddle holders for each outdoor venue (13 venues in total) to promote organized rotation. These holders range from \$350 to \$750, depending on size and material of the system. Paddle holders help maintain an organized queue system. Players place their paddles in the holder to signify their spot in line, making it clear who is next to play. By encouraging a rotation system, these types of paddle holders ensure that everyone gets a chance to play, especially during busy times, resulting in fair play for all. With the current posted signage encouraging 30-minute play intervals when others are waiting, a paddle holder system visually reinforces this rule, helping players respect the time limits and aid in time management. Furthermore, Administration will continue to actively seek community engagement and regularly gather feedback from the community and propose adjustments to better meet the needs and preferences of all players.

Risk Analysis:

There is a significant risk in installing squash courts within a City facility. There is currently no available space for a dedicated squash court. Administration has explored various gymnasium space and even available indoor and outdoor off-season rink space. The Recreation Master Plan had identified one surplus ice pad however that pad is now being utilized for curling. Any installation of a squash court would either displace existing programming or would require a new facility or a facility addition to be built.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

There is no cost to formalize an Outdoor Sport Court Allocation Policy. Furthermore, Administration is already planning on purchasing paddle holders for outdoor sport courts to help encourage time limits as noted in the Discussion section of this report. The total cost for those holders is approximately \$4,550 - \$9,750 + applicable HST (13 venues x \$350-\$750 per venue). The cost for these paddle holders will be funded through the 2024 recreation programming operating budget.

Should Council wish to expand pickleball to OPT, floor replacement at an estimated cost of \$150,000 would likely be necessary. Currently there is no funding available in 2024 10-year capital budget for the floor replacement at OPT. Should Council direct to go forward, Administration would need to reprioritize available project funding through the 2025 capital budget process.

If directed to build a squash court in a current facility, Administration would need to be directed as to what facility should be utilized. Administration would either need to cancel existing programming (to be determined depending on what venue) or would need to add to an existing facility. The high-level cost estimate put on an addition for new squash court space alone would start at \$450,000 per court. Full costing details would need to be confirmed by a contractor if Administration is directed to proceed with this option. There is no funding currently available in the 2024 10-year capital project for the construction of a new squash court. Should Council wish to move forward, Administration would need to reprioritize projects to fund the construction of a new squash court as part of the 2025 capital budget preparation.

Consultations:

Michael Fuerth – Supervisor, Community Programming

Emilie Dunnigan – Manager, Development Revenue and Financial Administration

Mike Dennis - Manager, Strategic Capital Budget Development and Control

Conclusion:

If Council wishes to move forward with formalizing an Outdoor Sport Court Allocation Policy, or with installing a new floor at OPT or a squash court at an existing recreation facility, Administration would need to be directed to do so. Moving forward with installing a new floor or adding squash courts would require a reprioritization of funds as there are currently no funds available for these projects within the 10-year capital budget.

Planning Act Matters:

N/A

Approvals:

Name	Title
Nada Tremblay	Manager, Community Programming & Development
Tracy Ou	Financial Planning Administrator
Jen Knights	Executive Director, Recreation & Culture
Ray Mensour	Commissioner, Community Services
Dan Seguin	On behalf of Commissioner, Finance & City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:



Committee Matters: SCM 293/2024

Subject: Minutes of the Environment & Climate Change Advisory Committee of its meeting held July 30, 2024

Moved by: Councillor Mark McKenzie

Seconded by: Councillor Renaldo Agostino

Decision Number: **ETPS 1022**

THAT the minutes of the Environment & Climate Change Advisory Committee meeting held July 30, 2024 **BE RECEIVED**.

Carried.

Report Number: SCM 256/2024

Clerk's File: MB2024

Clerk's Note:

1. Please refer to Item 7.1 from the Environment, Transportation & Public Safety Standing Committee held on September 25, 2024
2. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241001-1/10509>



Committee Matters: SCM 256/2024

**Subject: Minutes of the Environment & Climate Change Advisory Committee of
its meeting held July 30, 2024**

Environment and Climate Change Advisory Committee (ECCAC)
Meeting held July 30, 2024

A meeting of the Environment and Climate Change Advisory Committee is held this day commencing at 5:00 o'clock p.m. via Zoom video conference, there being present the following members:

Councillor Kieran McKenzie, Chair
Councillor Angelo Marignani
Glory Aimufua
Frank Butler
Mike Fisher
Masoumeh Mazandarani
Jennifer Nantais
Maria Boada
Kiemia Rezagian

Guest in attendance:

Derek Coronado

Also present are the following resource personnel:

Karina Richters, Supervisor, Environment Sustainability & Climate Change
Barbara Lamoure, Environment & Sustainability Coordinator
Aaron Farough, Senior Legal Counsel
Wadah Al-Yassiri, Manager Parks Development
Karen Cedar, Naturalist and Outreach Coordinator
Karen Kadour, Committee Coordinator

1. Call to Order

The Chair calls the meeting to order at 5:04 o'clock p.m. and the Committee considers the Agenda being Schedule A attached hereto, matters which are dealt with as follows:

2. Declaration of Conflict

None disclosed.

3. Adoption of the Minutes

Moved by Councillor Angelo Marignani, seconded by Frank Butler,
That the minutes of the Environment and Climate Change Advisory Committee of
its meeting held May 21, 2024 **BE ADOPTED** as presented.
Carried.

4. Business Items

4.1 Black Oak Heritage Park Discussion

Karen Cedar, Naturalist and Outreach Coordinator provides the following salient points of discussion as it relates to Black Oak Heritage Park:

- Black Oak Heritage Park has been under the Administration of the City of Windsor since 1990.
- There is a geological feature that is over 4,000 years old (old shoreline for Lake Rouge).
- Some trees are over 260 years old.
- When they first acquired the property, dumping of very large tires, large vehicles on the property, and ATV's were evident.
- Administration then erected six foot heavy duty chain link fencing around the parcels that were to be part of the Black Oak Heritage Program. The fencing was critical at that time to stop the use of motorized vehicles getting onto the site and subsequently, there was push back.
- Did an outreach education campaign that involved school children who helped with massive cleanups and made an effort to increase the public awareness of the site being significant and special.
- The Police were helpful and community groups i.e. Friends of Ojibway, the Fields Naturalist Club consistently had strong support for Black Oak Heritage Park.
- This has been an ongoing process with the city since 1990.
- The current unauthorized trails are two metres wide (which is what an ATV would require) and involves many plants, animals and habitats being interrupted and destroyed. This type of damage takes some time to be rehabilitated which can be done.
- The city has spent hundreds of thousands of dollars towards the care of this property. Unfortunately, these funds have been spent on vandalism and on the repair of the destruction that has occurred.
- Thousands of signs have been destroyed that make people aware that they in areas that they should not be in due to being an endangered species habitat area.
- Police bicycle patrols have been present to provide education and to advise people to go back to the authorized trail. The Police presence has made a huge improvement in reducing the damage caused.

- When people are on these unauthorized trails, there are numerous hazards for personal liability and injury because this is city property, and the risk falls to the City of Windsor.
The *Ontario Endangered Species Act* requires the city to maintain, preserve and protect the risk to habitat.

Wadah Al-Yassiri, Manager, Parks Development asks Karen Cedar to comment on the use of a “camera approach”. Karen Cedar responds that they utilized the trail cams that were installed high in the trees and were stolen within two days

Councillor Kieran McKenzie asks if Administration has considered a strategy to address the foregoing challenges. Wadah Al-Yassiri responds that they have been approached by some cyclists and enthusiasts who were advised that this park is off limits for unauthorized use. For this purpose, City Councillors and Administration approved the use of hundreds of thousands of dollars to create bike trails at Malden Park, and at Little River Park. He adds that they met with many groups and advised that these locations are off limit and offered to work with them on other locations that have been approved.

Councillor Kieran McKenzie reiterates that bikes are not allowed – no off road cycling is offered in that park whatsoever even on the designated official trails and asks if that is correct. Karen Cedar responds that they have not stated that cyclists are not allowed on the authorized trail – the issue is with the unauthorized trails.

Aaron Farough, Senior Legal Counsel states that what we have on the books addresses the circumstances that we’re dealing with – i.e. the Parks Bylaw, restricting use of unauthorized areas and how it deals with designated multi-use trails versus non-designated trails. He states that the Parks By-law is currently being worked on as far as being able to prosecute under Part 1 under the Provincial Offences Act rather than Part 3 which means that tickets can be issued rather than issuing summons in order to prosecute violations. This process involves a set fine schedule that has to be approved by the court (waiting for judicial approval of this). The difficulties of enforcement remain that in order to properly ticket someone like when issuing a summons, one must be able to positively identify the person in order to issue the ticket. Obviously, the issue they run into is the nature of the use, i.e. people on bicycles so Park staff do not have the opportunity to properly address that. The Parks By-law covers the set fine schedule that is before the courts for approval. Administration could look into seeing what the maximum fine is for a ticket and upping that and raising public awareness regarding the possible issuance of a ticket. The history of the use and ongoing issues suggest how brazen some of these attempts are which may not discourage some people. He adds that changing prosecution from a Part 3 to Part 1 of the Provincial Offences Act should streamline the enforcement process. In certain cases could potentially apply to the court for an injunction. The issue is always that we do not know exactly who these individuals are and there is a different threshold for getting an injunction issued from the court against persons unknown.

Frank Butler advises that he visited Black Oak Heritage Park on two occasions over the past month and provides an overview of the areas of damage and unsafe conditions as follows:

- Significant moving of topsoil to build ramps and turning embankments
- Moving of rubble and logs to build turning embankments and jump ramps.
- Removal of warning signs and authorized trail signs for approved paths.
- Damage to trees to make trails using hand axes.
- Damage to trees by dumping soil against trunks which impact their health.
- Disturbed habitat areas.
- Chain link fences cut back in three locations to access across ETR rail tracks and into WUC property.
- Significant widening of paths using line trimmers to keep trails clear (often two metres in width on average).
- Blind spots due to sharp turns in the trail path.
- Exposed roots which could lead to loss of control of bikes or tripping hazards.
- Narrow paths between two trees creating impact/striking hazards.
- Complex and overlapping paths could lead to hikers and dog walkers becoming disoriented and lost.
- The “non-profit” group is engaging in illegal activity which may put their non-profit status in jeopardy that can be identified.

In terms of the non-profit group engaging in illegal activity, Aaron Farough responds that this information will be provided to By-law Enforcement who would handle the actual claim to the extent we have one. The other difficulty that they run into as you identify either the non-profit organization or an unincorporated association of individuals is whether they are a proper party to a proceeding or whether we are best to identify the individuals and deal with them on an individual basis.

Kiemia Rezagian refers to dialogues held with the groups and asks if a different approach, i.e. speaking to one individual who may be able to communicate with the group would be more effective. Wadah Al-Yassiri responds that he is willing to sit with Karen Cedar and Aaron Farough to discuss ways to educate the violators.

Kiemia Rezagian concurs with developing a relationship building strategy. The Chair suggests that an education outreach strategy with Parks to improve some of the existing infrastructure may help to ameliorate the situation to some extent.

Councillor Angelo Marignani agrees that education and outreach is very important and proposes reaching out to the groups and have a dialogue on the importance of conserving the area, which may foster better support with that group. Secondly, he states that the placement and removal of the signage is an issue and asks if pile driving steel stakes into the ground with a sign in front of their trails saying “this is not a bike trail” is a possibility. Karen Cedar responds that the use of a pile driver has been done for the past thirty years; drove 12 stakes down 8 feet with signs that said “no entry”.

Councillor Angelo Marignani refers to switching the Part 3 violation to a Part 1 violation and asks if there is a timeline for this. Aaron Farough responds he does not have a definitive timeline as it is currently before the court for judicial approval. He adds that the Parks By-law is enforceable and states if prudent, a letter can be sent to the group noting that numerous reports have been received and to be advised that there are numerous fines under the Parks By-law and we intend to enforce these if we catch anyone in violation of them and ask that this be circulated to the members of your group to use the designated trails.

Councillor Angelo Marignani asks what are the risks involved with using social media to communicate with these groups. Aaron Farough responds that the risk is feeling targeted again not knowing how many people are in that particular group, how many people condone the use of those trails or go outside of the trails. Certainly in reading their media relations they frame themselves as people who are stewards of these parks who have taken credit for getting rid of off road vehicles within the park. The risk creates a more adversarial approach early on in the process that might foreclose the discussions that we are open to having with them.

Councillor Angelo Marignani asks Aaron Farough to provide recommendations from a legal perspective since enforcement seems to be the only thing that is working at this time. Aaron Farough responds it would be along the lines of what can we do to up that enforcement, consulting with Parks to see what resources they require and what type of engagement do we think would work well alongside that enforcement. He suggests an approach where we issue a letter notifying the group of the intended step up in enforcement and whatever powers we have to increase the level of enforcement between Parks and By-law Enforcement or Police based on past experience would probably be useful.

Mike Fisher refers to the violation of provincial laws in terms of the *Endangered Species Act* and asks how do we make that clear that this is Provincial and not just the City as removing that habitat is a violation of Provincial Law. He adds that with these lands are being earmarked to be Canada's second national urban park and suggests to extensively consult with the community, document and talk to people and explain why this area so special.

In response to a question asked by the Chair regarding the ability to quantify the damage to the Parks, Karen Cedar responds that they have the technology to map it to show the width of the trail and to quantify that with the city's Geomatics team.

Maria Boada proposes that the Public Education and Engagement Subcommittee begin engaging the community and the youth on this issue.

Jennifer Nantais asks if there any cycling networks or groups who would assist in sharing this messaging. The Chair expresses concern that there is an opportunity for deviousness to emerge from this.

Mike Fisher asks how much can we leverage the Black Oak Heritage Management Plan. Karen Cedar responds that the Management Plan was approved and the damage to the landscape was documented. She adds that they have not had a change in their position that the use and creation of unauthorized trails is prohibited in this area. As Aaron Farough indicated, there are now some other enforcement possibilities, so in the past they had to rely on the police to come in with authority and to advise they cannot be on an unauthorized trail.

Moved by Councillor Angelo Marignani, seconded by Maria Boada,
That the following direction and next steps **BE APPROVED**:

That an assessment **BE UNDERTAKEN** to determine the size and scope of the unauthorized trail impact on Black Oak Heritage Park and surrounding area; and,

That the Legal Department **BE DIRECTED** to bring back a report on the enforcement mechanisms available for Black Oak Heritage Park; and,

That the Black Oak Heritage Park matter **BE REFERRED** to the Public Education and Engagement Subcommittee for comment.

Carried.

5. Subcommittee Reports

5.1 City of Windsor Bird Team Subcommittee

Jennifer Nantais, Chair of the City of Windsor Bird Team Subcommittee provides an overview of the activities of the subcommittee as follows:

- The Bird Team has been meeting since Windsor was certified as a Bird Friendly City in 2022. Four meetings have been held in 2024.
- The Subcommittee is looking at the goals and deliverables to maintain and improve that bird friendly status with Nature Canada which requires annual reporting.
- Will continue to discuss bird friendly initiatives. Birds are important because they tell us about the health of our working landscapes, they are well studied, they provide connections to the natural world and resonate with people. Windsor is a hotspot for eco-tourism, is a great birding spot.
- Regularly connect on governance and processes, discussing roles and responsibilities of this Subcommittee and the relationship to the Advisory Committee and powers of the Subcommittee to inform and make recommendations.
- There is an interest in the public participating and joining this group so a discussion was held regarding if this should be opened up to the public, or to remain as a

small team, whether a Terms of Reference be established if guests are invited for public meetings.

- Will keep the closed group for now and may have a public meeting annually in the spring during migration activities around World Migratory Bird Day.
- Next steps include:
 - Reaching out to Birds Canada about potential outreach to inform and build relationships at chimney swift roost sites which have been added to the municipal database.
 - Ongoing research and review of Toronto standards and guidelines to compare progress with other cities.
 - Establishing baseline data collection on window collisions to inform future recommendations on potential window upgrades and the adoption of municipal standards.
 - Continuing discussions to bring awareness of the impact of outdoor cats on bird populations (cats kill billions of birds annually) and potential outreach and education through the Windsor Essex Humane Society and local rescues and T & R programs .
- Outcomes –Prepared a global bird rescue event from September 23 – 29, 2024 and a call to action for city staff and the public.
- A survey to be developed with a QR code that folks can submit and the possible involvement of the City’s Wellness Committee.

Moved by Kiemia Rezagian, seconded by Mike Fisher,
That the update provided by Jennifer Nantais, Chair of the City of Windsor Bird Team Subcommittee **BE RECEIVED**.
Carried.

5.2 Planning and Environment Subcommittee

Councillor Angela Marignani, Chair of the Planning and Environment Subcommittee provides an overview of the activities of the subcommittee as follows:

Councillor Angelo Marignani, Chair advises that they have not met. He advises that the purpose of the Planning and Environment Subcommittee is to see how they can affect the City Council meetings moving forward. He refers to a recent meeting of the Development Charges Task Force and a question was asked about the environmental risks involved with those development charges. He adds that this is something that the Subcommittee will pursue. He alludes to the sustainable development in the city’s Planning Department and with compliance and regulations that are being put forward both Provincially and Federally.

Barbara Lamoure remarks that this is a great Subcommittee for the Advisory Committee to partner with as they can assess which documents could use some modification or discussion.

Moved by Frank Butler, seconded by Maria Boada,
That the update provided by Councillor Angelo Marignani, Chair of the Planning and Environment Subcommittee **BE RECEIVED**.
Carried.

5.3 Public Education and Engagement Subcommittee

Maria Boada, Chair Public Education and Engagement Subcommittee provides an overview of the activities of the subcommittee as follows:

- Subcommittee to focus on three issues – Transit, Habitat and Waste Management and Recycling
- Discussion regarding how communities can be more involved, e.g. how a First Nations Community created QR codes to educate citizens about nesting turtles.
- Interested in doing a “mock Council” with high school students who will provide ideas to the Subcommittee on environmental issues that matter to them.
- Suggestion to partner with the Windsor International Film Festival (WIFF) to show movie(s) on environmental matters followed with a discussion. WIFF is eager to partner with the Subcommittee at a cost of \$1,500.
- Hold a Speaker’s Corner where the public can speak to environmental matters in the city which would be posted on social media or another site.
- Suggestion to hold a contest whereby people create a short film on an environmental matter.
- Recruited three additional members to the Subcommittee.

Moved by Councillor Angelo Marignani, seconded by Kiemia Rezagian,
That the update provided by Maria Boada, Chair of the Public Education and Engagement Subcommittee **BE RECEIVED**.
Carried.

Moved by Mike Fisher, seconded by Frank Butler,
That **APPROVAL BE GIVEN** to an expenditure in the upset amount of \$1,500 for the Windsor International Film Festival to show a movie on environmental issues.
Carried.

5.4 Youth Subcommittee

Kiemia Rezagian, Chair Youth Subcommittee provides an overview of the activities of the subcommittee as follows:

Discussed a plan to have a high school focused conference to provide awareness of municipal decision making, specifically as it relates to the environment; to receive their feedback; to encourage their engagement in municipal politics in the city and to show them avenues for environmental career paths.

Reached out to Art Windsor Essex to determine if they are interested in hosting the conference in February 2025.

Initial outreach for additional members has been undertaken.

Next steps – Will set up a meeting with the broader Youth Subcommittee.

Will be requesting a budget to bus students to the conference to be held in February 2025, for purchasing some food and perhaps some honoraria if Indigenous speakers are present.

Moved by Maria Boada, seconded by Councillor Angelo Marignani,
That the update provided by Kiemia Rezagian, Chair of the Youth Subcommittee
BE RECEIVED.
Carried.

5.5 Budget Subcommittee

Frank Butler, Budget Subcommittee Chair provides an overview of the activities of the subcommittee as follows:

- On June 18, 2024 the Chair advises that he met with Barbara Lamoure, Karina Richters, Derek Coronado and Philippa von Ziegenweidt met to have a discussion on the budget review process and the cycle for input to City Council on budget items.
- The Budget Subcommittee will meet in August and September 2024 in order to report back to ECCAC and will then report to the Environment, Transportation and Public Safety Standing Committee and City Council.
- Two volunteers have joined the Subcommittee.

6. New Business

None.

7. Date of Next Meeting

The next meeting will be held on a date to be held on Tuesday, September 17, 2014 at 5:00 o'clock p.m. via Zoom video conference.

8. Adjournment

There being no further business, the meeting is adjourned at 7:00 o'clock p.m.



Committee Matters: SCM 294/2024

Subject: Minutes of the Windsor Licensing Commission of its meeting held August 28, 2024

Moved by: Councillor Gary Kaschak
Seconded by: Councillor Mark McKenzie

Decision Number: **ETPS 1023**

THAT the minutes of the Windsor Licensing Commission meeting held August 28, 2024 **BE RECEIVED.**

Carried.

Report Number: SCM 260/2024
Clerk's File: MB2024

Clerk's Note:

1. Please refer to Item 7.2 from the Environment, Transportation & Public Safety Standing Committee held on September 25, 2024
2. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241001-1/10509>



Committee Matters: SCM 260/2024

Subject: Minutes of the Windsor Licensing Commission of its meeting held

August 28, 2024

Windsor Licensing Commission
Meeting held August 28, 2024

A meeting of the Windsor Licensing Commission is held this day commencing at 9:30 o'clock a.m. in Room 139, 350 City Hall Square West, there being present the following members:

Councillor Ed Sleiman, Chair
Councillor Renaldo Agostino, via Zoom video conference
Councillor Angelo Marignani

Regrets received from:

Harbinder Gill
Jayme Lesperance

Delegations in attendance:

Andom Gebrzgie, Assad Hurmuzlu, regarding ***Item 6(a)***
Golmar Karimi, and Kiemia Rezagian regarding ***Item 6(b)***
Jay Abdolrahmanpour, Walter Bezzina and Mohamad Kashash, regarding ***Item 8(a)***

Also present are the following resource personnel:

Steve Vlachodimos, City Clerk and Licence Commissioner
Craig Robertson, Manager, Licensing & Enforcement, Deputy Licence Commissioner
Rory Sturdy, Supervisor of By-law Enforcement
Sandy Hansen, Senior Licence Issuer
Karen Kadour, Committee Coordinator

1. Call to Order

The Chair calls the meeting to order at 9:35 o'clock a.m. and the Windsor Licensing Commission considers the Agenda being Schedule A attached hereto, matters which are dealt with as follows:

2. Disclosure of Interest

None disclosed.

3. Adoption of the Minutes

Moved by Councillor Angelo Marignani, seconded by Councillor Renaldo Agostino, That the misspelling of the Councillors' names (Councillor Angelo Marignani and Councillor Renaldo Agostino) **BE CORRECTED**.
Carried.

4. Request for Deferrals, Referrals or Withdrawals

None.

5. Communications

None

6. Licence Transfers

6(a) Andom Gebrzgie, Transferor and Assad Hurmuzlu, Transferee appear before the Windsor Licensing Commission regarding the transfer of Plate #001.

Craig Robertson provides the following remarks regarding the transfer of Plate #001:

- An application was submitted to the Windsor Licensing Commission on May 13, 2024. The applicants have satisfied that application.
- Administration reviewed that application and is prepared to recommend transfer of the Taxicab plate #001.

Moved by Councillor Angelo Marignani, seconded by Councillor Renaldo Agostino, That the transfer of Taxicab Plate #001 from Andom Gebrzgie to Assad Hurmuzlu **BE APPROVED** with the following conditions:

- i. Assad Hurmuzlu be given thirty (30) days from the date of the approval to submit a vehicle for inspection that complies with Schedule 5 to By-law 150-2018, including a valid safety standards certificate.
- ii. Assad Hurmuzlu be given thirty (30) days from the date of the approval to submit a Taxicab Plate Holder application and pay the associated fee.
- iii. Assad Hurmuzlu be given thirty (30) days from the date of the approval to provide verification that full compensation has been made to Andom Gebrzgie in consideration of the transfer of Taxicab plate #001.
- iv. Assad Hurmuzlu shall not lease Taxicab plate #001 for a one-year period as stated in Schedule 5, Section 21.3 of Licensing By-law 150-2018.

Carried.

6(b) Request to extend Estate Trustee as Plate Holder for Taxicab Plate #088

Golmar Karimi, Trustee for the Estate of the Late Fazlullah Rezagian and Kiemia Rezagian appear before the Windsor Licensing Commission regarding the request to extend the Estate Trustee as plate holder for Taxicab Plate #088.

Craig Robertson provides the following remarks regarding the request by the Estate Trustee to extend the plate holder terms of Plate #088 as a result of the plate holder's passing:

- On September 13, 2022, the Licensing Division was notified of Mr. Rezagian's passing.
- Received documentation confirming Golmar Karimi as the Estate Trustee. Per the Public Vehicle Licensing By-law, as the Estate Trustee, the plate will sit in the Estate. There is a two-year time period to decide what they want to do with the plate.
- Received a letter earlier this year from the Estate Trustee indicating some circumstances that they have been unable to transfer the plate in the past two years.
- The Estate Trustee had been relying on the income from this plate to support her family while still dealing with the passing of Mr. Rezagian.
- Administration is of the opinion that the request being put forward is not unreasonable and is prepared to recommend that the Windsor Licensing Commission approve a year extension; that Golnar Karimi maintain the plate, and if she does not, or if the Estate is not able to find a transferee of that plate, that the Plate be returned to the Windsor Licensing Commissioner.

Moved by Councillor Angelo Marignani, seconded by Councillor Renaldo Agostino, That the Windsor Licensing Commission **RECOMMEND** that the request to permit Golnar Karimi, Estate Trustee, to hold City of Windsor Taxicab Plate #088 and any associated licenses **BE APPROVED** until September 10, 2025, and further, that Taxicab Plate #088 **BE REVOKED** and **RETURNED** to the Licence Commissioner should the taxicab plate not be transferred on or before September 10, 2025.

Carried.

8(a) Response to Request to Eliminate Age Limits for Wheelchair Accessible Taxicabs and Reduced Licence Fees – City Wide

Jay Abdolrahmanpour, Walter Bezzina and Mohamad Kashash, appear before the Windsor Licensing Commission regarding the request to eliminate age limits for wheelchair accessible taxicab and reduced licence fees – city wide.

Craig Robertson provides the following remarks regarding this Administrative Report as a result of the submission by the Owner of Canadian Checker Cab regarding wheelchair accessible taxicabs:

- Administration received a request from Jay Abdolrahmanpour, Owner, Canadian Checker Cab to eliminate the age limits for wheelchair accessible taxicabs as well as asked for the associated licence fees to be reduced.
- Canadian Checker Cab has been the sole provider for wheelchair accessible taxicabs for a number of years. The request from Mr. Abdolrahmanpour was to eliminate age limits for the wheelchair accessible taxicabs as well as to reduce licence fees based on the requirements of the by-law to replace a vehicle after it reaches its age.
- Currently, all taxicabs must be removed from service once they reach ten (10) model years in age.
- Canadian Checker Cab is the only broker that has wheelchair accessible taxicabs in their fleet.
- Over fifty percent of the fleet must come off the road by the end of this month, with the remaining accessible cabs, due to their age, come off in 2025.
- There is a risk of losing wheelchair accessible service in our taxi industry if a solution is not found.
- There were approximately 9,000 taxicab fares that required wheelchair accessible services provided by Checker Cab last year.
- Traditionally, taxicab age limits ranged from six to eight years and then were required to be removed from service. Many municipalities shifted to increase these age limits and level the playing field when Transportation Network Companies like UBER and Lyft started providing transportation services in their municipality.
- A municipal scan was completed to determine how other municipalities were governing age limits for taxicabs.
- Some municipalities do not regulate age limits in their taxi industry, but they focus more on the physical inspection that is done by their by-law enforcement staff who are also certified mechanics. This is something that is not feasible for Windsor due to staff resources and qualifications.
- Most municipalities have similar regulations as Windsor and provide a maximum model year of ten years old for all taxicabs.
- Recent age limit reviews were conducted by the cities of Toronto, Ottawa and London. Those studies concluded that they would maintain a ten-year age limit for regular taxicabs but would increase the age limit for wheelchair accessible taxicabs to 12 years old due to the considerable difference in cost and increased expenses to replace a wheelchair accessible taxicab.
- Administration recommends that Windsor move to a 12-model year age limit for wheelchair accessible taxicabs and maintain the current 10-year age limit for regular taxicabs. The increase in age limit will assist Canadian Checker Cab and ensure that the industry is able to provide a crucial service to our accessible community.
- By providing an additional two years, it will allow for the owner of Checker Cab additional time to replace his existing fleet. Checker Cab will still be subject to

safety certificate submissions at the time of licence application as well as a secondary submission for those vehicles that are older. At any time, the vehicles will be subject to spot inspections by the City's By-law Enforcement Officers and/or the Ministry of Transportation (MTO) at any time or when a complaint is received.

- The 12-model year age limit will also provide an extra incentive for those taxicab drivers that are eligible under the by-law to obtain a wheelchair accessible plate and provide those services.
- There is a request for plate fees to be dropped from \$425. which is not recommended by Administration at this time. Licence fees are based on cost recovery to administer and enforce the City's licensing program.

In response to a question asked by the Chair regarding if the city has been lobbied by the taxi industry to increase the age limit from ten years old to twelve years old, Craig Robertson responds that a letter was provided by Jay Abdolrahmanpour, Owner, Canadian Checker Cab that triggered this report. Craig Robertson remarks that Mr. Abdolrahmanpour is our sole provider for wheelchair accessible taxicab services in our city. He adds that Mr. Abdolrahmanour has come forward with financial constraints and concerns regarding the risk of the City losing wheelchair accessible taxicab services as early as next year.

Mr. Jay Abdolrahmanpour indicates that the licence fee is too much and asks that fees be waived for accessible taxicabs. Craig Robertson responds that the cost to renew each taxicab plate is \$400 and that licence fees are based on cost recovery. Taxicab fees have not been raised since 2007. The \$400 is to capture the cost to administrate and enforce the by-law and licensing program.

Walter Bezzina, representing Vets Cab remarks that they recognize the financial challenge that Mr. Abdolrahmanpour has with respect to keeping accessible taxicab vehicles on the road. He adds that if the owner of Checker Cab can get two more years out of each vehicle as opposed to having to put out a capital expenditure from anywhere from \$45,000 to \$65,000 (each vehicle), it would help tremendously. He adds he is in full support of the administrative report.

Councillor Sleiman asks if Checker Cab has considered increasing the fare. Jay Abdolrahmanpour responds that he is opposed to that as that would be discriminatory to people with disabilities.

Craig Robertson indicates as a result of the Windsor Licensing Commission making a decision today, this information will be forwarded to the Environment, Transportation and Public Safety Standing Committee and then onto City Council as there could be a potential change to the by-law based on the final decision of Council. He indicates that the Licensing Division will work with Mr. Abdolrahmanpour in the meantime to ensure that operations are not disrupted and will hold off from requesting any accessible taxicab vehicle replacements at this time. Craig Robertson suggests that it will take some time for this matter to be reviewed by Standing Committee and Council and

recommended that late fees for this year be waived due to the timing of the report and request from the licensee.

Councillor Angelo Marignani refers to the licensing fees for taxis and asks it is the same fee for medical transport operators. Craig Robertson responds that the city does not licence medical transport operators specifically. However, there are some vehicles that are licensed that provide livery services, meaning prearranged contracts that are made with individuals for transportation services. Craig Robertson indicates that licence fees for taxicab vehicles are higher than livery vehicle fees.

Moved by Councillor Angelo Marignani, seconded by Councillor Renaldo Agostino, THAT the Windsor Licensing Commission **RECEIVE** the report of the Deputy Licence Commissioner entitled "Response to Request to Eliminate Age Limits for Wheelchair Accessible Taxicabs and Reduced Licence Fees; and,

THAT the Windsor Licensing Commission **RECOMMEND** to City Council, an increase of the current ten-year vehicle age limit to a twelve-year vehicle age limit for licensed Wheelchair Accessible Taxicabs; and,

THAT the Windsor Licensing Commission **RECOMMEND** to City Council, that Public Vehicle By-law 150-2018 **BE AMENDED** to reflect the changes made to the maximum age limit for licensed Wheelchair Accessible Taxicabs; and further,

THAT upon City Council's decision, all late fees incurred for this year would **BE WAIVED** upon registration of any remaining wheelchair accessible taxicabs that are owned and operated by Canadian Checker Cab.

Carried.

8(b) Expired Application(s) for Business Licence

Moved by Councillor Angelo Marignani, seconded by Councillor Renaldo Agostino, That the report of the Deputy Licence Commissioner dated August 28, 2024, entitled "Expired Application(s) for Business Licence" **BE RECEIVED**.

Carried.

9. In Camera

No In Camera session is held.

10. Date of Next Meeting

The next meeting will be held at the call of the Chair.

11. Adjournment

There being no further business, the meeting is adjourned at 10:15 o'clock a.m.

Committee Matters: SCM 295/2024

Subject: Report No. 157 of the Windsor Licensing Commission - Request to eliminate age limits for wheelchair accessible taxicabs

Moved by: Councillor Kieran McKenzie
Seconded by: Councillor Gary Kaschak

Decision Number: **ETPS 1024**

THAT Report No. 157 of the Windsor Licensing Commission indicating:

THAT the Windsor Licensing Commission RECEIVE the report of the Deputy Licence Commissioner entitled "Response to Request to Eliminate Age Limits for Wheelchair Accessible Taxicabs and Reduced Licence Fees"; and,

THAT the Windsor Licensing Commission RECOMMEND to City Council, an increase of the current ten-year vehicle age limit to a twelve-year vehicle age limit for licensed Wheelchair Accessible Taxicabs; and,

THAT the Windsor Licensing Commission RECOMMEND to City Council, that Public Vehicle By-law 150-2018 BE AMENDED to reflect the changes made to the maximum age limit for licensed Wheelchair Accessible Taxicabs; and further,

THAT upon City Council's decision, all late fees incurred for this year would BE WAIVED upon registration of any remaining wheelchair accessible taxicabs that are owned and operated by Canadian Checker Cab.

BE APPROVED.

Carried.

Report Number: SCM 259/2024
Clerk's File: MB2024

Clerk's Note:

1. Please refer to Item 7.3 from the Environment, Transportation & Public Safety Standing Committee held on September 25, 2024
2. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241001-1/10509>



Committee Matters: SCM 259/2024

Subject: Report No. 157 of the Windsor Licensing Commission - Request to eliminate age limits for wheelchair accessible taxicabs

REPORT NO. 157
of the
WINDSOR LICENSING COMMISSION
of its meeting held August 28, 2024

Present: Councillor Ed Sleiman, Chair
Councillor Renaldo Agostino
Councillor Angelo Marignani

The Windsor Licensing Commission submits the following recommendation:

Moved by Councillor Angelo Marignani, seconded by Councillor Renaldo Agostino,

THAT the Windsor Licensing Commission **RECEIVE** the report of the Deputy Licence Commissioner entitled “Response to Request to Eliminate Age Limits for Wheelchair Accessible Taxicabs and Reduced Licence Fees; and,

THAT the Windsor Licensing Commission **RECOMMEND** to City Council, an increase of the current ten-year vehicle age limit to a twelve-year vehicle age limit for licensed Wheelchair Accessible Taxicabs; and,

THAT the Windsor Licensing Commission **RECOMMEND** to City Council, that Public Vehicle By-law 150-2018 **BE AMENDED** to reflect the changes made to the maximum age limit for licensed Wheelchair Accessible Taxicabs; and further,

THAT upon City Council’s decision, all late fees incurred for this year would **BE WAIVED** upon registration of any remaining wheelchair accessible taxicabs that are owned and operated by Canadian Checker Cab.

Carried.

NOTE: The Report of the Deputy Licence Commissioner dated August 28, 2024 entitled “Response to Request to Eliminate Age Limits for Wheelchair Accessible Taxicabs and Reduced Licence Fees – City Wide is **attached**.

Notification :	
Windsor Licensing Commission	On file
Canadian Checker Cab	P5192547777@hotmail.com
Vets Cab Company	mkashash@vetscab.com wbezzina@vetscab.com
Unifor Local 195	pres@uniforlocal195.com

Subject: Response to Request to Eliminate Age Limits for Wheelchair Accessible Taxicabs and Reduced Licence Fees - City Wide

Reference:

Date to Commission: August 28, 2024

Author: Craig Robertson

Manager of Licensing and Enforcement & Deputy Licence Commissioner

519-255-6100 ext. 6869

crobertson@citywindsor.ca

Policy, Gaming, Licensing & By-Law Enforcement

Report Date July 22, 2023

Clerk's File #:

To: Windsor Licensing Commission

Recommendation:

THAT the Windsor Licensing Commission **RECEIVE** the report of the Deputy Licence Commissioner entitled "*Response to Request to Eliminate Age Limits for Wheelchair Accessible Taxicabs and Reduced Licence Fees*" and,

THAT the Windsor Licensing Commission **RECOMMEND** to City Council, an increase of the current ten-year vehicle age limit to a twelve-year vehicle age limit for licensed Wheelchair Accessible Taxicabs and further,

THAT the Windsor Licensing Commission **RECOMMEND** to City Council, that Public Vehicle Licensing By-law No. 150-2018 **BE AMENDED** to reflect the changes made to the maximum age limit for licensed Wheelchair Accessible Taxicabs.

Executive Summary:

N/A

Background:

On May 23, 2024, Licensing Administration received correspondence addressed to the Windsor Licensing Commission from Mr. Jay Abdolrahmanpour, owner of Canadian Checker Cab (attached as Appendix A). The content of the correspondence requested the elimination of age requirements and a reduction in licence fees specifically for

Wheelchair Accessible Taxicabs due to financial constraints his taxicab brokerage is currently faced with and the associated cost to replacing a wheelchair accessible taxicab.

The City of Windsor licences and regulates the municipality's taxicab brokers, drivers and vehicles through Schedule 5 of Public Vehicle Licensing By-law No. 150-2018. The Schedule itself prescribes the age limits for all licensed taxicabs including wheelchair accessible vehicles. In 2018, Windsor's maximum age limit for taxicabs was increased from eight (8) years old to the current age limit being a maximum of ten (10) model years in age. This became the industry standard across the province and country. The intent of the increase was to "level the playing field" when Transportation Network Companies like UBER and Lyft were introduced to the municipality as an alternative means of public transportation. Once a taxicab reaches the end of its lifecycle, the taxicab is required to be replaced at the expense of the taxicab plate holder. Failure to replace the taxicab requires the plate holder to surrender the taxicab plate back to the City and be made available to those in the industry that qualify.

Public vehicle licence fees, including those charged for Wheelchair Accessible Taxicabs, are governed under the City's Public Vehicle Licensing By-law and are established by the municipality to recover the cost to administer and enforce the licensing program.

Discussion:

The City of Windsor's cap limit on Wheelchair Accessible Plates is twenty-one (21). Canadian Checker Cab, which is owned and operated by Mr. Jay Abdolrahmanpour is the sole taxicab company that provides wheelchair accessible services to our community. Mr. Abdolrahmanpour is the holder of nine (9) Wheelchair Accessible Plates, the other twelve (12) remaining plates are in possession of the Licence Commissioner and available to licensees within the industry that qualify. Interest from current industry stakeholders to hold these types of plates is low due to the substantial cost difference to purchase, operate, maintain and replace a wheelchair accessible taxicab. In addition, Wheelchair Accessible Plates are non-transferable and hold no monetary value compared to "traditional" taxicab plates.

As previously mentioned, the maximum age limit for a taxicab to operate in Windsor is ten (10) model years old. Based on the age of Mr. Abdolrahmanpour's taxicab fleet, he is required to replace five (5) Wheelchair Accessible taxicabs by August 31st of this year and four (4) additional Wheelchair Accessible taxicabs in 2025. Mr Abdolrahmanpour has indicated that his brokerage is facing financial constraints and that the significant cost to replace his wheelchair accessible taxicabs (based on current age limits) could impact the continuity of providing essential accessible transportation services to the community.

Administration is empathetic to the situation that Mr. Abdolrahmanpour is challenged with and certainly recognizes the importance for accessible transportation services to continue in our community. Administration conducted a municipal scan with various

municipalities across the province of Ontario to identify best practices related to taxicab and wheelchair accessible taxicab age limits for the purpose of vehicle replacement. These results are discussed below.

No Regulated Age Limits

Although they are far and few between, there are some municipalities such as Niagara Region, Region of Waterloo and Guelph that do not regulate the age of taxicabs. The rationale behind this, is that their City staff inspect the taxicabs annually or when a complaint is received. They utilize in-house by-law enforcement personnel (who are also certified mechanics) to determine the safe operation of the taxicab and make recommendations for replacement. This is not an option being considered or suggested by Administration due to current staff resources and qualifications.

Regulated Age Limits

A majority of the municipalities surveyed, had identical age limit requirements for taxicab and wheelchair accessible taxicab vehicle replacement as Windsor being ten-model years of age. As previously mentioned, this is the industry standard. It was discovered that traditional age limits were anywhere from six (6) to eight (8) years of age but shifted to an increase to ten (10), over the last few years, largely due to the implementation of Transportation Network Company licensing programs. Similar to Windsor, age limits were increased by these municipalities to coincide with vehicle replacement requirements mandated by companies like UBER and Lyft. Although a "level playing field" was created between taxicab and transportation network companies, this model provided little incentive for an industry stakeholder to invest in a Wheelchair Accessible Taxicab due to the significant difference in cost to replace the vehicle.

Tiered Age Limits

It was discovered that a few municipalities like Ottawa, Toronto and London had recently reviewed their taxicab vehicle replacement requirements based on contributing factors caused by the COVID-19 pandemic that impacted the cost of vehicle parts and supplies, along with the lack of availability to retrofit a wheelchair accessible vehicle. Within their licensing regulations, traditional taxicabs remain at a maximum ten (10) model year lifecycle while wheelchair accessible taxicabs were increased to a twelve (12) model year lifecycle. The increase in vehicle age requirements for this type of taxicab provides an incentive and relief for those plate holders that must pay significantly higher costs to replace their accessible vehicle.

As previously mentioned, the maximum vehicle age limit in Windsor, was increased in 2018. The vehicle age requirements established a reasonable standard for a service vehicle and reflected the full-time usage of taxicabs, often with more than one driver working the vehicle, as part of the public transportation network. However, the industry has changed significantly in recent years, and there are often vehicles with only one driver, with a lower mileage accumulation on the vehicles. The availability of newer vehicles and the retrofitting of them for accessible purposes, has become a challenge. In addition, there are significant additional costs associated with obtaining and operating a fully Wheelchair Accessible Taxicab. Administration is proposing an increase in the vehicle age limit for Wheelchair Accessible Taxicabs from ten (10) to twelve (12) model years to encourage continuity of this crucial service and as an incentive for eligible industry stakeholders to operate a Wheelchair Accessible Taxicab. Safety Standards

Certificates and annual inspections outlined under the City's Public Vehicle Licensing By-law would continue to be required.

Risk Analysis:

There is little risk to the Corporation by increasing the maximum age limit of Wheelchair Accessible Taxicabs from ten (10) to twelve (12) model years. Licensed fleet vehicles will still be required to submit annual mechanic checklists and provincial Safety Standard Certificates. The provincial certificate will continue to be mandated under the City's Public Vehicle Licensing By-law every six (6) months for older fleet vehicles and can also be requested at any time deemed necessary by the Licence Commissioner. In addition, all taxicab vehicles are subject to complaint-based and random inspections from City By-law Enforcement personnel and the Ministry of Transportation (MTO).

There is likely a substantial risk to the City and the community, should the availability of accessible transportation fall short within the taxicab industry. As noted previously, Canadian Checker Cab is the sole operator of accessible taxicab services within the municipality. Based on current age limits in the by-law, there is a risk of losing over 50% of the accessible fleet this year and then the remaining vehicles the following year. The loss of these vehicles would negatively impact the community that relies on wheelchair accessible services as approximately 9,000 passenger trips in 2023 were in relation to accessible transportation services provided by Canadian Checker Cab. Therefore, increasing the maximum age limit for wheelchair accessible vehicles by two (2) years provides extra time to save on the expenses associated with replacing the existing and aging fleet. It also provides an incentive for those eligible within the industry to obtain a plate from the City to operate a Wheelchair Accessible Taxicab.

Financial Matters:

As previously discussed, the fees charged under the City's Public Vehicle Licensing By-law are established based on the recovery of costs to administer and enforce the licensing program. Staff resources are required to review and process licence applications, respond to citizen complaints and conduct vehicle inspections. Windsor's taxicab licence fees are on par and in some cases lower in comparison to municipalities with similar fleet sizes.

Mr. Abdolrahmanpour has requested a reduction to the Wheelchair Accessible Taxicab Plate Holder fees from \$400 to \$25. Administration does not support or recommend any reduction to licence fees. Should the Windsor Licensing Commission recommend reduction to the fees as requested, Council would be required to find an alternative funding source to ensure administrative and enforcement costs are recovered. In addition, any reduction to licence fees would likely need to be vetted through the annual Budget process.

There are no financial implications to the Corporation resulting from the recommendations being made by Administration at this time.

Consultations:

Canadian Checker Cab Administration

Municipal scan across Ontario

Conclusion:

Administration's recommendation to increase the maximum age limit for Wheelchair Accessible Taxicabs from ten (10) to twelve (12) model years is designed to create equitable service for persons with disabilities by incentivizing Wheelchair Accessible Taxicab Plate Holders to invest in accessible vehicles.

If the Windsor Licensing Commission approves the recommendation to increase the age limit for Wheelchair Accessible Taxicabs, this report would then go to Standing Committee and ultimately to City Council for consideration. If approved by Council, amendments to the City's Public Vehicle Licensing By-law would then be prepared. Once the by-law is formally amended, the maximum age limit for Wheelchair Accessible Taxicabs would take effect immediately. It ought to be known that due to the timing of this report and the taxicab licensing deadline, being August 31st annually, Administration will not request the replacement of any licensed Wheelchair Accessible Taxicabs until Council makes a final decision on this matter.



Craig Robertson
Manager of Licensing & Enforcement and
Deputy Licence Commissioner

Notifications:

Name	Address	Email
Canadian Checker Cab	1235 Huron Church Rd. Windsor, ON N9C 2K6	P5192547777@hotmail.com
Vets Cab Company	350 Tuscarora St. Windsor, ON N9A 3L7	mkashash@vetscab.com wbezzina@vetscab.com
Unifor Local 195	3400 Somme Ave. Windsor, ON N8W 1V4	pres@uniforlocal195.com

Appendices:

Appendix "A"

CANADIAN CHECKER CAB



1235 Huron Church Rd. Windsor, Ontario. N9C 2K6. Phone: (519) 254-7777. Email: ph5192547777@hotmail.com

Date: Feb 20th 2024

To: Windsor Licensing Commission

Subject: Request to remove the age limit of wheelchair-accessible cabs

Dear Members of the Windsor Licensing Commission,

I am writing to bring a matter of great importance to your attention. It concerns the current regulations governing the age limit for wheelchair-accessible cabs in our city.

Specifically, I wish to address the challenges faced by Canadian Checker Cab—the sole cab company providing wheelchair-accessible services in Windsor.

Under the existing bylaws, all taxi cabs, including wheelchair-accessible ones, are subject to a maximum age limit of 10 years. I believe that this restriction presents a significant obstacle for our wheelchair-accessible services, primarily due to the substantial cost difference between purchasing a standard cab and an accessible van.

As you may be aware, the price of acquiring a wheelchair-accessible vehicle is approximately four times higher than that of a standard cab. Given the company's current financial constraints, procuring a new accessible van and using it to replace an older model is, unfortunately, a difficult proposition for Canadian Checker Cab.

To address this issue and ensure Canadian Checker Cab can continue to provide essential wheelchair-accessible transportation services within our community, I kindly request the Commission to consider the following amendments to the existing regulations:

1. **Remove Age Limit and Emphasize M.T.O. Certification:** I propose the removal of the age limit for wheelchair-accessible cabs, or alternatively, an extension from 10 years to 15 years. This modification is contingent upon maintaining rigorous M.T.O.

certification standards, requiring all wheelchair-accessible cabs to undergo standard certification twice a year. This approach ensures ongoing compliance with safety and regulatory standards while providing the necessary flexibility for maintaining our current fleet.

2. **License Fee Reduction:** Considering the unique financial challenges faced by Canadian Checker Cab, I request a reduction in the annual license fee from \$400 to \$25. This adjustment would align with the fees paid in 2005 and support the sustainability of our wheelchair-accessible cab services.

I believe that these proposed changes will not only ease the financial burden on the company, but also contribute to the continued availability of accessible transportation options for individuals with mobility challenges in Windsor.

I thank you for your attention to this matter, and I appreciate your dedication to enhancing the accessibility and inclusivity of our city's transportation services.



Sincerely,

Jay Abdolrahmanpour

Managing director of Checker Cab



Committee Matters: SCM 297/2024

Subject: Fire Master Plan

Moved by: Councillor Kieran McKenzie
Seconded by: Councillor Mark McKenzie

Decision Number: **ETPS 1025**

THAT City Council **ADOPT** the FIRE MASTER PLAN (Appendix A) including the Windsor Fire & Rescue Service (WFRS) suggestions for implementation (Appendix B); and further,

Whereas on February 2, 2024, the 2024 10-year capital budget was approved via Mayoral Decision MD05-2024 which included items suggested for implementation in the Fire Master Plan, be it further resolved:

THAT the City Treasurer **BE DIRECTED** to bring forward additional funding requests in future operating and capital budgets development processes for consideration over the 10 to 15-life cycle of the Fire Master Plan; and further,

THAT the City Solicitor **BE DIRECTED** to amend and update the Fire Services Establishing and Regulating By-Law to reflect services provided by Windsor Fire & Rescue.

Carried.

Report Number: C 112/2024
Clerk's File: SF/14852

Clerk's Note:

1. The recommendation of the Environment, Transportation & Public Safety Standing Committee and Administration are the same.
2. Please refer to Item 8.1 from the Environment, Transportation & Public Safety Standing Committee held on September 25, 2024
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241001-1/10509>

Subject: Fire Master Plan

Reference:

Date to Council: September 25, 2024

Author: Stephen Laforet

Fire Chief

Fire & Rescue Services

519-253-6573 x3753

slaforet@citywindsor.ca

Report Date: 9/6/2024

Clerk's File #: SF/14852

To: Mayor and Members of City Council

Recommendation:

THAT City Council **ADOPT** the **FIRE MASTER PLAN (Appendix A)** including the **Windsor Fire & Rescue Service (WFRS) suggestions for implementation (Appendix B)**; and further

Whereas on February 2, 2024, the 2024 10-year capital budget was approved via Mayoral Decision MD05-2024 which included items suggested for implementation in the Fire Master Plan, be it further resolved:

THAT the City Treasurer **BE DIRECTED** to bring forward additional funding requests in future operating and capital budgets development processes for consideration over the 10 to 15-life cycle of the Fire Master Plan; and further

THAT the City Solicitor **BE DIRECTED** to amend and update the Fire Services Establishing and Regulating By-Law to reflect services provided by Windsor Fire & Rescue.

Executive Summary:

N/A

Background:

The Fire Master Plan (FMP) encompasses a comprehensive review of the Windsor Fire & Rescue Services' (WFRS) strengths, weaknesses, opportunities, and challenges. This FMP provides a set of strategies and goals for implementation that are aimed at assisting City Council in making decisions and serves as the guiding document for Administration. The last FMP was completed in 2006 by TL Powell and Associates. As

such, on Monday December 12, 2022, City Council approved RFP 150-22 for the new FMP (through CR 522/2022):

*That Council **APPROVE** RFP 150-22, Windsor Fire and Rescue Services (WFRS) Master Plan, to Emergency Management Group (EMG), for the provision of developing the 2023 Fire Master Plan and the Community Risk Assessment, to an upset limit of \$169,945(excluding HST); and,*

*That the CAO and City Clerk **BE AUTHORIZED** to execute an agreement with Emergency Management Group (EMG) for the delivery of Fire Master Plans and the Community Risk Assessment, satisfactory in form to the City Solicitor, in financial content to the City Treasurer, and in technical content to the Fire Chief or designate.*

WFRS subsequently worked with EMG to develop the 2023 Fire Master Plan. If approved by Council, the new FMP will be the guiding document for WFRS for the next 10-15 years.

Discussion:

EMG initiated the FMP project in January of 2023. The project deliverables defined the scope of work undertaken as per the RFP. The Consulting Team worked collaboratively with WFRS services, including the Chief and Deputy Chiefs along with gathering input from the community and other City departments. EMG employed an evidence-based methodology built upon several inputs that combined the insights of the community and stakeholders with information provided by Administration and researched by the Consultants.

Results of the FMP include 49 recommendations for immediate/short (0 -3 years), medium (4-6 years) and long term (6-10+ years) implementation. Many of the recommendations are administrative in nature with six of the recommendations already completed and 14 of them in progress. However, after receiving the initial report, WFRS provided some updates to the recommendations as well as some suggestions for the proposed timelines that were originally laid out by EMG. That original plan Fire Master Plan with suggested timelines can be seen as Appendix A. The departmental response including updated timelines can be seen as Appendix B.

EMG has identified some recommendations that will impact future capital and operating budgets. Those recommendations include:

- Building of a new fire station and administration in the downtown area
- Options for consideration regarding combining training and apparatus facilities and a new station into a multi-purpose complex in the annexed lands should the growth projections warrant it.

It should be noted that these recommendations come from a variety of factors. There is currently increased pressure on the training division to meet O'Reg 343/22 Mandatory Certification. This results in increased demand on the current Training Division staff which will impact the division's ability to provide the other necessary training programs to the department.

In addition, as the City of Windsor continues to grow at unprecedented rates, there is a increase to staffing required in order to meet increased service demands.

Risk Analysis:

The City of Windsor was in need of a new FMP as the previous one had exceeded its lifecycle. As the City of Windsor continues to attract new businesses and residents, the population has and will continue to grow along with it. WFRS has experienced a 10% increase in call volume between 2019 and 2023. The FMP provides a clear vision of what future needs are to be implemented and when, a guide that includes options and budgetary estimates for implementation, prioritization of each project and the ability to communicate with staff, internal and external stakeholders about the future goals of the organization. The FMP will help guide the department for the next 10-15 years, if approved.

There is a financial risk involved with approving the FMP as there will be both operating and capital costs associated with the FMP. A phased in approach is proposed to help mitigate the financial risks associated with implementation of the FMP.

The FMP highlights some areas of the Fire Services Establishing and Regulating By-Law that require updating to better reflect the services provided by the department and the reporting structure. To mitigate this, Administration is requesting the City Solicitor work with the Fire Chief to update the By-Law in order to comply with the FMP.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

The Fire Master Plan provides a review of WFRS strengths, weaknesses, opportunities, and challenges, subsequently providing a set of strategies and goals for improvements to WFRS administration, and as such, there is no immediate financial impact in approving this report.

Administration will utilise a staged implementation approach for the FMP over its anticipated 10 to 15-year life cycle with all recommendations carefully considered and prioritised. The 2024 approved in principle 10-year Capital Budget includes funding that will be used towards the implementation of the FMP including the Replacement of Fire Station 1 and Headquarters in the amount of \$14,072,517 (FRS-003-13), the New WFRS Training and Apparatus Complex in the amount of \$14,260,000 (FRS-004-24) and partial funding for the Re-alignment of Fire & Rescue Apparatus and Training Facility in the amount of \$400,000.

Should City Council adopt the FMP, Administration will submit funding requests for priority projects in future operating and capital budgets development processes for consideration over the life cycle of the Fire Master Plan.

Consultations:

N/A

Conclusion:

The Fire Master Plan will provide WFRS with direction to make decisions over the next 10-15 years to better the City of Windsor and its residents.

Planning Act Matters:

N/A

Approvals:

Name	Title
Stephen Laforet	Fire Chief
Emilie Dunnigan	Manager, Development Revenue and Financial Administration
Vincenza Mihalo	Executive Director, Human Resources
Wira Vendrasco	City Solicitor
Ray Mensour	Commissioner, Community Services
Janice Guthrie	Commissioner, Finance and City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- 1 Appendix A – Fire Master Plan
- 2 Appendix B – Recommendations with Departmental Response

Appendix B - Recommendations with Department Response

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
4	The City of Windsor needs to develop a comprehensive Community Risk Reduction Plan that aligns with the CRA and FMP related recommendations.	Staff Time	Immediate (0-1 years)	The development and implementation of the CRRP will aid in prioritizing risks that will be lessened or mitigated. Answering the who, what, when, and how will assist in identifying risks.	Completed
6	That the WFRS initiate a Process Mapping study to identify redundancy and areas for improvement to optimize staffing in the Fire Prevention unit. Along with a study pertaining to the roles and responsibilities of the Deputy Chief of Support Services with a lens to evaluate workload.	Cost for a study can be as much as \$30,000, unless resources are available internally or from the City of Windsor.	Immediate (0-1 years)	Process mapping may contribute to up to 20% performance improvement. Increasing staffing and process mapping would allow the WFRS Fire Prevention Unit to meet anticipated future growth.	Budget Issue: Resources are not available to accomplish this internally. Timeline: 2-3 years if approved by Council
9	WFRS conduct an audit to identify buildings requiring an inspection and to establish a frequency inspection schedule that would be manageable for WFRS, while optimizing community safety	Staff Time	Immediate (0-1 years)	Best practices for frequency inspection schedule arrange occupancy types by level of risk and prioritize level of risk commensurable with 1-yr, 2-yrs, or 3-yr inspection rotations.	Resources are not available to accomplish this internally. The department will utilize the recently completed Comprehensive Risk assessment to prioritize an interim inspection schedule. Presently, the Fire Prevention Division's staffing level hinders the department's ability to establish an inspection schedule beyond the statutory requirements of the FPPA. Additional staff may be required to achieve an increase in inspection type and frequency. Timeline: 1 to 2 yrs.

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
10	WFRS revamp their proposed 2011 Fire Prevention policy through the lens of the NFPA 1730 and implement the updated policy with accompanying SOGs, detailing specific functions of fire inspection, fire investigation, and public fire and life safety education.	Staff Time	Immediate (0-1 years)	A policy would assist fiscal and operational monitoring of the section, as well as service delivery standard.	In Progress Timeline: 0-1 year.
11	Create a career path model for all specialized functions/positions within the WFRS.	Staff Time	Immediate (0-1 years)	Firefighting is a high-risk profession. Training is essential to enable firefighters to respond more efficiently to emergencies, reducing the property damage caused by fire, loss of life, and public hazards, as well as reducing personnel injuries. Although the WFRS has a career path model for recruit firefighters and officer promotion, there is limited documentation regarding career path modeling for other specialised positions, such as fire prevention officer, fire investigator, public educator, telecommunicator, or technical rescuer.	Discussions with WPPFA in progress Timeline: 0 to 1 yr.
12	WFRS consider a review of its organizational Chart with a training - centric lens to ensure equitable training support to all WFRS divisions.	Staff Time	Immediate (0-1 years)	The WFRS Training Division should not be under the tutelage of any specific Deputy Fire Chief but rather between the two Deputy Fire Chiefs linked with a dotted line to leverage training support to the entire WFRS.	The department agrees that the training division should be responsible for facilitating all departmental training needs. This will require the addition of 2 training officers. The department, however, disagrees with a dotted-line approach to accountability where the responsibility of the division lies somewhere between 2 deputies. Timeline: 0 to 2 years

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
14	WFRS Training Division ensures that any training props should be made to comply with NFPA 1402, Standard on Facilities for Fire Training and Associated Props.	Staff Time	Immediate (0-1 years)	NFPA 1402 provides guidance for the planning of fire service training centers, focusing on the main components necessary to accomplish general firefighter training effectively, efficiently, and safely.	
17	All in-house trainers supporting the annual suppression training program should be qualified to level 1 of the NFPA 1041: Standard for Fire and Emergency Services Instructor Professional Qualifications.	Staff Time	Immediate (0-1 years)	The benefits include improved teaching expertise and experience, improved delivery of program objectives, better- trained personnel, as well as benefiting the training resource capacity of the WFRS.	As part of the new legislation, all personnel responsible for training staff shall be certified to NFPA 1041. The deadline for compliance is July 2026
18	Suppression staff be trained to Fire and Life Safety Educator Level 1 and that the WFRS operations Division captains also be trained as Public Information Officer, under the NFPA 1035.	Staff Time	Immediate (0-1 years)	Suppression members contributes to public and life safety education through various WFRS initiatives. Suppression personnel and the WFRS in general would benefit from enhanced training in Public and Life Safety Education.	Starting in 2024 and ongoing new hires will be trained and certified to NFPA 1035 level 1

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
19	WFRS Fire Prevention policy addresses training requirements and that the training requirements for Fire Prevention which is set at Level 2 of NFPA 1031: Standard for Professional Qualifications for Fire Inspector and Plans Examiner be added to the program development and delivery of the WFRS Training Division. Or at the very least, WFRS Training Division should vet the curriculum and arrange testing and certification to NFPA 1031 and 1035 for fire prevention officers.	Staff Time	Immediate (0-1 years)	Fire inspection is a strong program within the WFRS. Training development and delivery are like public and life safety education concerning external training and coordination by the WFRS Training Officer. With the adoption of Ontario Regulation 343/22 and the certification requirements for fire prevention personnel, WFRS would benefit from the Training Division assuming a monitoring role and a curriculum design role to assure candidates' success from the provincial testing.	All Fire Prevention Officers are trained to NFPA standards. The deadline for legislative compliance is July 2026. Discussions on the promotional process and career pathways within the service are occurring which will inform the curriculum design. Timeline: On-going.
21	WFRS Training Division, at the very least, be responsible for record keeping and monitoring of EMS training requirements.	Staff Time	Immediate (0-1 years)	The benefits include improved teaching expertise and experience, improved delivery of program objectives, better trained personnel, as well as benefiting the overall in-house tracking of programs.	Agree. All training records will be kept in the RMS system. Timeline in-progress
22	WFRS update their Probationary to First Class Promotional Process SOP to include details (steps-by-steps) regarding the process.	Staff Time	Immediate (0-1 years)	With respect to the firefighter increment promotional process, it is based on a three-year period for completion and the SOP identifies clear and concise objectives and goals for each increment. However, written details of the promotional process are lacking compared to the actual process diligently followed by the Training Division responsible for the firefighter increment process.	Administrative issue. Timeline: Anticipated completion Q4 2025

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
23	EMG recommends that WFRS develops detailed SOP for each rank on the promotional process system, including Training Officer, Captain, and District Chief promotional processes.	Staff Time	Immediate (0-1 years)	<p>With respect to the firefighter increment promotional process, it is based on a three-year period for completion and the SOP identifies clear and concise objectives and goals for each increment.</p> <p>However, written details of the promotional process are lacking compared to the actual process diligently followed by the Training Division responsible for the firefighter increment process.</p> <p>With respect to the officer promotional processes, EMG did not identify SOPs related to Training Officer, Captain, District Chief promotional processes, except for an SOP for firefighter increment process (GO 03.01- 2020). The current Human Resources promotional process SOP is lacking in detail and does not conform to the current process.</p>	<p>In Process</p> <p>The department and WPPFA are currently negotiating changes to the promotional process.</p> <p>Timeline: Anticipated completion Q4 2024</p>

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
26	A full pre-incident planning program should be implemented for vulnerable occupancies (nursing homes etc.) high-risk industrial properties, multi-unit dwellings, commercial business districts, institutional occupancies (hospitals, universities), assembly occupancies, office-type structures, international crossings, and airports.	Staff Time	Immediate (0-1 years)	To afford fire crews the ability to gain foreknowledge (intelligence) of the water supplies and features threats of individual buildings that they may be called upon to operate in.	<p>In addition to taking a tremendous amount of time to complete, the benefits of pre-incident planning are only realized if a reliable and accessible records management system is in place to store and retrieve the records.</p> <p>The department continues to transition to a single RMS system.</p> <p>Over 90% of all Fire Safety Plans are currently input into RMS.</p> <p>These plans will be available to responding personnel by Q4 2024.</p> <p>Where Fire Safety Plans do not exist and are not required for a property, pre-incident surveys and plans will be developed over the next few years.</p> <p>Timeline: 2 to 3 yrs.</p>
44	Windsor update their emergency management training plan to ensure that existing and new staff are current with their required training as per their position within the plan.	Staff Time	Immediate (0-1 years)	Keeping this plan up to date is a requirement under the Act.	<p>The Emergency Response Plan is kept up to date. Annual compliance with EMCPA, including mandatory training for the Municipal Emergency Control Group, is met annually.</p> <p>Timeline: Complete</p>
27	The Department should establish annual training focusing on airport operations (including radio procedures), pre-incident planning, aircraft recognition and hazards, and aircraft rescue and firefighting operations for its crews.	Staff Time	Immediate to Short-Term (0 – 3 years)	Preparedness and safety issues for firefighters (who need to be intimately familiar with the risks and safety precautions to take).	<p>Aircraft firefighting is distinct from municipal firefighting.</p> <p>Annual exercises and pre-planning to continue in 2025.</p> <p>Revised SOP to be developed.</p> <p>Timeline: Q4 2026</p>

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
28	The Department should review its emergency response protocols for tunnel and bridge operations in concert with allied agencies on both sides of the border with a view to strengthening relationships and updating procedures respecting rescue, crash, firefighting, derailment, hazardous material, and terrorism/border security response tactics and procedures.	Staff Time	Immediate to Short-Term (0 – 3 years)	Preparedness and safety issues for firefighters (who need to be intimately familiar with the risks and safety precautions to take).	Exercises with the Tunnel occur annually. Response SOP to be updated. Completion date – 2025 – 2026 The new response protocol for the Gordie Howe International Bridge will be completed by 2026. Discussions with the Constructor and operator of the new bridge are ongoing. Timeline: In progress. Anticipated completion Q4 2026
29	The Department should undertake a comprehensive analysis of medical responses in respect of response times relative to EWEMS arrival, patient outcomes where WRES initiates life-saving measures, and other potential efficiencies that may be derived from such an analysis.	Staff Time	Immediate to Short-Term (0 – 3 years)	To establish and validate the business case for continuing involvement in this program and to assess the effectiveness of Departmental intervention efforts.	
30	The Department should explore the notion of program cost-recovery (training, consumables, response) from the County for providing first- response medical services as a means of securing at least partial program cost recovery.	Staff Time	Immediate to Short-Term (0 – 3 years)	Reduce the impact of operational costs by identifying a revenue source.	WFRS receives funding from Essex County for involvement in the Medical Tiered Response program. Funding increased in 2024 by 50%. The department will continue to monitor the cost of medical responses and negotiate funding levels accordingly. Timeline: Complete

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
31	<p>The Department should establish the necessary budget and training programs to implement the rescue disciplines of Confined Space Rescue, High Angle (Rope) Rescue, and Trench Rescue OR These services be deleted from the Establishing and Regulating By-law.</p>	Staff Time	Immediate to Short-Term (0 – 3 years)	The current Council policy (as expressed in the E&R Bylaw) is that the department is to carry out these functions, however, it is neither equipped nor trained to do so, thus presenting liability on several fronts.	<p>The department will seek amendments to the by- laws that reflect the current service levels. Timeline – in progress</p>
32	The Establishing and Regulating By-law should be updated to provide for the provision of Urban Search and Rescue (USAR) services as a Council-approved activity	Staff time only – but cost could be incurred if approved by Council .	Immediate to Short-Term (0 – 3 years)	To bring the By-law into concurrence with current departmental practices.	<p>The department will seek amendments to the by-laws that reflect the current service levels. Timeline – in progress</p>
34	The Post Incident Analysis Report (PIAR) process and SOP should be refreshed to reflect current practices and formal PIARs be conducted for incidents that meet a predetermined threshold. In addition, it's recommended that each PIAR be documented thoroughly and that an annual summary of all PIARS occurring in a calendar year be prepared with all operational staff, and the training division so that lessons learned can be incorporated into future training sessions.	Staff Time	Immediate to Short-Term (0 – 3 years)	To allow for broader organizational learning opportunities.	Timeline: Complete

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
35	The Department should undertake a review of the firefighting foam and other products used by the city to ensure that the products used are fluorinated chemical free and that they represent the best solution for current and future needs.	Staff Time	Immediate to Short-Term (0 – 3 years)	Firefighter safety and environmental protection.	<p>Fluorinated foam or firefighting foam containing PFAS may pose a health hazard to responders, the public and the environment. WFRS has used PFAS-free Class A (ordinary combustibles) for several years. Notwithstanding the previous, the department is transitioning entirely from Class A foam for cost and environmental reasons.</p> <p>Class B (Flammable liquids and gases) foam is still required. The movement to newer, more environmentally favourable products depends on product availability. WFRS will continue to research the availability of newer PFAS-free products.</p> <p>Timeline- In Progress</p>
36	A staff-driven team should be established with a broad mandate for the review and analysis of newer technologies available in the Canadian marketplace for potential applications locally and in addition to the cache of equipment.	Staff Time	Immediate to Short-Term (0 – 3 years)	To facilitate the introduction of new technologies intended to increase efficiency and safety.	Timeline- 0 to 3 yrs.
1	The Fire Administration brings forth a revised version of the E&R Bylaw for the Council's approval and ensures its annual review and updates.	Staff Time	Short-Term (1-3 years)	Maintaining an up-to-date E&R By-law will guide the WFRS' operations and identify response guidelines, fire prevention, and public education programs and levels of training.	Timeline- Immediate
2	The Fire Administration reviews By-laws that affect the daily operations of the fire department.	Staff Time	Short-Term (1-3 years)	Having current By-laws will reflect changing the circumstances of the City and meet Federal or Provincial Acts and Regulations.	Timeline - Immediate

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
3	Establish an SOP Committee representing all divisions of the WFRS that develops new SOPs and reviews current ones regularly.	Most costs will be about time spent by committee members.	Short-Term (1-3 years)	Establishing an SOP committee will aid in maintaining the information in the database to be current while allowing the participation of WFRS members to determine the fire department's operations.	Budget item: Due to increased costs associated with staff overtime participating in committees. Timeline 0 to 3 yrs.
5	The City of Windsor's Building Department and WFRS should promote the advantages of installing residential sprinklers, which include saving lives and property.	Staff Time	Short-Term (1-3 years)	Historically no persons have died in residential fires where residential sprinklers were installed and activated during a fire, and sprinklers may reduce the risk to homeowners.	Increased use of residential sprinklers will reduce fire-related injuries and dollar loss and decrease firefighter exposure to the products of combustion and mental trauma. Furthermore, when a fire occurs in a sprinklered area, the amount of damage is less, thus reducing the time required to repair and re-occupy the space. The OBC requires sprinklers in only some occupancy types but not all residential buildings. The City cannot establish any requirement beyond the OBC but could establish an incentive program. Investigating this initiative is recommended. Timeline: 2 to 4 yrs.
7	EMG recommends that WFRS re-evaluate the need for an additional Public and Life Safety Educator position within the Fire Prevention Division.	Costs associated with one FTE	Short-Term (1-3 years)	WFRS had two PFLSEs in the past. Previously, there may have been appropriate reasons to eliminate the position. However, given the renewed emphasis and demonstrated benefits of the first line of defense, re-instating the position within WFRS Fire Prevention would have added value to the WFRS and the City of Windsor.	There is an immediate need to increase the level of public education. Timeline: 1 to 3 yrs.
8	WFRS Public Education Program be reviewed annually to help identify any areas for improvements.	Staff Time	Short-Term (1-3 years)	WFRS Public Education Program be reviewed annually to help identify any areas for improvements.	Timeline: 1 to 3 yrs.

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
13	Increase the WFRS Training Division staffing be increased by one Training Officer to meet anticipated growth and demands for training because of the Ontario Regulation 343/22 and introduction of an EV Battery plant within the municipality.	One Full-time Training Officer at a cost between \$111,250 and \$114,700	Short-Term (1-3 years)	Compounding factors contributing to inadequate staffing levels for the Training Division are the Ontario Regulation 343/22: Firefighter Certification, made under the Fire Protection and Prevention Act, 1997 and the building of an EV battery plant (Stellantis). These compounding factors are accruing workload to the Training Division and necessitate consideration for the increase staffing to the Training Division by one Training Officer.	Budget item. Training requirements for the fire service continue to increase annually. Timeline: 1 to 3 yrs.
15	EMG recommends a study to evaluate the benefit of relocating the Training Division as part of future expansion of the WFRS fire stations in view of including training facilities that would support revenue generation beneficial to sustain and support the WFRS training programs.	Study can be conducted in- house at limited costs. External consultant for such a study may cost upward of \$50,000	Short-Term (1-3 years)	The current training facility is aging and has limited capacity to train to the current levels of service. Considering the Ontario Regulation 343/22 and the expansion of testing and certification to all level of service provided by WFRS, it would be beneficial to evaluate current capacity of the Training Division facility vis-à-vis relocating to a new facility that would account for the required expansion of the Training Division to meet growing needs.	Timeline: 1 to 3 yrs.

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
16	All technical rescue training should be monitored through the WFRS Training Division in adherence to the NFPA 1006: Standard for Technical Rescue Personnel Professional Qualifications and in accordance with Ontario Regulation 343/22: Firefighter Certification. EMG also recommends that the WFRS aligns its technical operations and training to NFPA 2500: Standard for Operations and Training for Technical Search and Rescue Incidents and Life Safety Rope and Equipment for Emergency Services.	Staff time and possible cost associated with an updating of records management programs.	Short-Term (1 – 3 years) To align with O.Reg. 343/22 deadline of 1st of July 2026	With the adoption of Ontario Regulation 343/22: Firefighter Certification, made under the FPPA, 1997, as of July 1st, 2026, all fire departments will have to meet the certification requirements addressed in the regulation. The NFPA 2500 Standard is primarily used by emergency response agencies to guide their technical rescue training, equipment, and operations	Timeline: Complete
20	WFRS dedicated fire investigators be concurrently certified to NFPA 1033 and NFPA 921. In addition, EMG suggests that fire investigation operations and training adhere to NFPA 1231: Standard for Fire Investigation Units and that the WFRS Training Division be responsible for monitoring, record keeping, testing, and certification to the said NFPA standards	Staff time and costs for attending the NFPA courses	Short-Term (1 – 3 years) To align with O.Reg. 343/22 deadline of 1st of July 2026	NFPA 921 and NFPA 1321 documents complement NFPA 1033. Adherence to all three standards will assure best practices in training, equipment, and operations pertaining to fire investigation functions. training resource capacity of the WFRS	O.Reg. 343/22 requires NFPA 1033 certification. The department intends to ensure all staff members meet the legislative requirements (NFPA 1033) and then pursue certification to additional NFPA standards. Timeline: in progress and continuing.
33	The Department should re-establish a Marine Unit with a properly sized vessel that affords the ability to provide fire attack/control, rescue, and spill mitigation along the City's waterfront.	If approved, there would be costs associated with the level of equipment and training required.	Short-Term (1 – 3 years)	To establish a more complete fire rescue response and environmental protection capability to safeguard the recreational and commercial boating community and protect the waterfront.	This recommendation requires increases to the department's capital and operating budgets. Timeline: 5 to 10 years

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
37	A permanent staff position should be created with a responsibility to develop and monitor quality assurance and related practices that will keep Windsor Fire and Emergency Services at the forefront of the delivery of fire protection services across the spectrum of services that meet the needs of the ratepayers of the City of Windsor.	Approximate cost of new position \$50,000 to \$70,000.	Short-Term (1 – 3 years)	A proactive measure that will allow for data monitoring and QA practice implementation at a greater rate/degree than is currently being conducted.	In 2024, the Department added an Assistant Deputy Chief Position responsible for Quality Assurance. Timeline: Complete
39	Train and certify the Windsor Fire Communicators to the OFM requirements.	Staff time and cost of training course.	Short-Term (1 – 3 years)	Staff time, which could incur overtime for course attendance off site.	O.Reg. 343/22 requires Emergency Communicator to be Certified to NFPA 1061 by July 01, 2026. The current training provided to all Emergency Communicators meets or exceeds NFPA 1061. Testing to commence after the division completed the transition to NG-911, including the move to the WPS building. Timeline: Q2 2026
45	Windsor develop and/or review essential Continuity of Operations Plans/Business Continuity Plans for the internal operations of the municipal administration.	Staff Time	Short-Term (1-3 years)	Review and updating of such a plan is a key resource for the City.	The department has a BCP for interruption of operations associated with the physical loss of equipment and loss of personnel due to pandemic, endemic, etc. The department is currently working with Corporate IT to develop a BCP to deal with the loss of technology. Timeline: 1 to 2 yrs.

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
46	EMG recommends that all Automatic Aid, Mutual Aid and Fire Protection/Service Agreements be reviewed annually and revised if necessary. All parties involved should pay particular attention to adherence, and regularly defined review periods and or expiry dates identified. Also, a page listing the dates of review and areas revised should be an addendum to any of the revised agreements and associated By-laws.	Staff Time	Short-Term (1-3 years)	Having a current By-law and agreements in place better reflect enhanced service levels in providing fire protection services.	<p>The Essex County Mutual Aid Plan is reviewed annually.</p> <p>Other protection agreements are reviewed and updated as needed.</p> <p>The department intends to undertake work to consolidate all agreements with their associated revision period in a single database.</p> <p>The by-law will be updated as required.</p> <p>Timeline: 1 to 2 yrs.</p>
47	That all joint training opportunities be engaged in wherever possible.	Staff Time	Short-Term (1-3 years)	If a technical rescue call requires additional resources from outside the WFRS, a plan will already be in place ahead of time. It reduces the response time of these agencies if agreements are in place in advance, as pre-response approvals will not be required.	<p>The department trains annually with its provincial counterparts in Haz Mat CBRN-E and USAR.</p> <p>The department also trains annually with each municipal fire department in Essex County for Hazardous Materials incidents. Since writing this plan, the department has trained with WPS and Essex Windsor EMS for active attacker emergencies.</p> <p>If the department expands its technical rescue capabilities future training opportunities will be explored.</p> <p>Timeline: in-progress and continuing</p>
48	The Fire Chief annually review the building infrastructure replacement plan to ensure it meets municipal growth patterns and the current fire department locations remain relevant to community needs and emergency response	Staff time initially. Cost depending on needs.	Short-Term (1-3 years) ongoing	Review recommended to ensure services are meeting the needs of the department and community.	<p>Timeline for analysis: 1 to 3 yrs. and ongoing.</p>

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
49	The Fire Chief annually review the fleet replacement schedule to update projected costs and currency.	Staff time initially. Cost depending on needs.	Short-Term (1-3 years) ongoing	Review recommended to ensure services are meeting the needs of the department response capabilities.	Timeline; inprogress and ongoing.
38	Consideration should be given to adding four Platoon Chief positions to the organizational structure of the department.	Approximate cost of a Platoon Chief would be \$130,000, plus benefits	Short to Mid-Term (1-6 years)	As the population of the city increases and annual call volumes exceed 10,000 incidents, the Platoon Chief (one per shift) will allow for greater operational oversight while reducing the administrative workload on the District Chiefs. This position will increase command presence on the fireground, potentially reducing the span of control issues and increasing the efficiency of the Command Team.	The department agrees that adding four platoon chief positions would be very beneficial. The addition of FTEs is a budget item that will be brought forth for council consideration in future budget processes. Timeline: 1 to 6 yrs.
40	Station #1/HQ is running out of space and will no longer be able to effectively house all the department's vehicles, equipment, and staff quarters. As such, there is a real need for either a full upgrade/expansion of the present facility, or the building of a new fire station. Fire prevention and communications are to be part on the new facility.	For a facility the size of HQ, the cost would be approx. \$10 to \$20 million dollars or more depending on size and timing of project.	Short to Mid-Term (1 – 6 years)	An upgrading of the present facility would in most cases be a short-term fix and will most likely fail to meet the demands of the department. The cost of such upgrades could cost almost as much as the cost of a new headquarters. The building of a new headquarters should consider future growth expectations, along with incorporating new technologies to make the facility both energy efficient and safer for staff.	Several consolidation options exist that could bring one or more of the department's divisions under one roof. A location to replace Station 1 has been secured. The next step is to determine whether this location would serve as the new location for the administration divisions and Fire Prevention or whether these divisions would be moved to another location. Timeline: 3 to 10 yrs.
41	Station #4 should be relocated because of the construction of a new Canada Customs truck inspection plaza at the foot of the Ambassador Bridge.	Stations – approx. \$4 to \$6 million each.	Short to Mid-Term (1 – 6 years)	Station 4 is the oldest fire station. Relocation and a new building would be opportunistic, given the construction of the new Customs Plaza's impact on the current location of Fire Station #4	Project underway. Timeline: 2 to 3 yrs.

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
42	To plan for the new fire station in District 7 or District 6 over the long term, the Fire Chief should work with the Planning Department to verify where the growth will occur and in what timeline.	Stations – approx. \$4 to \$6 million each. Fire trucks – approx. \$800,000 to \$1,000,000 each. Plus 20 staff for each new station.	Short to Mid-Term (1 – 6 years)	By doing this, a growth-based plan can be developed in relation to the station builds. This new construction and staff hiring for the new fire stations is a long-range plan that will most likely take place over the next ten years (or perhaps longer, depending on the City's growth).	As development continues to accelerate in those areas, an additional station will be required to service the lands in the south and east end of the city. Opportunities exist to consolidate a new station by relocating the training division, apparatus division, and possibly other divisions. Getting this project moving will require additional capital funds. The department will provide the council with proposals for consideration in future budget processes. Timeline: 1 to 10 yrs.
24	Twenty new firefighting positions should be hired in the short term, and twenty additional firefighters be hired in the medium term to address the current and future community risks that exist. One of these crews should be assigned to Station 7 in the City's east end; the other to Station 4.	Firefighter would initially start at 4th class, which is approximately \$70,000 plus benefits. (Costing for one full-time first-class firefighters is approximately \$105,000, plus benefits).	Short to Long-Term (1 – 10 years)	This will supplement existing staffing levels allowing greater depth of response and a greater ability to rotate firefighters into rehab at major incidents; provides for greater firefighter safety and potential for injury prevention, thus reducing WSIB and overtime costs.	Additional staff will be required to meet future needs. The department prioritizes all staff additions. An analysis and recommendations will be brought to the council for their consideration in future budget processes. Timeline: 2 to 10 years.

Rec #	Recommendation	Estimated Cost	Suggested Timeline for Implementation	Rationale	Department Response
43	<p>The maintenance facility is outgrowing the demands of the Department. As such, a new maintenance facility should be built in the long term to meet future demands.</p> <p>This new maintenance facility could also be factored into the construction of the new headquarters.</p>	<p>Cost of a new facility or part of the new HQ could range from approx. \$1 million as part of HQ, to \$5 to \$10 million (or more) as a stand-alone facility.</p>	<p>Mid to Long-Term (4 – 10 years)</p>	<p>The idea of a new HQ that would bring Training, Fire Prevention and Fleet Maintenance into one building would reduce the overall cost of building two separate facilities.</p>	<p>The current facility lacks sufficient space, particularly an additional bay with an inground hoist capable of lifting aerial apparatus.</p> <p>Several consolidation options exist that could bring one or more of the department's divisions under one roof.</p> <p>One option would be to collocate the Apparatus divisions with a new station in the City's south and east area. See recommendation #42.</p> <p>Timeline 1 to 10 yrs.</p>
25	<p>An update of the human resources element of this Fire Master Plan should be conducted in 2030 to evaluate the need to hire an additional 20 firefighters based on community growth and risk as they will have developed to that point in time.</p>	<p>Firefighter would initially start at 4th class, which is approximately \$70,000 plus benefits. (Costing for one full-time first-class firefighters is approximately \$105,000, plus benefits).</p>	<p>Long-Term (10 years)</p>	<p>To assess the impact of community growth on response times, response depth, WSIB, and overtime costs that develop over the medium to longer term.</p>	<p>A review of the Master Plan and analysis of its progress is necessary</p> <p>Timeline: 10 yrs.</p>



Subject: Update to Windsor/Essex Region Stormwater Manual & Response to CR195/2022 Flood Risk Monitoring and Mitigation Measures and Programs - City Wide

Moved by: Councillor Kieran McKenzie
Seconded by: Councillor Gary Kaschak

Decision Number: **ETPS 1026**

- I. THAT the report of the Water & Wastewater Engineer dated September 5, 2024 entitled "Update to Windsor/Essex Region Stormwater Manual & Response to CR195/2022 Flood Risk Monitoring and Mitigation Measures and Programs - City Wide" **BE RECEIVED** for information; and,
- II. THAT the Windsor/Essex Region Stormwater Manual update (v2, Amendment No. 1, dated: June 12, 2024) **BE RECEIVED**; and,
- III. THAT City Council **ADOPT** the Manual as part of the standards for the design and review of stormwater infrastructure within the City.
Carried.

Report Number: S 114/2024
Clerk's File: SW2024 & SW/13822

Clerk's Note:

1. The recommendation of the Environment, Transportation & Public Safety Standing Committee and Administration are the same.
2. Please refer to Item 8.2 from the Environment, Transportation & Public Safety Standing Committee held on September 25, 2024
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241001-1/10509>

Subject: Update to Windsor/Essex Region Stormwater Manual & Response to CR195/2022 Flood Risk Monitoring and Mitigation Measures and Programs - City Wide

Reference:

Date to Council: September 25, 2024

Author: Ian Wilson

Water & Wastewater Engineer

(519) 255-6100 Ext. 6369

iwilson@citywindsor.ca

Development – Engineering

Report Date: September 5, 2024

Clerk's File #: SW2024 & SW/13822

To: Mayor and Members of City Council

Recommendation:

- I. THAT City Council **RECEIVE** the Windsor/Essex Region Stormwater Manual update (v2, Amendment No. 1, dated: June 12, 2024) and **ADOPT** the Manual as part of the standards for the design and review of stormwater infrastructure within the City; and,
- II. THAT City Council **RECEIVE** the response to CR 195/2022 for information.

Executive Summary:

N/A

Background:

On April 1, 2019, report C 35/2019 introduced the first publication of the Windsor/Essex Region Stormwater Manual (WERSM), version 1 to Council. The WERSM was prepared as a collaborative effort with nine municipal partners, including the City of Windsor, and led by the Essex Region Conservation Authority (ERCA) to standardize stormwater management best practices within the region (previously endorsed by Council per B 29/2019). The WERSM was to be reviewed and updated on a regular basis with technological advancements and engineering best practices. In June 2024, an updated Manual, version 2, was released.

At the July 5, 2021 meeting of City Council, Councillor Gill asked the following question, CQ 13-2021:

“Whereas in Ward 7 this is the third time that the same basements have been flooded spanning from 2008, 2016, 2017 and even last week in June 2021 from the inadequate storm water management. This is unacceptable for residents of this area as many of the damages are not covered by insurance and residents are left to pay out of pocket on many separate occasions; and whereas,

In 2017, there was a resident meeting with administration to discuss the flooding issues. I would like to ask administration what the findings were from the 2018 meeting and what measures were put in place to resolve this issue; and,

I would like to ask administration what the findings from their studies on the recent flooding issues in June 2021 were and what measures they will now be taking to rectify this problem. I request that administration report back to council in detail with viable action solutions, as soon as possible to mitigate the situation that is getting worse for many residents in Ward 7.

I urge that we put a pause on other developments until we have remedied these urgent problems and set up a system to prevent future flooding.”

A response Council Report (C 1/2022) was provided for the above question as part of the May 9, 2022 Agenda package. Following the Report C 1/2022, Council Resolution CR 195/2022 directed administration as outlined below.

*That the report of the Engineer II dated January 5, 2022 entitled “Response to CQ 13-2021 – Basement Flood Risk Reduction Update – Ward 7” **BE RECEIVED** for information; and further,*

*That administration **BE DIRECTED** to report back to Council on what effective monitoring program can be put in place to give early warning in order to mitigate future flooding events and make proper adjustments to the system as needed.*

Discussion:

Update to Windsor/Essex Region Stormwater Manual (WERSM):

In February 2023 at the Windsor-Essex Regional Engineers and Planners Meeting, the value of updating the WERSM was identified including incorporating lessons learned from the manual’s first years of implementation. ERCA, coordinating the WERSM update, retained Landmark Engineers Inc. (Landmark), as Landmark employs the original WERSM’s lead author. A scope of work proposal was circulated for review to municipal partners, including City of Windsor administration, prior to project initiation.

A finalized version of the updated WERSM was completed in June 2024 and a link is provided below. Key elements of this revision include clarification on the intent of the manual, providing consistent guidance to practitioners, while encouraging purposeful deviations using engineering judgement. A revision summary table is provided in the addendum cover pages of the updated manual.

https://www.essexregionconservation.ca/files/ugd/24e1b4_578198d4bf7441248100c019c612df5c.pdf

The ERCA Board of Directors adopted the updated WERSM into policy for reviewing development applications and the other municipal partners are also anticipated to adopt the updated manual.

Adopting the updated WERSM will position the City to better address stormwater management as development increases throughout the City. The updated manual encourages, where appropriate, flexibility in designs with engineering judgement.

Response to CR195/2022 Flood Risk Monitoring and Mitigation Measures and Programs:

Provincial, Federal and local (City of Windsor) flood risk notification programs are all currently available to residents. Further, residents are encouraged to take advantage of existing notification and warning systems to better help prepare their homes and properties.

A technical memo has been attached as Appendix A, which provides a detailed response to CQ 13/2021 and the follow-up questions from CR 195/2022. The memo summarizes existing flood monitoring and notifications systems, programs available to residents aimed at reducing flood risk, and projects the City has undertaken to reduce flooding risk associated with sewer surcharge, overland flow, and coastal high-water levels.

In addition, the Sewer and Coastal Flood Protection Master Plan (SMP) was adopted in 2020 which recommends approximately \$5B of short and long term solutions which serve to reduce the impact and risk of flooding. Administration has provided annual progress updates on the SMP to Council. The most recent update report provides figures and details of the 30+ projects being tracked under this file all with the objective to reduce flooding risks. A link to the Council Report (C 17/2024) summarizing the SMP implementation update and project tracking is provided below (see item No. 7.5).

<https://www.citywindsor.ca/Documents/city-hall/City-Council-Meetings/Council%202024/03-18-2024/March%2018,%202024%20-%20City%20Council%20-%20Agenda%20-%20Item%20Numbers%20and%20Page%20Numbers.pdf>

Risk Analysis:

The adoption of the updated WERSM will further reduce risks associated with flooding by adopting current standards and lessons learned that are focused on regional challenges and opportunities.

There are no significant or critical risks associated with the information provided to Council for information (per Directive CR 195/2022). The information provided in the memo outlines a variety of mitigation measures which seek to address contributing factors to flooding and provides an update on initiatives, programs and projects.

Climate Change Risks

Climate Change Mitigation:

The recommendations related to this Council Report do not facilitate Climate Change Mitigation in a material way.

Climate Change Adaptation:

The recommendations to adopt the updated WERSM will support efforts for climate change adaptation, specifically flooding risks. The updated WERSM continues to include a climate change “stress test” which will allow Administration to identify flooding risks that may result in unacceptable consequences and assist proponents to provide mitigating measures.

Financial Matters:

The City, as one of nine municipal partners, equally shared the total WERSM update project costs of \$65,686.18, as outlined in the table below.

Component	Total Project Cost	Windsor’s Contribution
Landmark Engineers Inc.	\$59,931.39	\$6,659.04
ERCA Project Management	\$4,700.00	\$522.22
Non-recoverable HST (1.76%)	\$1,054.79	\$117.20
Total	\$65,686.18	\$7,298.46

Windsor’s contribution to the WERSM update is \$7,298.46, which will be funded through the SMP Implementation account 7199004. The Financial Planning Administrator in Engineering confirms that there are sufficient funds available in project 7199004 to cover the City’s portion of the costs described. It should be noted that any future costs to accommodate additional updates of the standards manual will be included in future capital budget requests for individual projects.

Consultations:

- Kathy Buis – Financial Planning Administrator
- Karina Richters – Supervisor of Environmental Sustainability and Climate Change
- Emily Bertram – Emergency Planning Officer
- Jason Moore – Senior Manager Communications & Customer Service
- Ed Valdez – Manager Process Engineering & Maintenance

Jake Renaud – Executive Director, Pollution Control/Deputy City Engineer

Conclusion:

The adoption of the update to the Windsor Essex Region Stormwater Manual (WERSM) will position the City to better address stormwater management as development increases throughout the City.

The information is provided in response to directive CR 195/2022.

Planning Act Matters:

N/A

Approvals:

Name	Title
Mark Spizzirri	Manager, Performance Measurement & Business Case Development
Patrick Winters	Manager, Development
Stacey McGuire	Executive Director, Engineering / Deputy City Engineer
David Simpson	Commissioner, Infrastructure Services
Dan Seguin	On behalf of Commissioner, Finance & City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- 1 Appendix A - Technical Memo - Flood Monitoring and Notification Programs: Improvements and System Adjustments Mitigating Impacts of Flooding

DATE: July 19, 2024
REVISED: N/A
TO: File
FROM: Ian Wilson, P. Eng., M. A. Sc.
SUBJECT: Flood Monitoring and Notification Programs: Improvements and System Adjustments Mitigating Impacts of Flooding

1.0 Introduction

This technical memo was drafted to respond to CQ 13/2021 and the follow-up questions from CR 195/2022. The memo summarizes existing flood monitoring and notifications systems, programs available to residents aimed at reducing flood risk, and projects the City has undertaken to reduce flooding risk associated with sewer surcharge, overland flow, and coastal highwater levels. This memo identifies how active systems would normally adjust during heavy rainfall events to mitigate flooding impacts.

2.0 Existing Notification Programs

In Ontario, flood forecasting is the responsibility of the Ministry of Natural Resources and Forestry (MNRF) and Conservation Authorities. Federally, Environment and Climate Change Canada also provides warnings for severe weather events including warnings for potential flooding.

The City of Windsor acts to amplify and support the notifications and alerts of potential emergencies (including flooding) that are provided by official agencies such as Windsor Fire and Rescue, the Windsor Port Authority, and Environment and Climate Change Canada.

During an emergency, the City of Windsor works with traditional news agencies to ensure notifications, updates and warnings are **broadcast** to residents. News releases and news conferences are two tools used to convey information via traditional media and each also triggers social media messages through the City of Windsor's social media accounts. Residents are encouraged to visit citywindsor.ca and follow city social media accounts.

Windsor Fire and Rescue operates a notification system called Windsor Alerts. This is a voluntary system that residents can opt-in to, to receive timely text and email notifications on emergencies. Residents or individuals interested in receiving messages during an emergency in Windsor are encouraged to sign up for Windsor Alerts at www.WindsorAlerts.ca.

Below is a summary of flood risk notification and warning programs. Residents are encouraged to take advantage of existing notification and warning systems to better help prepare their homes and properties. Further, and summarized in section 3.0, numerous tools and programs are provided to help make homes more flood resilient.

2.1 Provincial Notification Programs

Since the 1954 Hurricane Hazel event, flood forecasting has been the responsibility of the Ministry of Natural Resources and Forestry and the individual Conservation Authorities. Within the City's boundaries, the Essex Region Conservation Authority (ERCA) provides these services.

ERCA, like other Conservation Authorities, assists those within their region with flood risk management. ERCA monitors stream flow, lake and river water levels, and ice conditions within our watershed. They assess soil saturation levels and provide flood warnings to local municipalities and agencies when necessary, including assessing weather information at both the local and international levels to allow timely alerts to be issued. ERCA provides services at all stages of flood risk management including:

- **Mitigation & Prevention** – ERCA works to help limit and reduce exposure to risk by implementing ERCA's regulation and policies.
- **Preparedness** – ERCA's flood advisory plan and public education campaigns help prepare residents for flood events.
- **Recovery** – ERCA participates in flood event documentation and analysis and helps provide lessons-learned guidance to municipalities and the public.
- **Before a potential flood event** ERCA issues Flood Forecasts and Flood Warnings, communicates and advises on proper steps before and during an event, and maintains data records to assist in these efforts.

2.2 Federal Notification Programs

Federally, weather emergency warnings, including flood notifications are provided by Environment and Climate Change Canada. Environment and Climate Change Canada issues public weather alerts including warnings, watches and statements for extreme weather events. These alerts notify those in affected areas so that they can take steps to protect themselves and their property from harm. The type of alert used depends on the severity and timing of the event and are summarized as follows.

- **Special Weather Statements** are the least urgent type of alert and are issued to let people know that conditions are unusual and could cause concern.
- **Advisories** are issued for specific weather events (like blowing snow, fog, freezing drizzle and frost) that are less severe, but could still significantly impact Canadians.
- **Watches** alert you about weather conditions that are favorable for a storm or severe weather, which could cause safety concerns.
- As certainty increases about the path and strength of a storm system, a watch may be upgraded to a **Warning**, which is an urgent message that severe weather is either occurring or will occur. Warnings are usually issued six to 24 hours in advance, although some severe weather (such as thunderstorms and tornadoes) can occur rapidly, with less than a half hour's notice.

Environment Canada’s notifications are also provided to residents via traditional media outlets (television, radio, etc.) and/or through a wireless public alerting (WPA) via a compatible device like a smartphone. A distinctive tone is included with WPA messages, which advises of warnings and actions that may be required. “Alert Ready” is the national public alerting system that distributes WPAs.

2.3 Windsor Alerts - Notification System

The Windsor Alerts service is an optional and opt-in program for the community, which provides local (City Level) notifications with updates, warnings and instructions before and during a major crisis, emergency or severe weather event. Notifications are provided by City Emergency Officials and are forwarded to a user’s device(s) of choice (text, cellphone, email and landline).

In an emergency, Windsor Alerts subscribers will be sent information by the City, to inform residents of the situation and give instructions on how to react. Residents should then promptly follow instructions and continue to keep devices near them in the event that subsequent information is disseminated.

Windsor Alerts subscribers will be updated via electronic channels and further are recommended to monitor news outlets as well as the City of Windsor’s website, Twitter and/or Facebook pages. Account holders receive tornado warnings and other critical emergency notifications.

Windsor Alerts is similar to the WPA that Environment and Climate Change Canada would use for extreme weather notifications. WPA is a public safety technology that allows public safety agencies to send critical notifications relating to dangerous weather, missing children or other dangerous situations. The WPA system is only used when absolutely necessary. A key difference is that Windsor Alerts is a voluntary, opt-in program specific to the City, whereas WPA is a technology that is embedded in all modern cell phones. Further, a major component of the Windsor Alerts system is the ability to deliver more targeted notifications during location specific emergencies such as gas leaks, hazardous materials events and flash floods.

2.4 Other Municipalities – Notification Programs

A limited comparison of flood risk emergency notification programs in other Ontario and Canadian municipalities was undertaken. This comparison review was completed in the first quarter of 2024 which considered programs and materials posted on the associated municipality’s website. The municipalities investigated within Ontario include the City of London, City of Hamilton, City of Toronto, City of Ottawa, and the City of Guelph. Municipalities reviewed outside of Ontario include the City of Calgary, City of Edmonton, and the City of Winnipeg.

Only 2 of the 5 Ontario municipalities managed or implemented flood warning or notification programs. The City of London and City of Guelph implement the *Alert London Notification System* and the *Alert Guelph* system which in the event of an emergency provides critical public safety messages. These systems are designed to reach residents during a major crisis such as a large-scale flood, where the City officials will send warnings and instructions directly through text or call. These programs include more types of emergencies than just flood warnings. The City of London’s and the City of Guelph’s Alert systems function similar to Windsor’s existing

Windsor Alerts. All 5 Ontario municipalities had emergency preparedness education materials posted on their website with similar content as the City of Windsor. Some of the Ontario municipalities had warning notifications for other similar, but non-flooding risks, including extreme hot and cold weather warnings.

Residents in the City of Calgary and the City of Edmonton can receive emergency warnings from Federal wireless alert (WPA) and provincial Alberta Emergency Alerts system. These systems provide numerous types of emergency notices including flood risk warnings.

The City of Winnipeg provides various flood risk education materials and bulletins on their website. The Province of Manitoba issues river flood risk predictions.

All seven of the other municipalities in Essex County provide a similar service to the Windsor Alerts system to their residents.

2.5 AI and Other Predictive Tools

With advances in artificial intelligence (AI) administration reviews potential tools, from time to time, that may predict future flood risk conditions. Real time controls (RTC) allow for adjustments of the system such as gates being lowered, or pumps being turned on. RTCs are currently used with the City's active sewage systems for example a stormwater pump would be off during a dry period and turn on during a rain event as the water level increases. Coupling RTC and AI may in the future improve system response; however, given Windsor's unique characteristics having flat topography and relatively small drainage areas, basement flooding risks are often associated with the immediate rain event and predictions of risk may be equally tied to accurate weather predictions.

One predictive AI tool is the Google Flood hub, link below. This tool includes estimates of flows within the Detroit River. As tools continue to advance, they will continue to be investigated and reviewed for application in Windsor.

<https://sites.research.google/floods/>

2.6 Private Services Available to Residents – Notification Programs

Multiple private services are available to residents for extreme weather and flood notifications. A partial list of these programs and services are outlined below. The listing of these private programs does not signify an endorsement from the City.

- Weather Underground
- AccuWeather
- Weather Network

3.0 Existing Drainage System Response

This section summarizes how the existing drainage system responds to flooding events including both the public (City) owned infrastructure drainage system and privately owned drainage infrastructure systems. In Windsor, like most municipalities, it is estimated that half or more of the total length of pipes servicing the drainage system are on private property. Modern and complete flood risk reduction programs need to be developed based on that fact.

3.1 Existing Public Infrastructure – Drainage System Response

The City's drainage systems are a complex network of underground sewers, pumping stations, control structures, roads providing overland flow and storage of rainwater, stormwater management facilities (ponds, underground storage, etc.), and open ditches and swales. **The majority of the City's sewage infrastructure is designed as a passive system with gravity being the driving force causing the water to flow through the system.** These passive systems do not have electrical or mechanical elements (i.e. pumps and controls) and as such cannot be adjusted or modified for storm events. The passive elements include storm, sanitary and combined sewers (nearly 1,800 km), roadside ditches and open drains (nearly 400 km), roadways (nearly 1,100 km), stormwater ponds (nearly 30) and over 22,000 catchbasins.

Beyond the many passive elements in the City's drainage system, there are fewer but key components of the sewage infrastructure that would be considered active with electrical and/or mechanical systems contributing to the operation. These active systems would include pumping stations (over 45), gates and other control structures. Treatment of sewage at the City's wastewater treatment plants would also be an active system.

Council Report C 5/2017 provided a debrief report following the major flooding event in August 2016, the below is an excerpt from that report, which summarizes steps taken under that extreme rainfall event.

During the storm, significant increases in flow rates to storm and sanitary pumping stations occurred in the impacted area. All stations responded appropriately, and additional pumps activated as required, in response to the increased flows. Additional staff came in during the initial hours of the rainfall event and continuously throughout the following days of the resulting increased flows to address any operational issues.

The actions noted above would be typical for major storm events impacting the City's drainage and sewer systems. Pumping stations are generally controlled by automatic operation, which turn pumps on and off following increases or decreases in water level. Most pumping stations within the City can be monitored with real time telemetry.

Many stormwater management ponds and facilities in the City are dewatered by pumping stations. Under normal design conditions, where pumping stations are draining these systems, it may take several days (approximately 2

to 4 days) following the larger rainfall events to fully empty the runoff volume. This is a normal design condition which supports the function of the facility to provide stormwater runoff quantity and quality control. The stormwater ponds store the additional rainfall volumes during the storm and release them slowly into the sewers so as to not overwhelm the sewer system further in a storm event.

3.2 Private Infrastructure

As mentioned previously half or more of the drainage infrastructure within the City is on private property (e.g. private drain connections to homes, sewers and catchbasins in parking lots, stormwater retention facilities on a large non-residential site). The City is limited in its ability to manage and react to private drainage concerns. However, the City, the Ontario Building Code, the Essex Region Conservation Authority and the regional municipalities have established standards and best practices for these systems, including minimum standards for pipe sizes and through the adoption of the Windsor Essex Region Stormwater Manual ([Windsor Essex Region Stormwater Manual v2 \(essexregionconservation.ca\)](https://www.essexregionconservation.ca)). These are enforced through permit issuance and stormwater management approvals through the Site Plan Control process.

For residential properties, current standards require each new build to install a sump pump and backwater valve and where possible to construct all downspouts such that they splash on grade (rather than directly connecting to the storm sewer system).

3.2.1 City Offered Private Infrastructure Incentive Programs for Flood Mitigation

For existing properties, numerous private property flood risk reduction incentives are offered by the City of Windsor to improve the resiliency of residential properties. Key programs are listed below.

- Basement Flooding Protection Subsidy Program (BFPS)
 - The City offers owners of residential dwellings (single family and duplex homes) a financial subsidy to install a sump pump with overflow and/or backwater valve(s) and/or disconnect foundation drains from the floor drain.
- Downspout (Eavestrough) Disconnection:
 - The City offers disconnection of your eavestrough downspout and is provided without charge to homeowners that qualify. Residents can call 311 to arrange for a home inspector visit.
- Eeling Program
 - The City offers eel service for blocked private drain connections (PDCs) free of charge three times over a 24-month period if tree roots are the source of the problem. If tree roots are not the source of the problem, a service fee applies.
- Private Sewer Replacement Program
 - The City offers a rebate for a total private drain connection replacement. Additionally financing options are offered by the City.
- Private Culvert Rehabilitation Subsidy Program

- The City offers owners of residential dwellings a financial subsidy to replace their existing failing culverts. For eligibility in the program, the existing culvert must be constructed under a driveway or lawn, providing private property access over a ditch or drain in the right-of-way.
- Home Flood Protection Program (HFPP)
 - The City offers a subsidized flood risk reduction education program for residents which provides a customized report of a home's flood risk. The reports provide residents information to help take actions and improvements to reduce risk and possible damage in the event of a flood. This program is currently a pilot project.

4.0 Programs and Measures to Reduce Flooding Risk

4.1 Citywide or Multi-Ward Flood Risk Reduction Projects

Numerous projects, programs and initiatives with the goal of reducing flood risk were recently completed or are currently ongoing. Below is a list of select citywide or multi-ward examples with this same goal.

Recently Completed Projects and Programs

- Sewer and Coastal Flood Protection Master Plan (SMP)
 - Summary: The SMP included collection of past flooding records, monitoring of actual flow conditions in sewers, computer modelling of flooding risks, public consultation, evaluation of flood risk reduction solutions, preliminary designs of solutions with cost estimates, and development of an implementation strategy.
 - Benefits: Provides a strategy to implement flood risk reduction measures based on recent and significant input including a balance of past flooding records, public input, Administration's experience, engineering design and sewer modelling software outputs. Council endorsed SMP recommendation strategy on July 27, 2020 per CR 379/2020.
 - Progress: Completed in 2020. Updates are required on a 5-10 year cycle to account for new information and upgrades in the system.
- Camera Inspections
 - Summary: Continued as part of the SMP, Administration began an exhaustive investigation into assessing existing sewer conditions in which video documentation of every sewer asset was recorded.
 - Benefits: The current inspections allow Administration to identify locations of breaks and look for significant sources of infiltration of groundwater into the sewers throughout the network.
 - Progress: Completed. However, ongoing updates are required to maintain currency in the information.
- Smoke and Dye
 - Summary: Smoke and dye testing programs were completed throughout the City to assess illegal and damaged connections to the sewer system. Smoke testing includes the placement of smoke in the sanitary sewer system and a subsequent observation identifying where the smoke escapes.

- Dye testing includes placing a dye tablet in a home's yard drain to verify whether it is connected to a sanitary sewer.
- Benefits: Smoke and dye testing are both useful tools to identify illegal connections or breaks, where unintended stormwater may enter the sanitary system leading to increased basement flooding risks.
 - Progress: From the smoke testing, nearly 200 instances of failure with the property owner's private drain connection clean-out were identified. Nearly 9,000 work orders were issued for smoke and dye testing between 2014 and 2017.
 - Sanitary Sewer Lid Sealing SMP Priority Area Implementation – Phase 1 & 2
 - Summary: Installation of rain catchers (seals) under sanitary sewer maintenance hole covers which reduce surface water entering the sanitary system. The SMP identified a priority list of seals. Sanitary sewer lid seals were installed in nearly 1,300 priority manholes.
 - Benefits: The SMP identified that under heavy rainfall conditions the relatively inexpensive lid sealing could reduce the volume of rainwater entering the sanitary sewer system up to 5%.
 - Progress: Program implemented in 2 phases and completed in 2023.

On-Going Projects and Programs

- The City continues to subsidize several residential Private Infrastructure Incentive Programs, see section 3.2.1 for further details.
- Trunk Sewer Flow Monitoring Project (SMP)
 - Summary: This flow-monitoring program collects records of wet-weather and dry-weather flow conditions in sewer systems over a four-year period. Hydraulics in key trunk storm and sanitary sewer are being tracked.
 - Benefits: This flow monitoring data will support calibration and validation to improve the City's comprehensive sewer model. Additionally, this data will support an improved tracking of in-sewer hydraulics within the City with planned use in the upcoming Inflow & Infiltration workplan.
 - Progress: Data collection started in 2023 planned to end in 2027.
- Collaborative Low Impact Development (LID) Study (SMP)
 - Summary: The recently finalized Consolidated Linear Infrastructure Environmental Compliance Approval (CLI ECA) agreement between the Ministry of Environment, Conservation and Parks (MECP) and the City stipulates new stormwater design criteria for water balance control. To review constraints and options for more economical water balance controls in light of the City's predominantly clayey soils, Administration is initiating a study in partnership with the University of Windsor to evaluate the effectiveness of stormwater infiltration into soils locally.
 - Benefits: Improved understanding of potential limitations and constraints with meeting water balance control targets in the Windsor area which may result in a reduction in future stormwater infrastructure costs.
 - Progress: Project initiated in 2023. Planned completion in 2028.
- Development of Citywide Inflow and Infiltration (I&I) Reduction Workplan (SMP)
 - Summary: Develop an I&I workplan to assess the existing data, delineate areas of concern, define wastewater flow and private contribution I&I, and recommend future I&I reduction measures. A focus of the workplan will be to better understand the causes of I&I in neighbourhoods where foundation drains should not be connected to the sanitary sewer system.

- Benefits: Consolidation of existing I&I programs and information. Better understanding of I&I in newer construction neighbourhoods. Action plan for next ten years to reduce I&I and associated basement flooding risk.
- Progress: Project initiated in 2023. Planned completion in 2028.
- Windsor West RTB (DMAF-4)
 - Summary: As outlined in Windsor Riverfront West Combined Sewer Overflow (CSO) Control Schedule C Environmental Assessment the preferred solution for CSO control is the construction of a second Retention Treatment Basin (RTB) near the Lou Romano Water Reclamation Plant (LRWRP).
 - Benefits: A reduction in sewer surcharge basement flooding risk in nearly 1/3 of the City. In the event of an intense storm or in the event of a catastrophic plant failure, the RTB systems would provide emergency storm relief for approximately 140,000 people in Windsor. Enhance compliance with the Ministry of Environment, Conservation and Parks' regulatory requirements for combined sewage treatment (procedure F-5-5).
 - Progress: Council approval given on March 18, 2024, to proceed under the DMAF-4 program. Anticipated Completion by 2033.
- Stormwater Financing Project
 - Summary: Currently, sewer surcharge and grants fund operational, maintenance and capital costs for both sanitary and storm sewer systems. The City is undertaking a project to implement a dedicated funding model for the storm sewer budget by separating the existing sewer surcharge into a sanitary charge (based on water usage) and a storm charge (based on impervious area). The project also includes a credit program to encourage property owners to provide enhanced stormwater quantity and quality control in excess of regional requirements.
 - Benefits: The proposed stormwater financing approach is based on the amount of impervious surfaces a property has, which is proven a fairer and more equitable methodology than basing it on the current domestic water usage method. This will provide a dedicated and more equitable funding source for stormwater infrastructure.
 - Progress: Public communication and education about the program started in 2023 and is ongoing. Anticipated first bills will be in January of 2025.
- Pontiac Pumping Station Upgrades at the Little River Pollution Control Plant (LRPCP) (DMAF-1)
 - Summary: New pumping station increasing stormwater conveyance capacity including potential to bypass sewage upstream of the LRPCP. Works include a new dedicated pumping station which operates when the sewer and treatment plant systems are under high water level conditions derived from severe rainfall.
 - Benefits: Potential of lowering heavy rainfall condition sanitary sewer water levels, throughout the entire Pontiac Pumping Station and LRPCP service area.
 - Progress: Funding contribution of project secured through DMAF-1. Environmental assessment work completed in 2023. Detailed design started in 2024 with construction estimated to be completed by 2027
- St. Paul Pumping Station Improvements (DMAF-1)
 - Summary: Expand pumping capacity at existing St. Paul stormwater pumping station. Proposed improvements will nearly double existing capacity providing resiliency in the storm sewer and surface drainage systems under extreme rainfall conditions.

- Benefits: This pumping station, primarily services Ward 6, but with numerous overflow connections to Ward 7, there is the potential to reduce surface flooding risk in both wards.
- Progress: Funding of project secured through DMAF-1. Project currently in construction phase with planned completion in 2026.
- Downspout Disconnection Pilot Project (SMP)
 - Summary: Pilot project reviewing the benefits of a mandatory downspout disconnection in reducing total volume of water entering the storm sewer system. Note, an existing optional subsidized downspout disconnection service is currently provided to homeowners.
 - Benefits: The anticipated benefit for flood risk reduction may be modest (2 to 5% reduction in volume of water in the sewer), but relative to costs of more expensive capital infrastructure projects are expected to have an appropriate return on investment. This is being reviewed as part of the pilot project.
 - Progress: Pilot program started in 2021. Estimated completion in 2024. A report to Council will follow summarizing the results of the program.
- SMP Implementation
 - Summary: Following the completion of the SMP in 2020, numerous projects were identified to reduce basement, overland and coastal flooding risks. The scale and volume of the recommended projects were extensive and are expected to be implemented over many years. This project coordinates the implementation of the immediate and high-priority projects identified in the SMP, as approved by Council.
 - Benefits: Allows for monitoring and coordination of numerous related projects.
 - Progress: This program started in 2021 and is on-going.
- SMP Education Program
 - Summary: Development and Implementation of various Education and Outreach Initiatives related to SMP in order to encourage awareness and participation in stormwater reduction initiatives.
 - Benefits: Funds resident education programs related to flood risk reduction. Works included annual mailing of downspout disconnection pamphlets, republication of the Emergency Flooding Guide, and an individualized in-home flood assessment program for residents (Home Flood Protection Program (HFPP) pilot).
 - Progress: On-Going.

5.0 Conclusion

This memo outlines existing flood monitoring and notifications systems, programs available to residents aimed at reducing flood risk, and projects the City has undertaken to reduce flooding risk associated with sewer surcharge, overland flow, and coastal high-water levels as summarized below.

In Ontario, flood forecasting is the responsibility of MNRF and Conservation Authorities. Federally, Environment and Climate Change Canada also provides warnings for severe weather events including warnings including flood risk. The City provides residents with notifications and alerts of potential emergencies (including flooding) with the optional Windsor Alerts system. The City also normally provides notifications, updates and warnings to news outlets and via social media accounts.

The majority of the City's sewage infrastructure is designed as a passive system with gravity driven drainage. These passive systems do not have electrical or mechanical elements, which cannot be adjusted or modified for storm events. The passive elements include storm, sanitary and combined sewers (nearly 1,800 km), roadside ditches and open drains, roadways, stormwater ponds and over 22,000 catchbasins.

Beyond the many passive elements in the City's drainage system, there are fewer but key components of the sewage infrastructure considered active with electrical and/or mechanical systems contributing to the operation. These active systems would include pumping stations (over 40), gates and other control structures. Treatment of the sewage at the City's wastewater treatment plants would also be an active system.

When major storm events occur, it would be typical for additional staff to come in during the rainfall event and continuously throughout the following days of the resulting increased flows to address any operational issue. Pumping stations are generally controlled by automatic operation, which turn pumps on and off following increases or decreases in water level.

Numerous projects, programs and initiatives with the goal of reducing flood risk were recently completed or are currently ongoing. Select citywide and multi-ward were summarized in this memo.

The SMP has provided the City with critical tools necessary to react to, analyze and plan mitigation measures for increasingly intense and longer duration storm events experienced in recent years. Updates to the SMP model will allow it to remain current and better reflect the most immediate needs of the City.



Committee Matters: SCM 299/2024

Subject: Matchett Road and Malden Road Ecopassage Review Study

Moved by: Councillor Kieran McKenzie

Seconded by: Councillor Renaldo Agostino

Decision Number: **ETPS 1027**

THAT the report of the Policy Analyst, Transportation Planning dated September 8, 2024 entitled “Matchett Road and Malden Road Ecopassage Review Study – Ward 1,” **BE RECEIVED** for information.

Carried.

Report Number: S 115/2024

Clerk’s File: SR2024

Clerk’s Note:

1. The recommendation of the Environment, Transportation & Public Safety Standing Committee and Administration are the same.
2. Please refer to Item 8.3 from the Environment, Transportation & Public Safety Standing Committee held on September 25, 2024
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241001/-1/10509>

Subject: Matchett Road and Malden Road Ecopassage Review Study – Ward 1

Reference:

Date to Council: September 25, 2024
Author: Chris Gerardi
Policy Analyst, Transportation Planning
519-255-6100 x6830
cgerardi@citywindsor.ca
Public Works - Operations
Report Date: September 8, 2024
Clerk's File #: SR2024

To: Mayor and Members of City Council

Recommendation:

THAT report S 115/2024, "Matchett Road and Malden Road Ecopassage Review Study," **BE RECEIVED** for information.

Executive Summary:

N/A

Background:

At its January 27, 2020, meeting, Council passed the following resolution:

CR 202/2019 ETPS940

- I. That the report regarding both the update on the Ojibway Eco-passage project and the capital project proposal for the Ojibway corridor (Matchette Road & Malden Road) **BE RECEIVED**.
- II. That Council **PRE-COMMIT** \$30,000 from project ENG-014-20 Eco-Passage, which represents a portion of the 2021 funding included in the recommended 2020 8-Year Capital Budget, for immediate use to conduct a study to identify passage/connectivity opportunities along the Malden Road corridor.

Ecopassage Review Study Purpose and Objectives

The City of Windsor retained Wood Environment and Infrastructure Solutions (Wood) to undertake a Review Study to determine the preferred location and to identify potential and alternative solutions (crossing type) as well as possible locations for ecopassages on Matchett Road and Malden Road in the City of Windsor. The goal of ecopassages

on Matchett Road and Malden Road is to ultimately re-establish an ecological connection between Ojibway Park and the Spring Garden Forest Life Science ANSI (commonly known as Spring Garden Natural Area (SGNA)).

There is a wide range of options that serve various purposes when considering the optimal ecopassage solution to connect these areas. The Review Study was recommended as a first step in considering ecopassages for both major north-south roads in the Ojibway Prairie Complex. The Review Study assessed the optimal locations to construct the ecopassages and recommend the preferred crossing design type.

Study Area

The Study Area considered for this project contains the Ojibway Prairie Complex ANSIs and Provincially Significant Wetlands (PSW) and Oakwood Park Wetland in the City of Windsor, and the LaSalle Woods and Turkey Creek Wetlands in the northern portion of the Town of La Salle (Figure 1-B). The Study Area contains the SGNA – Oakwood Park crossing (i.e., Rt. Hon. Herb Gray Parkway Tunnel Top 5) and the proposed crossing on Ojibway Parkway (between Ojibway Park and Black Oak Heritage Park). These crossings, along with the potential crossings on Matchett Road and Malden Road, would positively affect wildlife movement through natural areas.

Ecopassage Crossing Types and Options

Wildlife ecopassage crossings serve to connect habitats and populations as well as to reduce wildlife species road mortality. When facilitating connections, factors such as species-specific behaviours, cost of the structure, available material and expertise and physical limitations of the site are considered when deciding which crossing structure type is appropriate.

The ecopassage crossing objective is to create landscape permeability for a variety of species. In the City of Windsor, those solutions which maximize crossing by a variety of species are preferred due to the concentrated biodiversity within natural areas.

Description of Other Existing Local Ecopassages and Crossings

There are currently two constructed ecopassages within the City, both associated with the Rt. Hon. Herb Gray Parkway (Parkway). Tunnel Top T5, located northwest of Todd Lane and Cabana Road West, is 160 meters (m) long by 120 m wide (575 m²), spanning the below-grade portion of Highway 401. This tunnel is vegetated with native grasses, wildflowers and shrubs that provide suitable wildlife habitat on the structure and an effective ecological connection between the SGNA and Oakwood Park.

The T5 ecopassage is used by various wildlife, including deer, coyote, wild turkey and two species at risk (SAR) snakes. Ground-nesting birds and SAR plants have also been observed on the structure.

The other ecopassage is located at Matchett Road, just north of Chappus Street. This structure is a 16 m ACO Wildlife KT500 Slotted Tunnel. It fits flush to the roadway and has a slotted upper surface allows which airflow in and out of the tunnel. The ecopassage was installed to facilitate movement of SAR snakes from the protected

habitat within the Chappus Street Restoration Area (east side of Matchett Road) to the created habitat within the Parkway ecological landscape. To date, SAR snakes have approached the tunnel entrance on the east side of Matchett Road but have not yet travelled through the tunnel.

One future potential ecopassage is also being investigated to cross Ojibway Parkway, located between Broadway Street and Weaver Road. A Municipal Class Environmental Assessment (Class EA) study was recently completed for this proposed ecopassage, the report is titled Ojibway Parkway Wildlife Crossing Environmental Study. The proposed crossing would re-establish an ecological connection between the natural areas associated with Black Oak Heritage Park and Ojibway Park, facilitating safe passage for area wildlife and SAR between these two significant natural heritage areas.

Discussion:

The comprehensive findings of the Matchett Road and Malden Road Ecopassage Review Study are detailed in Appendix A.

Wildlife Issues

Reconnaissance fieldwork was completed in February and June 2021, and secondary sources were queried to inform existing conditions in the Study Area. Occurrences of SAR, provincially rare species, and information on ANSIs, Environmentally Significant Areas (ESA) and/or Provincially Significant Woodland (PSWs) were collected.

The aim of the fieldwork was to identify the species, natural areas, and natural processes affected by the barriers of Matchett Road and Malden Road. Many species of plants, birds, reptiles, amphibians, mammals and other species were found throughout the study area along with several rare and endangered species (refer to Section 3 of Appendix A).

Preferred Ecopassage Crossing Type and Width

Based on the biodiversity and significance of species in the Study Area, the ecopassage should be a crossing type that accommodates all wildlife species, as well as vegetation. Wildlife ecopassage crossings come in a variety of shapes and sizes, depending on their specific objective. As shown in Appendix A, Tables 6 and 7 considered different options of crossing type and their suitability for each species. Landscape bridge, wildlife overpass, and viaduct structures can accommodate all wildlife species, and a large underpass could generally accommodate the crossing of a variety of species.

However, after further analysis of Matchett Road and Malden Road characteristics, the topology of the area and review of the surrounding water courses; it was determined that a landscape bridge or viaduct may not be practical and a wildlife overpass structure as the most practical, but highest cost solution to accommodate the diversity of species in the study area.

The Review Study discusses different options for possible widths of the proposed ecopassages. While the Study did not provide a preferred width recommendation, it did afford the following width options:

- 50-metre-wide ecopassage that will accommodate a broader habitat linkages and plant dispersal. An ecopassage of this size larger structure may reduce the requirement for additional mammal dedicated crossings in the Secondary Crossing Area or elsewhere.
- Narrower wildlife overpasses are considered, recognizing that larger animals such as deer would be required to continue crossing the road. The report identifies deer collisions as a significant factor to determining if a narrower overpass is appropriate. If deer can be accommodated to safely cross Matchett Road or Malden Road, then a narrower wildlife overpass may suffice.

As road mitigation measures such as signage, lighting, and infrastructure adaptations (e.g., curbs, drainage grates, jersey barriers, the width of road median, etc.) can be effectively used to reduce deer collisions, smaller width ecopassages in combination with these types of road upgrades appear to be the best option.

The City of Windsor Transportation Planning division agrees with the approach to consider infrastructure accommodations to allow for large mammals, such as deer, to safely cross both Malden Road and Matchett Road which have posted speeds of 60 kph and 50 kph respectively. Both roads are rural cross section roads that can sometimes invite higher speeds. Suggested infrastructure adaptations, such as curbs and road medians, will not only create safer conditions for animals but also help achieve traffic calming goals.

Typically, crossings dedicated to small and meso-mammals require a crossing that is at least 3 m in width.

Proposed Ecopassage Locations

Matchett Road and Malden Road have been identified as a wildlife conflict zone. Wildlife conflict zones are road segments where animals are most likely to interact with the road. Therefore, mitigation efforts (e.g., wildlife crossings and ecopassages) should be considered in this area.

Accordingly, connectivity analysis was undertaken to assess the most optimal ecopassage location(s). The analysis used the least resistive (lowest impedance) wildlife movement corridor habitat patch GIS (global information system) modelling. The results of that modelling are show on Figure 5C MAP A located in Appendix A.

The results of the least resistive (lowest impedance) wildlife movement corridor habitat patch connectivity analysis was simplified to help illustrate generalized good potential wildlife corridors crossing Malden Road and Matchett Road. It is likely that multiple smaller overpasses would be warranted over both Matchett Road and Malden Road.

Also, segments of Malden Road and Matchett Road were identified as Primary Crossing Areas, Secondary Crossing Areas and Tertiary Crossing Areas based on the results from the analysis (refer to Figure 5-C – MAP B for information regarding the wildlife movement corridors and crossing locations/areas).

Risk Analysis:

There are no risks to receiving this report for information.

Climate Change Risks

Climate Change Mitigation:

There is no climate mitigation risk associated with this report.

Climate Change Adaptation:

Ecosystems are under threat due to climate change. Windsor's climate projections predict an increase in favourable conditions for the spread of invasive species, potential loss of species at risk and environmental damages due to increasing temperatures and extreme weather events. The City's Climate Change Adaptation Plan includes Objective 5: Protect Biodiversity and Enhance Ecosystem Functions that includes actions to reduce the threats to Windsor's biodiversity - Action 5.3: Enhance linkages between and among natural heritage features includes investigating increased land connectivity options including land acquisition and landscaped or below grade Eco passages to enhance natural area linkages.

Financial Matters:

There are no financial implications to receiving this report for information.

Consultations:

Marc DiDomenico – Project Administrator

Karen Cedar – Naturalist & Outreach Coordinator

Colleen Middaugh – Manager, Corporate Projects

Glolamreza (Ray) Sayyadi – Transportation Planning Senior Engineer

Conclusion:

The Matchett Road and Malden Road Ecopassage Review Study suggests possible ecopassage locations and crossing type (narrow overpass bridges) for consideration, which would need to likely be supported with additional road upgrade mitigations.

A follow-up report to study road mortality and current movement is required to further refine the preferred crossing location(s) and type(s), which has been commissioned as part of the Ojibway National Urban Park project.

This future report findings, along with the Matchett Road and Malden Road Ecopassage Review Study and the Ojibway Parkway Wildlife Crossing Class EA Study, will serve to provide a consolidated overview of ecopassage needs for the Ojibway National Urban Park. Ultimately, direction and funding by Parks Canada's will be required to determine and implement the preferred ecopassage solution concept associated with Parks Canada's policy driven process to create the Ojibway National Urban Park.

Planning Act Matters:

N/A

Approvals:

Name	Title
Cindy Becker	Financial Planning Administrator – Public Works
Karina Richters	Supervisor Environment Sustainability & Climate Change
Shawna Boakes	Executive Director of Operations/ Deputy City Engineer
David Simpson	Commissioner, Infrastructure Services/City Engineer
James Chacko	Executive Director, Parks & Facilities
Ray Mensour	Commissioner, Community & Corporate Services
Lorie Gregg	On behalf of Commissioner, Finance & City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

Appendix A – Matchett Road and Malden Road Ecopassage Location and Solution Study



Matchett Road and Malden Road Ecopassage Location and Solution Study

Preliminary Study of Siting Alternatives and Structure Design
City of Windsor
Project # ONS2103A

Final

Prepared for:

City of Windsor

310-350 City Hall Square West Windsor ON N9A 6S1

November 2023



Matchett Road and Malden Road Ecopassage Location and Solution Study

Preliminary Study of Siting Alternatives and Structure Design

City of Windsor

Project # ONS2103A

Final

Prepared for:

City of Windsor

310-350 City Hall Square West Windsor ON N9A 6S1

Prepared by:

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November 2023

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Appendix A: Secondary Sources

Appendix B: Species Lists

1.0 Introduction

1.1 Purpose and Objectives

The City of Windsor (the City) retained Wood Environment and Infrastructure Solutions (Wood) to undertake a study to determine the preferred location and to identify potential and alternative solutions (crossing type) as well as possible locations for ecopassages on Matchett Road and Malden Road in the City of Windsor. The goal of ecopassages on Matchett Road and Malden Road is to ultimately provide an ecological connection between Ojibway Park and the Springgarden Forest Life Science ANSI (commonly known as Spring Garden Natural Area; SGNA; Figure 1-A and Figure 1-B), in combination with other proposed efforts in the City (Section 1.3; Figure 1-A). In the City, Matchett Road lies between Ojibway Park and the Ojibway Prairie Provincial Nature Reserve, and Malden Road lies between Ojibway Prairie Provincial Nature Reserve and the SGNA, all of which are part of the Ojibway Prairie Complex Area of Natural and Scientific Interest (ANSI). As identified in the previous reports (LGL, 2015), there is a wide range of options that serve various purposes when considering the optimal ecopassage solution to connect these areas. A preferred location and solution study has been recommended as a first step in considering ecopassages for both major north-south roads in the Ojibway Prairie Complex. This study will assess the optimal locations to construct the ecopassages and recommend the design type.

1.2 Study Area

The Study Area considered for this project contains the Ojibway Prairie Complex ANSIs and Provincially Significant Wetlands (PSW) and Oakwood Park Wetland in the City of Windsor, and the LaSalle Woods and Turkey Creek Wetlands in the northern portion of the Town of La Salle (Figure 1-B). The Study Area contains the SGNA – Oakwood Park crossing (i.e., Rt. Hon. Herb Gray Parkway Tunnel Top 5) and the proposed crossing on Ojibway Parkway (between Ojibway Park and Black Oak Heritage Park). These crossings, along with the potential crossings on Matchett Road and Malden Road, would positively affect wildlife movement through natural areas.

The Ojibway Prairie Complex is fragmented by residential and commercial land uses and a road network of local, collector, and arterial roads. The provincial Highway/E.C. Row Expressway is the northern limit of the Study Area, and the new Gordie Howe International Bridge will occur to the northwest. Other land uses within the Study Area include rail corridors and yards, utility corridors, the Ambassador Golf Club, and agriculture. The southern limit of the Study Area occurs at Laurier Drive/Parkway in the Town of LaSalle (Figure 1-A and Figure 1-B).

1.3 Description of Other Local Ecopassages and Crossings

There are currently two constructed ecopassages within the City, both associated with the Rt. Hon. Herb Gray Parkway (Parkway). Tunnel Top T5, located northwest of Todd Lane and Cabana Road West, is 160 meters (m) long by 120 m wide (575 m²), spanning the below-grade portion of Highway 401. The outer edges of T5 are protected by parapet walls, fencing and dense vegetation to help safely guide wildlife across the structure. At the east end, a large concrete box culvert provides safe passage for wildlife under the Parkway's integrated multi-use trail.

Tunnel Top T5 is vegetated with native grasses, wildflowers and shrubs that provide suitable wildlife habitat on the structure and an effective ecological connection between the SGNA and Oakwood Park.

The T5 ecopassage is used by various wildlife, including deer, coyote, wild turkey and two species at risk (SAR) snakes. Ground-nesting birds and SAR plants have also been observed on the structure.

The other ecopassage is located at Matchett Road, just north of Chappus Street. This structure is a 16 m ACO Wildlife KT500 Slotted Tunnel. It fits flush to the roadway, and the slotted upper surface allows airflow in and out of the tunnel. The ecopassage was installed to facilitate movement of SAR snakes from protected habitat within the Chappus Street Restoration Area (east side of Matchett Road) to created habitat within the Parkway ecological landscape. To date, SAR snakes have approached the tunnel entrance on the east side of Matchett Road but have not yet travelled through the tunnel.

Lastly, one proposed ecopassage within the City of Windsor would cross Ojibway Parkway south of Broadway Street. This proposed ecopassage is subject to a Municipal Class Environmental Assessment (Class EA) study, which is currently ongoing. The proposed crossing would provide an ecological connection between Black Oak Heritage Park and Ojibway Park, facilitating safe passage for area wildlife and SAR between these two significant natural heritage areas. The proposed crossing is large enough to accommodate the movement of small to large-sized mammals, reptiles, and amphibians. It would be vegetated with native plant species to provide food and nectar sources for birds and pollinators.



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Approximate Study Area	Municipal Park and Golf Course (Boundaries Approximate)
Watercourse	Municipal Trails (City of Windsor)
Waterbody	Regulation Area (Essex Region Conservation Authority)
Railway	Significant Groundwater Recharge Area
Hydro Line	
Municipal Border (Lower and Single Tier)	
National Border	

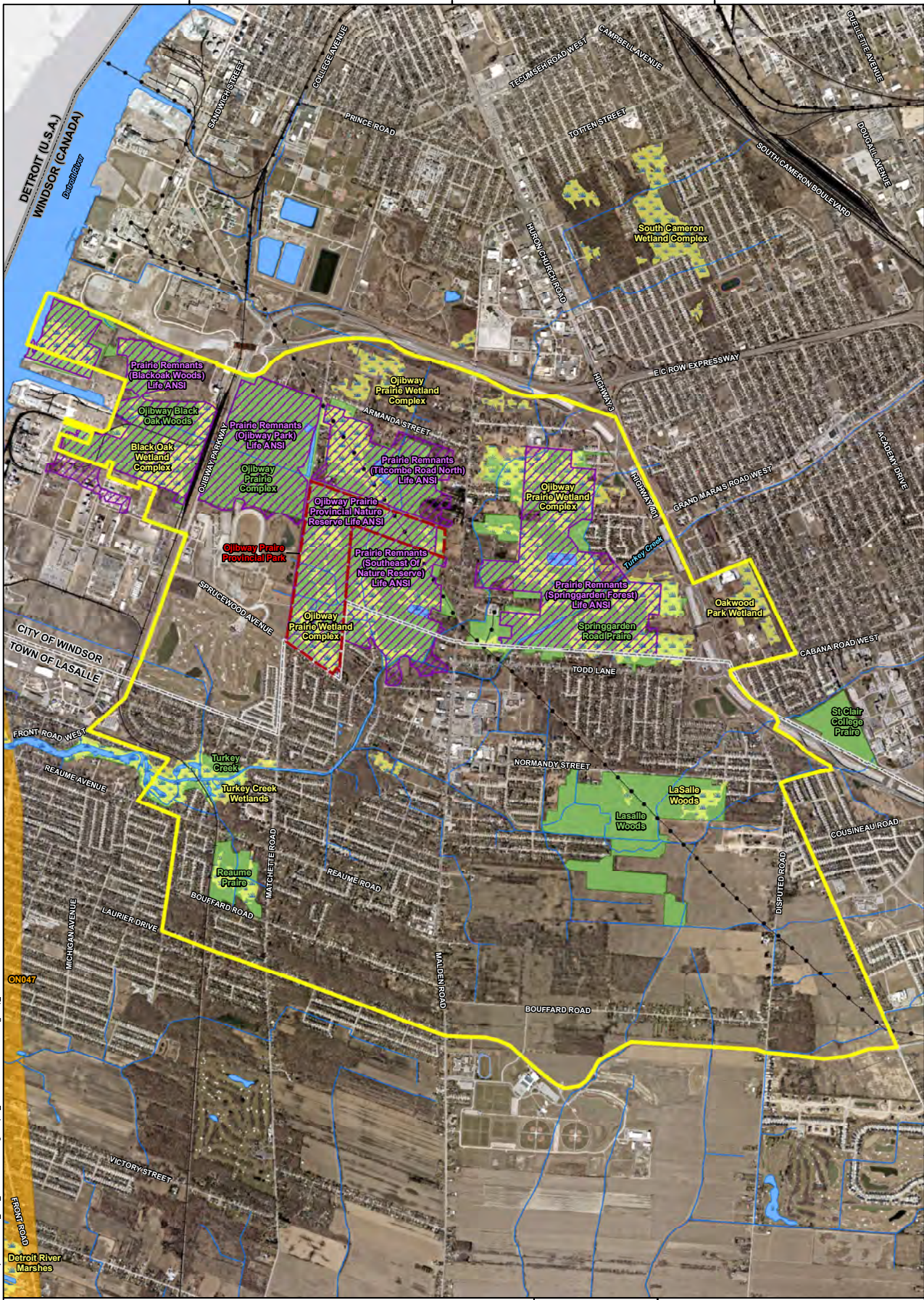
NOTES:

- Aerial imagery extracted from Essex County interactive map, 2018



**MALDEN AND MATCHETTE
ECO PASSAGE STUDY**

Municipal Policy Context

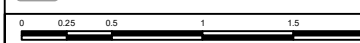


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	Approximate Study Area
	Watercourse
	Waterbody
	Railway
	Hydro Line
	Municipal Border (Lower and Single Tier)
	National Border
	Name ANSI
	Name Provincially Significant Wetland
	Name Environmentally Significant Area
	Name Important Bird Area of Canada
	Name Provincial Park

NOTES:	
- Aerial imagery extracted from Essex County interactive map, 2019.	

WINDSOR WOOD
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 ECO PASSAGE STUDY**
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2.0 Wildlife and Roads: Road Map

A variety of sources regarding road ecology were reviewed. Sources included journals, conference presentations and technical papers, articles, and previous studies in Ontario and beyond (Table 1). Information on preferred crossing types, crossing widths, ingress and egress locations and styles, fencing considerations, and crossing location preferences were noted and are included within this report.

Table 1 Road Ecology Sources Reviewed

ROAD ECOLOGY SOURCES REVIEWED

Barnum, S. (2003). Identifying the Best Locations to Provide Safe Highway Crossing Opportunities for Wildlife. International Conference on Ecology & Transportation, (p. 246). Lake Placid, New York.
Bissonette, J. A., & Adair, W. (2008). Restoring habitat permeability to roaded landscapes with isometrically-scaled wildlife crossings. <i>Biological Conservation</i> 141(2008) 482-488.
Center for Environmental Excellence by AASHTO. (2020). Chapter 3 Designing for Environmental Stewardship in Construction & Maintenance, 3.4. Designing to Accommodate Wildlife, Habitat Connectivity, and Safe Crossings. In <i>Environmental Issue Construction and Maintenance Practices Compendium</i> .
Eberhardt, E. (2008). Current and potential wildlife fatality hotspots along the Thousand Islands Parkway in eastern Ontario, Canada. Ottawa, ON: M. Sc. Thesis, Department of Geography and Environmental Studies, Carleton University.
Holder, S. (2018, July 31). Animals Need Infrastructure Too. Bloomberg.
Ministry of Transportation. (2016). Environmental Guide for Mitigating Road Impacts to Wildlife. St. Catharines, Ontario, 107 pages: Updated final report submitted by Eco-Kare International to the Ministry of Transportation, version March 2017.
Ontario Ministry of Natural Resources and Forestry. (2016). Best Management Practices for Mitigating the Effects of Roads on Amphibian and Reptile Species at Risk in Ontario. Queen's Printer for Ontario. 112 pp.
Ontario Road Ecology Group, Toronto Zoo. (2010). A Guide to Road Ecology in Ontario. Environment Canada Habitat Stewardship Program for Species at Risk.
Reed, D. F., & Ward, A. L. (1985). Efficacy of methods advocated to reduce deer-vehicle accidents: research and rationale in the USA. <i>Routes et faune sauvage. Service d'Etudes Techniques de Routes et Autoroutes</i> , Bagneaux, France. Pages 285-293.
Ruediger, B. (2003). A Rapid Assessment Process for Determining Potential Wildlife, Fish and Plant Linkages for Highways. International Conference on Ecology and Transportation. Ecology Program Leader for Road and Highways USDA Forest Service, 200 E. Broadway, Missoula, MT.
Traffic Injury Research Foundation. (2012). Wildlife-vehicle Collisions in Canada: A Review of the Literature and a Compendium of Existing Data Sources.
U.S. Department of Transportation. (2011). Wildlife Crossing Structure Handbook Design and Evaluation in North America. Publication No. FHWA-CFL/TD-11-003.
Wildlife Collision Prevention Program. (2021). Collision Facts. Retrieved from https://www.wildlifecollisions.ca/collision/collision-facts.htm

Wildlife crossing structures are intended to increase habitat permeability and connectivity across roads and reduce the negative effects of roadways on wildlife and populations. Wildlife crossing structures can be above-grade (overpasses) or below-grade (underpasses) structures designed to facilitate the movement of animals and connections among populations. The following road map has been provided to document the objectives and guide selecting and locating the ecopassages (Figure 2-A; adapted from

Wildlife and Roads, 2007). The road map also provides a timeline of when monitoring and evaluation of crossing effectiveness, as well as maintenance, should occur after the final determinations are made.



Figure 2-A Decision Road Map

The initial step in evaluating ecopassages is determining if wildlife mitigation is needed (identify mitigation need Figure 2-A). The need for wildlife mitigation is well documented and understood by the City; however, a list of existing significant conditions is provided in Section 3.0. In the first part of an ecopassage project, it is important to determine the scope (planning and time constraints), the wildlife and natural processes that may be affected, and the possible goals and objectives of the ecopassage. The second step of the decision-making road map should provide the greatest detail on the ecopassage and how to proceed with determining configuration, maintenance, and how to begin a cost analysis. The third, fourth, and fifth steps of the road map help integrate the project into the larger planning, construction, implementation, and monitoring processes.

The following sections aim to identify and determine the wildlife issues, identify ecopassage solutions and options, and identify placement for the Matchett and Malden ecopassages, initiating steps one and two. Recommendations have been provided in Sections 6.0, 7.0, and 8.0 to assist in future steps and planning.

3.0 Wildlife Issues

Reconnaissance fieldwork was completed in February and June 2021, and secondary sources were queried to inform existing conditions in the Study Area. Occurrences of SAR, provincially rare species, and information on ANSIs, Environmentally Sensitive Areas (ESA), and/or PSWs were collected. Secondary sources reviewed are provided in Appendix A.

To understand the potential wildlife issues in the area, species occurrence is presented below. It is assumed, by the nature of the request, the City understands the need for permeability of roads for wildlife; therefore, this reporting scope does not aim to provide a literature review on the effects of roads

on wildlife. Rather this section aims to identify the species, natural areas, and natural processes affected by the barriers of Matchett Road and Malden Road.

3.1 Flora and Natural Areas

Species lists compiled for the Study Area (Appendix B) produced 704 vascular plant species. Of the plant species recorded, 168 (24%) are non-native to the region (ranked as SE 1-5 or H by NHIC) and 117 of the non-native plants are ranked as highly abundant or invasive (SE4 or SE5). There are 123 provincially rare species (S1, S2, S3) and 21 provincially listed on the Endangered Species Act, 2007 (Table 2). One hundred and forty-six (146) species are prairie and savannah indicator species present on the Southern Ontario Floral Inventory Analysis (SOFIA) list (SOFIA, 2020) and 235 are rare or uncommon on the List of the Vascular Plants of Ontario's Carolinian Zone (Ecoregion 7E; Oldham, 2017).

Table 2 Flora Species listed on the Endangered Species Act, 2007

SCIENTIFIC NAME	ENGLISH NAME	S RANK (PROVINCIAL)	G RANK (GLOBAL)	ESA
<i>Agalinis skinneriana</i>	Skinner's False Foxglove	S1	G3G4	END
<i>Aletris farinosa</i>	White Colicroot	S2	G5	END
<i>Ammannia robusta</i>	Scarlet Ammannia	S1	G5	END
<i>Arisaema dracontium</i>	Green Dragon	S3	G5	SC
<i>Castanea dentata</i>	American Chestnut	S1S2	G4	END
<i>Chimaphila maculata</i>	Spotted Wintergreen	S2	G5	THR
<i>Cornus florida</i>	Eastern Flowering Dogwood	S2?	G5	END
<i>Fraxinus quadrangulata</i>	Blue Ash	S2?	G5	THR
<i>Gymnocladus dioicus</i>	Kentucky Coffee-tree	S2	G5	THR
<i>Hibiscus moscheutos</i>	Swamp Rose-mallow	S3	G5	SC
<i>Juglans cinerea</i>	Butternut	S2?	G3	END
<i>Lespedeza virginica</i>	Slender Bush-clover	S1	G5	END
<i>Liatris spicata</i>	Dense Blazing-star	S2	G5	THR
<i>Liparis liliifolia</i>	Purple Twayblade	S2S3	G5	THR
<i>Morus rubra</i>	Red Mulberry	S2	G5	END
<i>Platanthera leucophaea</i>	Eastern Prairie Fringed Orchid	S2	G2G3	END
<i>Polygala incarnata</i>	Pink Milkwort	S1	G5	END
<i>Quercus shumardii</i>	Shumard Oak	S3	G5	SC
<i>Rosa setigera</i>	Climbing Prairie Rose	S2S3	G5	SC
<i>Solidago riddellii</i>	Riddell's Goldenrod	S3	G5	SC
<i>Symphotrichum praealtum</i>	Willow-leaved Aster	S2	G5	THR

Note(s)

1. S-Rank= Provincial (Sub-national) Rank, S1=Critically Imperiled, S2=Imperiled, S3=Vulnerable, S4=Apparently Secure, S5=Secure. S#S#=Range. Breeding Status Qualifiers: B – Breeding, N – Nonbreeding, M – Migrant. ? =Inexact or Uncertain.
2. ESA= Endangered Species Act,2007 (Ontario), END= Endangered, THR= Threatened, SC= Special Concern

Matchett Road occurs between the natural areas comprising the Ojibway Prairie Complex. The Ojibway Prairie Complex (Prairie Remnants Life ANSI) is a collection of five closely situated natural areas (Figure 1-B). From west to east, the areas are:

- Blackoak Woods (Ojibway Black Oak Woods; locally also known as Black Oak Heritage Park),
- Ojibway Park (Ojibway Prairie Complex; locally also known as Ojibway Tom Joy Woods Park),
- Southeast Of Nature Reserve,
- Titcombe Road North (locally also known as Tallgrass Prairie Heritage Park), and
- Springgarden Forest (Springgarden Road Prairie; locally also known as SGNA).

Essex Region Conservation Authority (ERCA) has also delineated these areas as Environmentally Significant Areas (ESA) (Figure 1-B) and when doing so also provided names, these names are also provided in brackets. Additionally, local names have developed which are indicated above and used to refer to areas throughout this report. Lastly, another ANSI occurs in the area called the Ojibway Prairie Provincial Nature Reserve Life Science ANSI (Figure 1-B) and this ANSI is also the Ojibway Prairie Provincial Park (Figure 1-B).

The Ojibway Prairie Complex ANSI has also been identified as a Carolinian Canada site (Government of Ontario, 2002). The dominant feature in the Ojibway Prairie Provincial Nature Reserve is the tallgrass prairie plant community and related plant communities, such as oak savannah. Tallgrass prairie and oak savannah communities are designated as critically imperilled in Ontario (Rodger, 1998). Altogether 533 flowering plant species have been documented in and around the Ojibway Prairie Provincial Nature Reserve, of which more than 60 are of prairie affinity (Government of Ontario, 2002). Animal species representative of prairie habitats and found in the nature reserve include Butler's Gartersnake and Eastern Massasauga (Government of Ontario, 2002).

Malden Road occurs on the east side of the Ojibway Prairie Complex ANSI. Further east of Malden Road is the SGNA – Oakwood Park crossing (Tunnel Top 5) and the Oakwood Park Wetland in the City of Windsor. The LaSalle Woods and Turkey Creek Wetlands in the Town of La Salle (Figure 1-B) occur in the southern portion of the study area, near Matchett and Malden Roads.

At the northern extent of the study area, between Matchett and Malden Roads, is tallgrass habitat that has been protected and restored as part of the Parkway project. This area is called the Chappus Street Restoration Area and includes a variety of habitat types including tallgrass prairie, savannah, meadow marsh, PSW (thicket and deciduous swamp) and woodland. The area is home to five plant SAR and over 20 provincially rare plant species.

3.2 Avifauna

Species lists compiled for the Study Area (Appendix B) resulted in 171 bird species. Of the species recorded, three were recorded as oak savannah species (not restricted to these habitats) in SOFIA (SOFIA, 2020). The majority of species documented are associated with wooded and successional habitats or water and wetlands. Seven non-native species are documented, Rock Pigeon, Mute Swan, House Finch, House Sparrow, Ring-necked Pheasant, Eurasian Collared-Dove, and European Starling.

Fourteen provincially rare (S1, S2, S3) and 21 provincially listed on the Endangered Species Act, 2007 (Table 3) occur.

Table 3 Avian Species listed on the Endangered Species Act, 2007

SCIENTIFIC NAME	ENGLISH NAME	S RANK (PROVINCIAL)	G RANK (GLOBAL)	SARO
<i>Antrostomus vociferus</i>	Eastern Whip-poor-will	S4B	G5	THR
<i>Cardellina canadensis</i>	Canada Warbler	S4B	G5	SC
<i>Chaetura pelagica</i>	Chimney Swift	S4B,S4N	G4G5	THR
<i>Chordeiles minor</i>	Common Nighthawk	S4B	G5	SC
<i>Contopus cooperi</i>	Olive-sided Flycatcher	S4B	G4	SC
<i>Contopus virens</i>	Eastern Wood-pewee	S4B	G5	SC
<i>Dolichonyx oryzivorus</i>	Bobolink	S4B	G5	THR
<i>Falco peregrinus</i>	Peregrine Falcon	S3B	G4	SC
<i>Haliaeetus leucocephalus</i>	Bald Eagle	S2N,S4B	G5	SC
<i>Hirundo rustica</i>	Barn Swallow	S5B	G5	THR
<i>Hylocichla mustelina</i>	Wood Thrush	S4B	G4	SC
<i>Icteria virens</i>	Yellow-breasted Chat	S1B	G5	END
<i>Ixobrychus exilis</i>	Least Bittern	S4B	G4G5	THR
<i>Melanerpes erythrocephalus</i>	Red-headed Woodpecker	S4B	G5	SC
<i>Parkesia motacilla</i>	Louisiana Waterthrush	S3B	G5	THR
<i>Podiceps auritus</i>	Horned Grebe	S1B,S4N	G5	SC
<i>Protonotaria citrea</i>	Prothonotary Warbler	S1B	G5	END
<i>Rallus elegans</i>	King Rail	S2B	G4	END
<i>Riparia riparia</i>	Bank Swallow	S4B	G5	THR
<i>Setophaga cerulea</i>	Cerulean Warbler	S3B	G4	THR
<i>Sturnella magna</i>	Eastern Meadowlark	S4B	G5	THR

Note(s)

1. S-Rank= Provincial (Sub-national) Rank, S1=Critically Imperiled, S2=Imperiled, S3=Vulnerable, S4=Apparently Secure, S5=Secure. S#S#=Range. Breeding Status Qualifiers: B – Breeding, N – Nonbreeding, M – Migrant. ? =Inexact or Uncertain.
2. ESA= Endangered Species Act,2007 (Ontario), END= Endangered, THR= Threatened, SC= Special Concern

Many of the bird species documented in the Study Area are area-sensitive and have other restrictive requirements for habitat. While all species documented in the Study Area are capable of sustained flight and very few are prone to nesting on road shoulders, there are several factors related to roads that may cause barriers to avifauna. Research in the past decade has suggested some bird guilds (e.g., forest-dependent) are less likely to be found next to roads and are hesitant to cross (Johnson, Evans, & Jones, 2017; Benítez-López, Alkemade, & Verweij, 2010). High levels of traffic noise (reducing song detection), visual disturbance from passing vehicles, and the risk of collision with vehicles are all potential risks. There is mounting evidence that migration and breeding of birds are also affected by roads.

3.3 Herptiles

Species lists compiled for the Study Area (Appendix B) resulted in 25 amphibian, reptile, and turtle (herptile) species. Of the species recorded, five were recorded as oak savannah or tallgrass prairie species

in SOFIA (SOFIA, 2020). The only exotic species documented was pond slider turtles, such as Red-eared Sliders. Ten provincially rare (S1, S2, S3) and 11 provincially listed on the Endangered Species Act, 2007 (Table 4) occur.

Table 4 Herptile Species listed on the Endangered Species Act, 2007

SCIENTIFIC NAME	ENGLISH NAME	S RANK (PROVINCIAL)	G RANK (GLOBAL)	SARO
<i>Apalone spinifera</i>	Spiny Softshell	S2	G5	END
<i>Chelydra serpentina</i>	Snapping Turtle	S4	G5	SC
<i>Emydoidea blandingii</i>	Blanding's Turtle	S3	G4	THR
<i>Graptemys geographica</i>	Northern Map Turtle	S3	G5	SC
<i>Heterodon platirhinos</i>	Eastern Hog-nosed Snake	S3	G5	THR
<i>Pantherophis gloydi</i> <i>pop. 2</i>	Eastern Foxsnake (Carolinian population)	S2	G3TNR	END
<i>Plestiodon fasciatus</i> <i>pop. 1</i>	Common Five-lined Skink (Carolinian population)	S2	G5T2	END
<i>Regina septemvittata</i>	Queensnake	S2	G5	END
<i>Sistrurus catenatus</i> <i>pop. 2</i>	Massasauga (Carolinian population)	S1	G3TNR	END
<i>Sternotherus odoratus</i>	Eastern Musk Turtle	S3	G5	SC
<i>Thamnophis butleri</i>	Butler's Gartersnake	S2	G4	END

Note(s)

1. S-Rank= Provincial (Sub-national) Rank, S1=Critically Imperiled, S2=Imperiled, S3=Vulnerable, S4=Apparently Secure, S5=Secure. S#S#=Range. Breeding Status Qualifiers: B – Breeding, N – Nonbreeding, M – Migrant. ? =Inexact or Uncertain.
2. ESA= Endangered Species Act,2007 (Ontario), END= Endangered, THR= Threatened, SC= Special Concern

It is well known and well documented that amphibians and reptiles are the most negatively affected species groups regarding the barrier and threat of roads and traffic in Southern Ontario (Ontario Ministry of Natural Resources and Forestry, 2016). The City of Windsor and the surrounding region contain critical habitat for several of the SAR herptiles and some of the only remaining populations. A local study estimated that SAR reptiles were killed on roads across the Ojibway Prairie Complex at a minimum average of 19 individuals a month (Choquette & Valliant, 2016). Threats from roads include direct mortality of animals and habitat loss, degradation, and fragmentation (reducing gene flow and, in some cases, segregation of populations).

3.4 Mammals

Species lists compiled for the Study Area (Appendix B) produced 26 mammal species to genus. The only exotic species documented were Norway Rat and Black Rat. Two provincially rare (S1, S3) and listed species on the Endangered Species Act, 2007 (Table 5) were documented, Little Brown Myotis and Gray Fox.

Table 5 Mammal Species listed on the Endangered Species Act, 2007

SCIENTIFIC NAME	ENGLISH NAME	S RANK (PROVINCIAL)	G RANK (GLOBAL)	SARO
<i>Myotis lucifugus</i>	Little Brown Myotis	S3	G3	END
<i>Urocyon cinereoargenteus</i>	Gray Fox	S1	G5	THR

Note(s)

1. S-Rank= Provincial (Sub-national) Rank, S1=Critically Imperiled, S2=Imperiled, S3=Vulnerable, S4=Apparently Secure, S5=Secure. S#S#=Range. Breeding Status Qualifiers: B – Breeding, N – Nonbreeding, M – Migrant. ? =Inexact or Uncertain.
2. ESA= Endangered Species Act,2007 (Ontario), END= Endangered, THR= Threatened, SC= Special Concern

A reconnaissance survey was conducted in February 2021 to determine animal corridors on Matchett Road and Malden Road south of Titcombe Road for approximately 1 km (Figure 3-B). It is known that White-tail Deer are locally abundant in the Study Area, but their movement patterns within the Study Area are not documented. Most of the wildlife activity was White-tail Deer in the fire break along Matchett Road, next to the fence (Figure 3-A).



Fire Break along Matchett Rd., signs of frequent deer activity



Matchett Rd. gap in fencing with signs of frequent deer activity

Figure 3-A Fire Break White-tailed Deer Activity

Species such as White-tailed Deer, Coyote, Red Fox, Raccoon and other Meso-mammals (such as Striped Skunk, Groundhog, Opossum, and Eastern Gray Squirrel), Little Brown Bat, Eastern Red Bat, Silver-haired Bat, Big Brown Bat, and Hoary Bat have been confirmed in Ojibway Park by Wood (2021). The main response by mammals to roads in a meta-analysis was avoidance or reduced population density (Benítez-López, Alkemade, & Verweij, 2010). In the Ontario Road Safety Annual Report (Ministry of Transportation, 2018), Wildlife-vehicle Collisions (WVCs), which involved large animals (e.g., White-tailed Deer), resulted in four fatalities, 329 personal injuries, and 11,721 WVCs which caused property damage. Much like avifauna and herptiles, roads fragment habitats and reduce the permeability of movement for mammals.

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	Municipal Parks		Dense Blazing Star		Large Fallen Log
	Provincial Park		Willowleaf Aster		Coyote Trail
	Watercourse / Drain		Large Oak Tree		Deer Trail
	Property Boundaries		Large Sycamore Tree		Small Mammal Trail
			Small Mammal		Squirrel Trail
			Wild Turkey		

NOTES:

- Aerial imagery extracted from Essex County Interactive Map, 2019

MATACHETTE ECO PASSAGE STUDY

Field Observations

3.5 Other Species

Aquatic species such as Lampreys, fishes, and mussels were documented in secondary sources (Appendix B). However, these species are more likely to occur in the Detroit River. It is not known if Basin Drain and the roadside ditches are fish habitat. Four species are non-native, goldfish, Common Carp, White Perch, Round Goby. Eight are provincially rare (S1, S2, S3) and listed on the Endangered Species Act, 2007, Northern Sunfish, Spotted Sucker, Pugnose Shiner, Northern Madtom, Channel Darter, Northern Riffleshell, Eastern Pondmussel, and Kidneyshell.

Eight snails were documented in secondary sources (Appendix B). Five are non-native, Grovesnail, Chinese Mysterysnail, Gray Fieldslug, Giant Gardenslug, and Dark-bodied Glass-snail. The Striped Whitelip and Proud Globelet are provincially rare (S1, S2, S3), and the Proud Globelet is also an endangered species.

Hundreds of spiders and insects occurred in the iNaturalist search that NHIC does not recognize, and therefore information on native and rare status is unknown. However, 794 species recognized by NHIC were collected from all queried sources (Appendix B). Fifty-six (56) are provincially rare (S1, S2, S3) and three are provincially listed on the Endangered Species Act, 2007, Rusty-patched Bumble Bee, Monarch, and Mottled Duskywing. Lastly, three are prairie and savannah indicator species present on the SOFIA list (SOFIA, 2020), Wild Indigo Duskywing, Mottled Duskywing, and Regal Fritillary.

In line with the above, the City of Windsor contains ample biodiversity and Matchett and Malden Road may act as barriers to the safe movement and natural processes of invertebrate species.

4.0 Identify Ecopassage Solutions and Options

To address structure type, species-specific behaviours should be incorporated into the crossing structure design. However, sometimes these concerns are offset by other project constraints, including the cost of the structure, available material and expertise, and physical limitations of the site, e.g., soil, terrain, and hydrology (U.S. Department of Transportation, 2011). To the extent possible, the objective should be to create landscape permeability for a variety of species. In the City of Windsor, those solutions which maximize crossing by a variety of species are preferred due to the concentrated biodiversity within natural areas. Ultimately, wildlife crossings have two purposes: to 1) connect habitats and populations; and 2) reduce road mortality. When facilitating connections, overpasses and underpasses are discussed.

Wildlife crossings come in a variety of shapes and sizes, depending on their specific objective. Overpass designs are landscape bridges, wildlife overpasses, mixed-use overpasses (wildlife-human), and canopy crossings. Underpass designs are viaducts, large mammal underpasses, mixed-use underpasses, underpasses with waterflow, small and medium mammal underpasses, modified culverts, and herptile tunnels. Determining the type of wildlife crossing structure most suitable for a given location depends on several criteria (Table 6; Table 7). Selection begins by identifying a general wildlife crossing type that conforms to the habitat connectivity potential for the target species and topography of the site chosen (U.S. Department of Transportation, 2011). Additionally, landscape bridges and large wildlife overpasses have been the most effective structures for multiple species (U.S. Department of Transportation, 2011 and Ministry of Transportation, 2016).

The Study Area has large mammals-ungulates (deer); high-mobility medium-sized mammals-carnivores (coyote, fox); low mobility medium-sized mammals (raccoon, skunk, groundhog); small mammals (voles, mice); amphibians; and reptiles. To provide a mechanism of evaluation to determine which wildlife

crossing type is recommended for most species, a rank was provided in Table 6. Landscape bridge and viaduct can accommodate all species mostly due to their large size (width varies, however, 50+ m wide is typical). Wildlife overpass will also accommodate all species and may not be as wide as a landscape bridge, especially if the length is shorter. A large underpass will also largely accommodate the crossing of various species if it is not restrictive to White-tailed Deer. These options must include adaptations, such as microhabitat features, to be permeable to the wide variety of species.

Table 6 Suitability of Wildlife Crossing Design Type for Species and Groups

Species/Group	Landscape Bridge	Wildlife Overpass	Mixed-use Overpass	Canopy Crossing	Viaduct	Large Mammal Underpass	Mixed-use Underpass	Underpass with Waterflow	Small to Medium Mammal Underpass	Modified Culvert	Herptile Tunnel
Ungulates-Deer	☑	☑	⊗	N/A	☑	⊖	⊗	⊖	⊗	⊗	N/A
Carnivores – Coyote, Fox	☑	☑	☑	N/A	☑	☑	☑	☑	☑	⊖	N/A
Low Mobility Mammal- Raccoon, Skunk	☑	☑	☑	N/A	☑	☑	☑	☑	☑	☑	⊖
Semi-arboreal Mammals (Red Squirrel)	⊖	⊖	⊖	☑	⊖	⊖	⊖	⊖	⊗	⊗	⊗
Semi-aquatic Mammals	⊖	⊖	⊖	N/A	⊖	⊖	⊖	☑	⊖	☑	⊖
Small Mammals - voles, mice	☑	☑	☑	⊖	☑	☑	☑	☑	☑	☑	⊖
Amphibians	⊖	⊖	⊖	N/A	⊖	⊖	⊖	⊖	⊖	☑	☑
Reptiles	☑	☑	☑	N/A	☑	☑	☑	⊖	☑	☑	⊖
Ranking⁴	13	13	11	3	13	12	11	12	10	11	6

Note(s)

- ☑ [Recommended]
- ⊖ [Possible if adapted]
- ⊗ [Not Recommended]
- To evaluate which design type accommodates the most species/group a ranking was provided where ☑=2 pts, ⊖=1pts, and ⊗=0pts.

Table 7 General Wildlife Crossing Design Criteria

Species	Openness Ratio	Tunnel-type (Minimum Dimensions)					Substrate Type	Additional Considerations
		Pipe Culvert (diameter)	Box Culvert	Open or Grated-top Culvert	Arch Tunnel	Large Underpass or Overpass		
Reptiles (Turtle)	>0.25 no less than 0.1	15m length: 1.5m 15-25m length: 1.8m	15m length: 1.5 x 1.0m 15-25m length: 1.8 x 1.0m	May increase crossing success	15m length: 1.8 x 0.9m 15-25m length: 2.0 x 1.0m	If longer than 25m span, Large Underpass (>3m) or Overpass preferred	Water for aquatic species, substrate may not be as important for terrestrial species	Crossings should be placed along migration corridors. Structures should not be separated more than 150-300m; several hundreds of metres (Carsignol et al. 2005).
Reptiles (Snake)	>0.1 no less than 0.07	15m length: 1.0m 15-25m length: 1.5m	15m length: 1.0 x 1.0m 15-25m length: 1.5 x 1.0m	May increase crossing success	15m length: 1.5 x 0.75m 15-25m length: 1.8 x 0.9m	If longer than 25m span, Large Underpass (>3m) or Overpass preferred	Water for aquatic species, open-bottom or natural substrate may enhance use. Cover objects at larger crossing structures are ideal.	Crossings should be placed along migration corridors. Structures should not be separated more than several hundreds of metres (Carsignol et al. 2005).
Amphibians (Frog, Toad)	>0.1 no less than 0.07	15m length: 1.0m 15-25m length: 1.5m	15m length: 1.0 x 1.0m 15-25m length: 1.5 x 1.0m	Both closed and open top tunnels have been used	15m length: 1.5 x 0.75m 15-25m length: 1.8 x 0.9m	If longer than 25m span, Large Underpass (>3m) or Overpass preferred	Terrestrial bottom tunnels should be used for anurans; high moisture content and even small pools of standing water may be beneficial but the tunnel should not be flooded with water.	Crossings should be placed along migration corridors (between overwintering and breeding habitat). Tunnels for amphibians should not be more than 50 m apart (Schmidt and Zumbach 2008; Ryser and Grossenbacher 1989).
Amphibians (Salamander)	>0.1 no less than 0.07	15m length: 1.0m 15-25m length: 1.5m	15m length: 1.0 x 1.0m 15-25m length: 1.5 x 1.0m	Both closed and open top tunnels have been used by mole salamanders	15m length: 1.5 x 0.75m 15-25m length: 1.8 x 0.9m	If longer than 25m span, Large Underpass (>3m) or Overpass preferred	Terrestrial bottom tunnels should be used for salamanders; high moisture content and even small pools of standing water may be beneficial but the tunnel should not be flooded with water.	Crossings should be placed along migration corridors (between overwintering and breeding habitat). Tunnels for amphibians should not be more than 50 m apart (Schmidt and Zumbach 2008; Ryser and Grossenbacher 1989) as salamanders will not follow a fence for long distances (e.g. Pagnucco et al. 2012).
Small Mammal (Rabbit, Mouse, Squirrel)	0.05	0.5-1m	<3.0m <2.0m		<3.0m	If longer than 25m span, Large Underpass (>3m) or Overpass preferred	Cover should be provided within larger tunnels to encourage crossing of smaller mammals.	Ledges for mammals can be added to drainage culverts to encourage crossing. More frequently placed culverts (150 to 300 m intervals) using a range of sizes (1 to 1.5 m for mid-size animals; 0.5 to 1 m size for small mammals) can improve connectivity across roads for small animals.
Meso-mammals (Fox, Raccoon)	0.4	1-1.5m	3.0m		>3.0m	If longer than 25m span, Large Underpass (>3m) or Overpass preferred	Terrestrial pathways should be 0.5 m for small and medium animals, and 2-3 m for large mammals (Clevenger and Huijser 2011).	Ledges for mammals can be added to drainage culverts to encourage crossing. Culverts should be spaced every 150-300 m.
Large Mammal (Coyote, Deer)	0.6 - 1.0 for Deer 0.2 Other	3.0m can be used but larger is preferred	3.0m can be used but larger is preferred		3.0m can be used but larger is preferred	Overpass preferred by Deer	Terrestrial pathways should be 0.5 m for small and medium animals, and 2-3 m for large mammals (Clevenger and Huijser 2011).	Minimizing human activity near the structure is considered important for wildlife use. Culverts should be spaced every 1.5 km.

Notes:

1. Openness Ratios for Box Culvert = (Height X Width) / Length and for Corrugated Steel Pipe (CSP) = (πr²) / Length
2. Ontario Ministry of Natural Resources and Forestry. April 2016. Best Management Practices for Mitigating the Effects of Roads on Amphibians and Reptile Species at Risk in Ontario. Queen's Printer for Ontario. 112 pp.
3. Ministry of Transportation. 2016. Environmental Guide for Mitigating Road Impacts to Wildlife. Updated final report submitted by Eco-Kare International to the Ministry of Transportation, St. Catharines, Ontario, 107 pages.
4. Credit Valley Conservation. 2017. Fish and Wildlife Crossing Guidelines. Version number 1.0. Last Updated March 20, 2017

5.0 Identify Placement for the Matchett and Malden Ecopassages

Location of ecopassages is important for less mobile species or animals with small home ranges or habitat specialists (Yanes, Velasco, & Suárez, 1995; Jackson & Griffin, 2000). Ecopassages should not lead to an ecological dead-end and should allow for dispersal and free movement to areas which wildlife requires for biological processes. Matchett Road and Malden Road have been identified as a wildlife conflict zone. Wildlife conflict zones are road segments where animals are most likely to interact with the road. Therefore, mitigation efforts (e.g., wildlife crossings and ecopassages) should be considered in wildlife conflict zones (Ministry of Transportation, 2016). A habitat connection on Matchett Road and Malden Road considers the larger landscape and projected land use.

Connectivity analysis at the landscape level can provide a general area where wildlife may be more likely to cross. Still, specific locations may need to be determined based on fieldwork and design considerations. Design considerations such as local conditions and engineering concerns determine the specific placement of wildlife crossings and are required at the project level (U.S. Department of Transportation, 2011). A connectivity analysis was completed herein for the Study Area. Road mortality studies for reptiles and spatial analysis studies completed by others (Choquette & Valliant, 2016) suggest that reptiles move in a southeast-northwest route along the utility right-of-way from LaSalle Woods ESA, through the Ojibway Prairie Complex, to the Parkway.

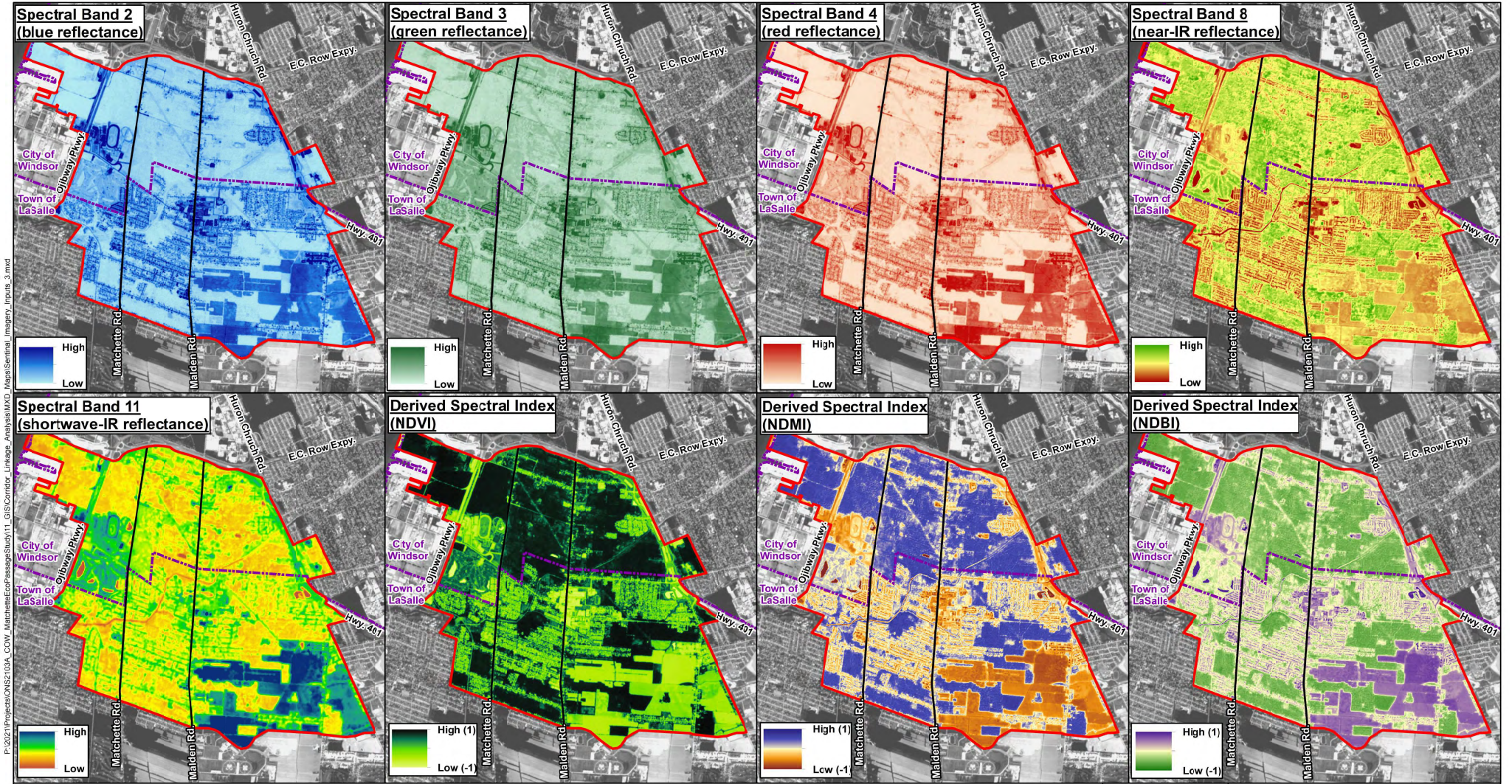
5.1 Connectivity Analysis

The connectivity analysis for the optimal ecopassage location used the least resistive (lowest impedance) wildlife movement corridor habitat patch GIS modelling. Sentinel 2A (European Space Agency) multi-spectral satellite imagery (10 m by 10 m spatial resolution), collected on June 18, 2020, was used as the raw data input for constructing the wildlife movement impedance surface. Various reflectance bands along with multi-spectral imagery derived index layers were combined into an eight-layer stacked data pool to be used in an unsupervised image classification procedure (Figure 5-A for information regarding multi-spectral imagery and indices used in this analysis).

The ISODATA (k-means) clustering algorithm was used on this data pool to categorize every 10 m by 10 m pixel into specific clusters based on overall similarities of reflectance characteristics from the layer stack. The resulting classified imagery was further aggregated into ordinal categories using visual inspection and known landscape features, such as golf courses, existing ecopassage locations (e.g., T5), and vegetation communities within the Study Area. The ordinal categories were ranked from 1, low wildlife movement impedance/resistivity (i.e., most suitable wildlife habitat), to 5, high wildlife movement impedance/resistivity (i.e., least suitable wildlife habitat). These categories were combined to generate the wildlife movement impedance surface. This surface functioned as the basis for habitat connectivity and corridor identification across the Study Area (Figure 5-B – MAP A for the wildlife movement impedance surface).

Patches of pixels categorized with the lowest impedance values from the wildlife movement impedance surface were isolated in areas west of Matchett Road (the western portion of the Study Area) and east of Malden Road (the eastern portion of the Study Area). These patches of land were considered “good” habitat fragments for general wildlife within the Study Area based on the image classification and category aggregation performed earlier. A cumulative landscape wildlife movement resistivity surface was generated extending outward from good habitat patches west of Matchett Road, and subsequently

extending outward from good habitat patches east of Malden Road (Figure 5-B – MAP B and C for information regarding the cumulative landscape wildlife movement resistivity surfaces). The two cumulative landscape wildlife movement resistivity surfaces (one extending from good habitat west of Matchett Road, and one extending from good habitat east of Malden Road) were combined to identify the lowest cumulative impedance connective corridors crossing the Study Area, and therefore; crossing both Malden Road and Matchett Road. A density slicing technique was used on the combined cumulative landscape wildlife resistivity surface to highlight primary, secondary, and tertiary corridor areas connecting good habitat patches on one side of the Study Area to the other (Figure 5-C – MAP A for information regarding the combined cumulative landscape wildlife resistivity surface and corridor areas). The results of the least resistive (lowest impedance) wildlife movement corridor habitat patch connectivity analysis was simplified to help illustrate generalized good wildlife corridors crossing Malden Road and Matchett Road. Also, segments of Malden Road and Matchett Road were identified as Primary Crossing Areas, Secondary Crossing Areas and Tertiary Crossing Areas based on the results from the analysis (Figure 5-C – MAP B for information regarding the wildlife movement corridors and crossing locations/areas).



LEGEND

- Approximate Study Area
- Malden and Matchette Road Location within Study Area
- City of Windsor Municipal Border

Sentinel 2A Imagery and Imagery Derived Input Information:

- Spectral Band 2: Blue reflectance values. Ten metre resolution imagery with 16-bit scale reflectance ramp. Reflectance digital number values represent wavelength range 458-523 nm.
- Spectral Band 3: Green reflectance values. Ten metre resolution imagery with 16-bit scale reflectance ramp. Reflectance digital number values represent wavelength range 543-578 nm.
- Spectral Band 4: Red reflectance values. Ten metre resolution imagery with 16-bit scale reflectance ramp. Reflectance digital number values represent wavelength range 650-680 nm.
- Spectral Band 8: Near infrared reflectance values. Ten metre resolution imagery with 16-bit scale reflectance ramp. Reflectance digital number values represent wavelength range 785-899 nm.
- Spectral Band 11: Shortwave infrared reflectance values. Twenty metre resolution imagery with 16-bit scale reflectance ramp. Reflectance digital number values represent wavelength range 1565-1665 nm
- Derived Spectral Index (NDVI): Normalized Difference Vegetation Index (band 8 - band 4 / band 8 + band 4). Derived spectral index indicating variation in vegetation growth and productivity.
- Derived Spectral Index (NDMI): Normalized Difference Moisture Index (band 8 - band 11 / band 8 + band 11). Derived spectral index indicating variation in vegetation water content and plant biomass.
- Derived Spectral Index (NDBI): Normalized Difference Built-up Index (band 11 - band 8 / band 11 + band 8). Derived spectral index indicating variation in urbanized, built-up or anthropogenic developed areas.

NOTES:

- Road and Municipal border info extracted from Ontario GeoHub, NDMNRF 2021
- Sentinel 2A satellite data extracted from Copernicus Open Access Hub European Space Agency, Scene Date is June 18, 2020, L1C_T17TLG_AC26063_20200618 T162536

THE CITY OF WINDSOR wood.

MALDEN AND MATCHETTE ECO PASSAGE STUDY

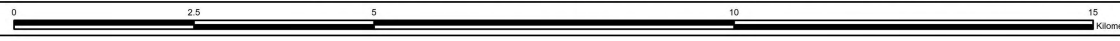
Sentinel 2A Satellite Platform Imagery and Imagery Derived Inputs for Inclusion in General Landscape Wildlife Movement Impedance Surface

Datum: NAD83
Projection: UTM Zone 17N

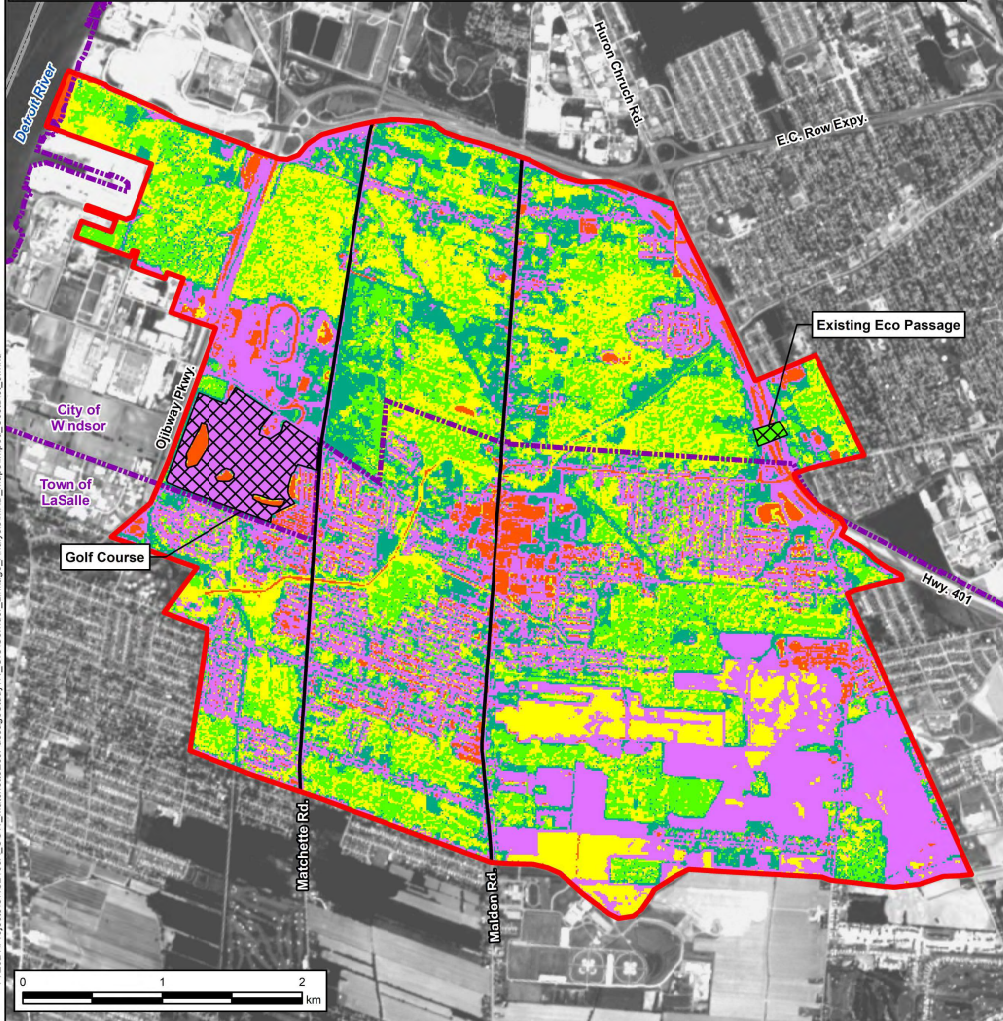


PROJECT N^o: ONS2103A
SCALE: 1:68,000

FIGURE: 5A
DATE: October 2021



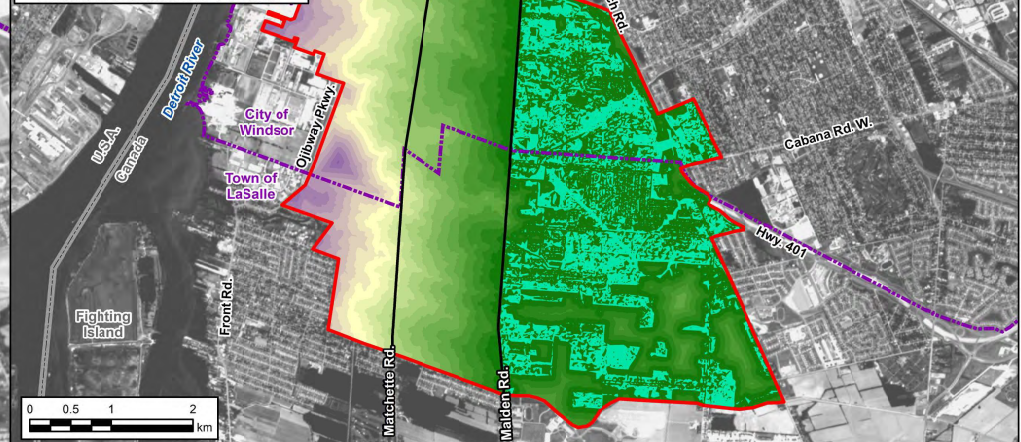
MAP A: Refined and Categorized Landscape Wildlife Movement Impedance Surface



MAP B: Low Impedance / Good Habitat Patches West of Matchette Road



MAP C: Low Impedance / Good Habitat Patches East of Malden Road



- LEGEND**
- Approximate Study Area
 - Malden and Matchette Road Location within Study Area
 - City of Windsor Municipal Border
 - National Border

- MAP A:**
- Areas where Categories were refined due to visual inspection of anthropogenic Influence (labelled on map)
- Categorized Landscape Wildlife Movement Impedance Surface**
- Low Impedance Area for general Wildlife Movement across the Landscape (good habitat: prairie, meadow, moderately treed natural area, etc.)
 - High Impedance Area for general Wildlife Movement across the Landscape (not good habitat: urban infrastructure, anthropogenic structures, unvegetated areas, open water, etc.)

- MAP B and C:**
- Low Impedance / Good Habitat Patches isolated to the west side of Matchette Road (Map B) and east side of Malden Road (Map C)
- Cumulative Landscape Wildlife Movement Resistivity based on Wildlife Movement Impedance Surface Categories Extending outward from good habitat patches (west of Matchette Road on Map B, east of Malden Road on Map C)**
- High accumulated Impedance moving across the landscape from good habitat patches
 - Low accumulated Impedance moving across the landscape from good habitat patches

NOTES:
 - Road and Municipal border info extracted from Ontario GeoHub, NE/MNRF 2021
 - Sentinel 2A satellite data extracted from Copernicus Open Access Hub, European Space Agency, Scene Date is June 18, 2020, LIC: T17TLG_AC26063_20200618 T162536

Datum: NAD83
 Projection: UTM Zone 17N



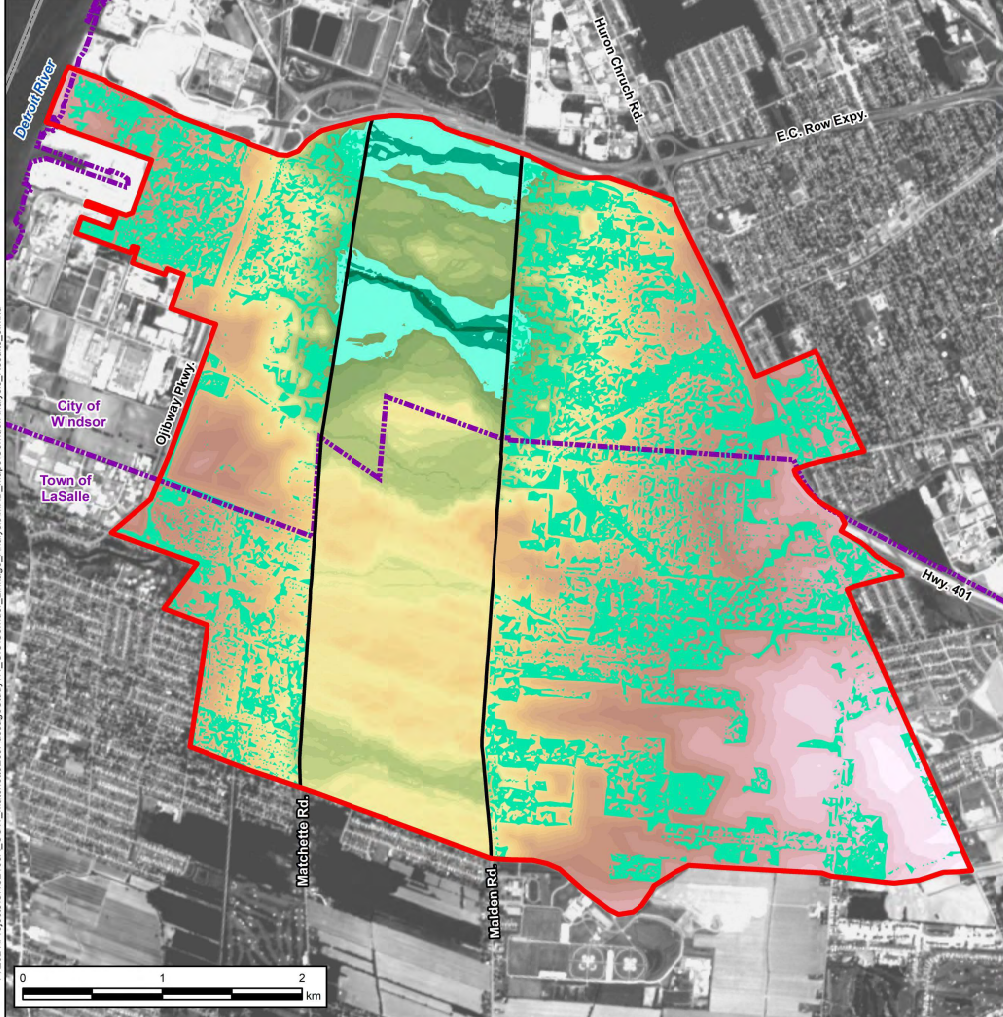
**MALDEN AND MATCHETTE
 ECO PASSAGE STUDY**

Resultant Categorized Landscape Wildlife Movement Impedance Surface and Cumulative Landscape Wildlife Movement Resistivity Analysis from Good Habitat West of Matchette Rd. and East of Malden Rd.

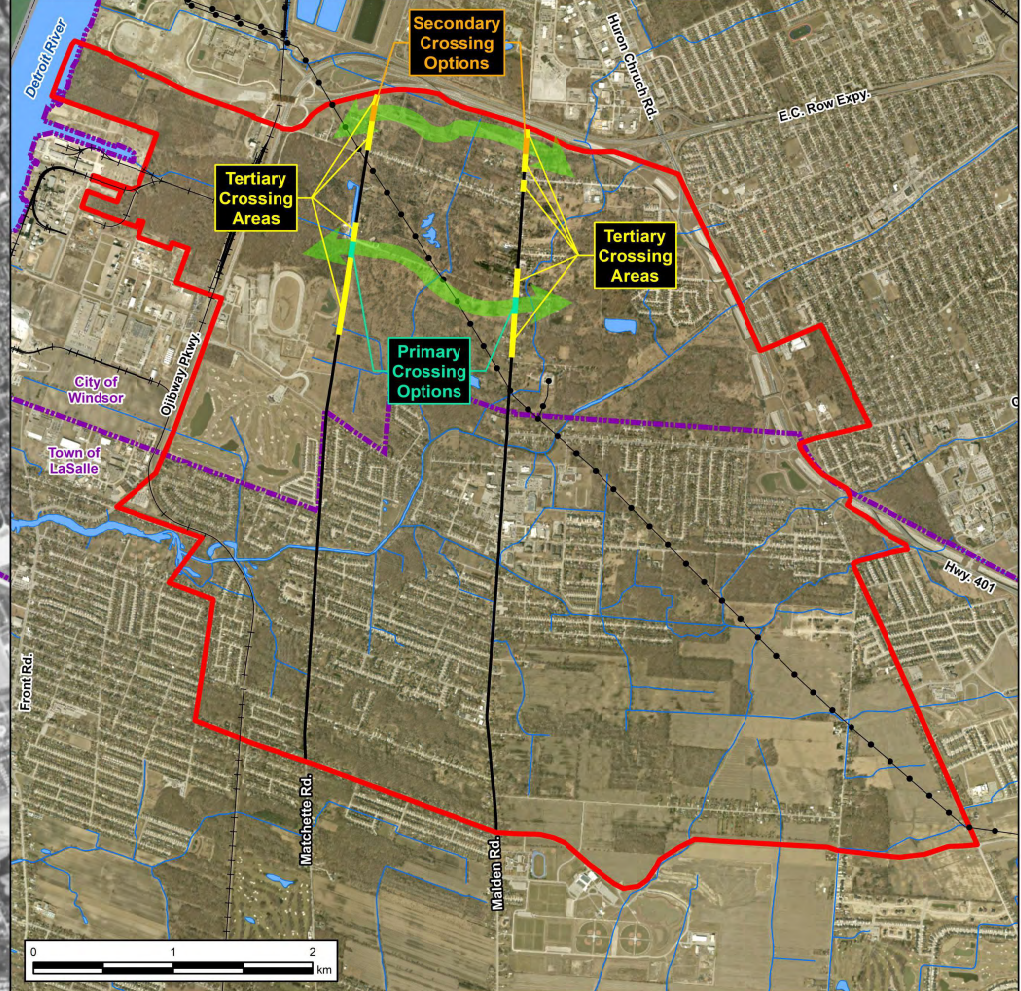
PROJECT N^o: ONS2103A **FIGURE: 5B**
 SCALE: MAP A: 1:35,000 DATE: October 2021
 MAP B, C: 1:60,000

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MAP A: Identified Wildlife Habitat Corridor Areas Crossing Malden and Matchette Road



MAP B: Primary, Secondary and Tertiary Crossing Options and Wildlife Movement Corridors Crossing Malden and Matchette Road



- LEGEND**
- Approximate Study Area
 - Malden and Matchette Road Location within Study Area
 - Railway
 - Hydro Line
 - City of Windsor Municipal Border
 - National Border

- MAP A:**
- Low Impedance / Good Habitat Patches isolated to the west side of Matchette Road and east side of Malden Road
 - Identified Corridor Areas Crossing Malden and Matchette Road
 - Primary Corridor Area (lowest wildlife movement resistivity from good habitat west of Matchette Rd. and east of Malden Rd.)
 - Secondary Corridor Area (lower wildlife movement resistivity from good habitat west of Matchette Rd. and east of Malden Rd.)
 - Tertiary Corridor Area (low wildlife movement resistivity from good habitat west of Matchette Rd. and east of Malden Rd.)

- Combined Cumulative Landscape Wildlife Movement Resistivity Surface Indicating Overall Low/High Impedance Corridors from Good Habitat Patches West of Matchette Rd. and Good Habitat Patches East of Malden Rd.**
- High Combined Cumulative Impedance Area moving across the landscape from good habitat patches
 - Low Combined Cumulative Impedance Area moving across the landscape from good habitat patches
- MAP B:**
- Primary and Secondary Wildlife Movement Corridors crossing Malden Rd. and Matchette Rd.
 - Primary Crossing Location
 - Secondary Crossing Location
 - Tertiary Crossing Area

NOTES:
 - Road and Municipal border info extracted from Ontario GeoHub, ND/NINRF 2021
 - Sentinel 2A satellite data extracted from Copernicus Open Access Hub European Space Agency, Scene Date is June 18, 2020, L1C_T17TLG_AC26063_20200618_T162536
 - Aerial imagery (Map B) extracted from Essex County interactive map, 2019.

Datum: NAD83
 Projection: UTM Zone 17N



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MALDEN AND MATCHETTE ECO PASSAGE STUDY

Resultant Wildlife Habitat Corridor Areas and Primary, Secondary and Tertiary Crossing Options and Wildlife Movement Corridors Crossing Malden and Matchette Road

PROJECT N^o: ONS2103A **FIGURE: 5C**

SCALE: 1:35,000 DATE: October 2021

6.0 Matchett Road Selection of Preferred Ecopassage Type and Location

Based on the biodiversity and significance of species in the Study Area, the ecopassage should be a type that accommodates all wildlife species, as well as vegetation. Landscape bridge, wildlife overpass, and viaduct can accommodate all wildlife species, and a large underpass could also generally accommodate the crossing of a variety of species. Landscape bridge and viaduct are larger structures and are typically implemented when the span of the road is over 25 m.

The Primary Crossing Area in Figure 5-C Map B Matchett Road is approximately 10 m shoulder to shoulder. The Primary Crossing Area occurs south of the Ojibway Nature Centre, and the crossing footings could occur on City land on the west side within Ojibway Park and provincially-owned land on the east side in Ojibway Prairie Provincial Nature Reserve (Figure 7-A). Field observations from winter 2021 (Section 3.4 and Figure 3-B) also suggest that the Primary Crossing Area is where many species approach the road naturally.

If current road widths are to remain long-term (i.e., Matchett Road will not be widened to accommodate increased traffic or transportation corridors), a landscape bridge or viaduct may not be practical from an engineering perspective, as the road is too narrow. Additionally, there is no large watercourse or valleyland to support a viaduct or a large underpass. A review of available aerial imagery and the City's open data for municipal drains/channelized watercourses indicates the presence of only roadside ditches within the Primary Crossing Area, which route the stormwater in the road right-of-way to one of the municipal drains. Additionally, there are no known wetlands or 100-year flood lines; however, the area does fall within 30 m of adjacent wetlands (to the east) and would be subject to ERCA regulations. The Primary Crossing Area is also within a significant groundwater recharge area. The available elevation data indicates that the Study Area and the surrounding region is very flat. Lastly, significant municipal and provincial protected natural areas occur on both sides of Matchett Road at the Primary Crossing Area.

A narrower wildlife overpass may also accommodate most species while adapting to the narrow road width. The width of the crossing must be evaluated in the context of the footprint on each side of the road. The wider the ecopassage, the larger the construction footprint. Then again, a larger structure may reduce the requirement for additional mammal dedicated crossings in the Secondary Crossing Area or elsewhere. Typically, crossings dedicated to small and meso-mammals require a crossing that is at least 3 m in width. Those ecopassages which accommodate broader habitat linkages and plant dispersal are 50 m wide.

Traffic numbers (provided by the City) for Matchett Road South of Broadway Street in 2021 are 8886 vehicles on average daily. However, if deer collisions are not an issue, fencing that does not impede deer or appropriate placement and incorporation of escape ramps may allow free movement of deer across Matchett Road. The crossing(s) may not have to accommodate deer if they are not restricted by fencing. Therefore, a narrower wildlife overpass in combination with road mitigation measures such as signage, lighting, and infrastructure adaptations (e.g., curbs, drainage grates, jersey barriers, the width of road median) can be effectively used by small and meso-mammals while also reducing deer collisions. A wildlife overpass which aims to connect several species and species groups must also include adaptations such as microhabitat features (such as stepping pools, brush piles, rock piles, etc.) to be permeable.

Lastly, narrow crossings and crossing structures for smaller animals (including amphibians, turtles, and snakes) should be spaced approximately 300 m apart (Ministry of Transportation, 2016 and Ontario

Ministry of Natural Resources and Forestry, 2016). For example, it is recommended that additional crossings dedicated to smaller animals be considered at the stormwater management pond adjacent to the former racetrack along Matchett Road, in the Tertiary Crossing Area to the south of the Primary Crossing Area. Field observations from winter 2021 (Section 3.4 and Figure 3-B) also suggest that this Tertiary Crossing Area is where many small species approach the road naturally. Note, this would only be feasible pending the long-term land use of the area. If the stormwater management pond adjacent to the racetrack is temporary and to be removed, a crossing would not be reasonable. Wildlife crossings are permanent structures within a changing landscape. The lifespan of wildlife crossing structures is around 70–80 years (U.S. Department of Transportation, 2011). Therefore, the location and design of the crossings need to accommodate the changing dynamics of habitat and climatic conditions and their wildlife populations over time (U.S. Department of Transportation, 2011).

A crossing dedicated to smaller animals may also be appropriate north of the Ojibway Nature Centre to capture migration away from the watercourse and pond within Ojibway Park (north of the residential land use). Likewise, previous local studies found that mortality “hotspots” occurred where roads intersected with the utility corridor (Choquette & Valliant, 2016). The utility corridor is in the same location as the suggested additional crossing north of the Ojibway Nature Centre near the pond; therefore, an additional small animal dedicated crossing is also supported by the local studies in this location. It is also notable, that the Secondary Crossing Area noted on Figure 5-C along Matchett Road contains an ACO Wildlife KT500 Slotted Tunnel (Section 1.3). The ACO tunnel was installed to facilitate movement of SAR snakes under Matchett Road. To date, SAR snakes have approached the tunnel entrance on the east side of Matchett Road but have not yet travelled through the tunnel. Adaptive management could also be considered at this tunnel to improve SAR snake connectivity.

It is recommended that detailed studies that inform road mortality and current movement corridors along Matchett Road between Sprucewood Avenue and the E C. Row Expressway/Rt. Hon. Herb Gray Parkway occur (that considers all species groups) to refine crossing locations and types. It is ideal to use both theoretical and empirical data to determine the site-specific location of wildlife crossings, when possible, as field-based assessments can help verify and refine where wildlife crossings are required. Field-based assessments are typically conducted during an Environmental Assessment (EA) at the project preliminary design stage (Ministry of Transportation, 2016). Additional preconstruction surveys and integration of that data (i.e., future land use, engineering constraints) can inform crossing placement, fencing, and escape ramp locations and feasibility.

7.0 Malden Road Selection of Preferred Ecopassage Type and Location

Based on the biodiversity and significance of species in the Study Area, the ecopassage should be a type that accommodates all wildlife species, as well as vegetation. Landscape bridge, wildlife overpass, and viaduct can accommodate all wildlife species and a large underpass could also largely accommodate crossing of a variety of species. Landscape bridge and viaduct are larger structures and are typically implemented when the span of the road is over 25 m. The Primary Crossing Area in Figure 5-C Map B Malden Road is approximately 10 m shoulder to shoulder. The Primary Crossing Area occurs south of the Ojibway Prairie Provincial Nature Reserve parking lot and trailhead (across from Elgin Street). The crossing footings could occur within Titcombe Park on the west side (which is not City owned) and would be in residential lots on the east side (Figure 7-A). Field observations from winter 2021 (Section 3.4 and Figure 3-B) suggest that the Primary Crossing Area is where species approach the road naturally.

Given the residential constraints along Malden Road, it is thought that the narrow road width and reduced road footprint would remain long-term. Similar to Matchett Road, a viaduct and large underpass may not be practical from an engineering perspective as there is no large watercourse or valleyland. Unlike Matchett Road, easements and land acquisition with individual residential owners must be considered when planning for a crossing and may reduce the potential width and characteristics of a crossing. The land use along Malden Road will also require strategic planning of fencing and escape ramps.

A review of available aerial imagery and the City's open data for municipal drains/channelized watercourses indicates the presence of roadside ditches within the Primary Crossing Area, which route the stormwater in the road right-of-way to one of the municipal drains. Additionally, there are no known wetlands, 100-year flood lines, municipal or provincially significant natural areas, or significant groundwater recharge areas at the Primary Crossing Area on Malden Road. However, the area does fall within 30 m of adjacent wetlands and would be subject to ERCA regulations. The available elevation data indicates that the Study Area and the surrounding region is very flat.

In terms of large (over 3 m in width) and singular crossings, a wildlife overpass or landscape bridge is more feasible than a viaduct or large underpass at the Primary Crossing Area on Malden Road. The width of the crossing must be evaluated in the context of the footprint on each side of the road. The wider the ecopassage, the larger the construction footprint and more land acquisition might be necessary. Similar to potential crossings along Matchett Road, ecopassages that function to accommodate habitat linkages, large animals, and plant dispersal are very wide. However, if large animal (deer) collisions are not an issue and/or mitigation measures to facilitate their safe passage across the roadway are also feasible to implement, then a smaller wildlife crossing dedicated to small and meso-mammals can be considered (these crossings are at least 3 m in width). Traffic numbers (provided by the City) for Malden Road South of Spring Garden Road in 2017 was 6363 vehicles on average daily.

Depending on the width of the crossing at the Primary Crossing Area, additional crossings may or may not be recommended. A larger structure at the Primary Crossing Area may reduce the requirement for additional mammal-dedicated crossings in the Secondary Location or elsewhere. According to the local study by Choquette & Valliant (2016), a connection between Tallgrass Prairie Heritage Park and SGNA on the north side of the Ojibway Prairie Provincial Nature Reserve parking lot and trailhead was recommended to mitigate potential mortality "hotspots" where Malden Road intersects the utility corridor. The Connectivity Analysis Primary Crossing Area and the local studies concur that this general area around the parking lot and trailhead is essential when considering ecopassage mitigation. Field observations from winter 2021 (Section 3.4 and Figure 3-B) suggest that deer cross in higher numbers at the utility corridor, approaching the road naturally; however, deer do not seem to be confined to any specific location. A wildlife overpass which aims to connect several species and species groups must also include adaptations such as microhabitat features to be permeable.

Narrow crossing structures for smaller animals, including amphibians, turtles, and snakes, should be spaced approximately 300 m apart (Ministry of Transportation, 2016 and Ontario Ministry of Natural Resources and Forestry, 2016). However, due to ownership constraints and the absence of municipally owned lands along Malden Road, additional crossings may not be feasible. Approximately 500 m south of the Primary Crossing Area, a watercourse crossing/municipal drain called Basin Drain occurs. Basin Drain crosses under Malden Road at the same location as the utility corridor. Existing culverts can be modified/retrofitted and used as a wildlife crossing. Moreover, land ownership might be less restrictive around a municipal drain. This culvert could be a suitable location for an additional crossing. Field observations from winter 2021 (Section 3.4 and Figure 3-B) note the occurrence of Wild Turkey at Basin Drain.

Similar to the recommendations for placement location along Matchett Road, it is also recommended that detailed studies that inform road mortality and current movement corridors along Malden Road between the bridge south of the Todd Lane roundabout and the E C. Row Expressway/Rt. Hon. Herb Gray Parkway and side streets occur. Combining the field-based assessments with results of the connectivity analysis or movement models will better support the understanding of wildlife movement and inform crossing placement, fencing, and escape ramp locations and feasibility. Implementing effective fencing along Malden Road to ensure the use of the crossing by wildlife will be constrained by property boundaries. Fencing will likely have to follow rear lot lines and watercourses. The City may have to consider the retrofit of existing culverts as additional wildlife crossings. An in-depth look at mortality on Malden Road and the ways to mitigate it should be conducted to refine crossing locations and types.



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- LEGEND**
- Properties Owned by The City of Windsor
 - Municipal Park
 - Natural Heritage Feature (ANSI, Provincially Significant Wetland, Environmentally Significant Area and Provincial Park)
 - Watercourse / Drain
 - Waterbody
 - Railway
 - Hydro Line
 - Primary Crossing Location
 - Secondary Crossing Location
 - Tertiary Crossing Location
 - ↔ Primary and Secondary Wildlife Movement Corridors crossing Malden Rd. and Matchette Rd.

NOTES:
 - Aerial Imagery extracted from Essex County interactive map, 2019.

Datum: NAD83
 Projection: UTM Zone 17N

MALDEN AND MATCHETTE ECO PASSAGE STUDY	
Potential Wildlife Crossings and Land Ownership	
PROJECT N ^o : ONS2103A SCALE: 1:10,000	FIGURE: 7-A DATE: November 2021

8.0 General Limitations and Preliminary Recommendations

Based on the analysis, there are several potentially suitable crossing locations to be considered. Based on preliminary objectives an overpass structure is recommended at the Primary Crossing Areas. Additionally, considerations to include a combination of secondary crossings (small to medium mammal underpass, modified culvert, and herptile tunnel) along Matchett Road and Malden Road should be given. Below are several factors to consider when initiating the next steps to determine the feasibility of a wildlife crossing, including:

- Long-term maintenance agreements;
- Cost and Funding for implementation, long-term maintenance, and monitoring;
- Land ownership and long-term land use;
- Human interactions/disturbance; and
- Environmental constraints.

Crossing structures and fencing are effective measures in reducing WVCs and providing connections between fragmented habitats (Ministry of Transportation, 2016). When selecting wildlife crossing types where a roadway bisects habitat of high conservation value, mixed-use crossings should not be used (U.S. Department of Transportation, 2011 and Ministry of Transportation, 2016). Preventing human use of large overpasses will be difficult, especially if overpasses are near nature centers and trailheads.

Engineering, geotechnical, and hydrological studies have not been completed, and these elements may refine or change ultimate crossing locations. Additionally, land ownership limitations will be a limiting factor in crossing and fencing placement, especially along Malden Road. Wildlife fencing is the most effective and preferred method to guide wildlife to the structure and prevent intrusions onto the roadway (Ontario Road Ecology Group, Toronto Zoo, 2010; U.S. Department of Transportation, 2011; and Ministry of Transportation, 2016). In general, both sides of the roadway must be fenced in equal lengths (symmetric) (U.S. Department of Transportation, 2011), and fencing must be designed for target species (U.S. Department of Transportation, 2011 and Ministry of Transportation, 2016). Fencing is a key part of a mitigation plan and needs to consider what happens for wildlife that becomes trapped on the road. Escape ramps, gates, or doors must be used to allow for one-way movement off the road (U.S. Department of Transportation, 2011 and Ministry of Transportation, 2016).

One of the most important factors in site selection for wildlife crossings is adjacent land use compatibility (current and future). When the property for the wildlife crossing and areas for elements such as fencing is not owned by the City, an agreement and understanding on long-term responsibilities and financial investments must be understood by all land and utility owners. Additionally, an adjacent landowner may have a long-term plan for their property that would negate the crossing, such as specific management of utility corridors that may impact wildlife concentrated at the crossings. Therefore, the planning of a wildlife crossing must consider adjacent owners and long-term land use.

Likewise, coordination between internal departments (e.g., operations, engineering, parks) must be forecasted to understand how to proactively integrate concerns around growing infrastructure and changing landscapes (U.S. Department of Transportation, 2011). Wildlife crossings can only be as effective as the management strategies developed and the funding and ability to implement them. For wildlife

corridors to fulfil their function as habitat connectors, impacts from development and human disturbance must be mitigated. Long-term planning and landscape connectivity must be understood to ensure that the local-scale connection is effective.

It is recommended the City collect road mortality observations and additional field sampling to establish a baseline study and to refine the location of the ecopassages and other mitigation measures (e.g., additional crossings, fencing). A baseline study would ideally be completed for multiple years to gather data that accounts for population cycles; however, funding may be limited, and baseline studies may be completed as part of an EA.

After the final determinations on type and location, configuration, and maintenance are made, the cost analysis and implementation plan can begin (the third, fourth, and fifth steps of the road map Figure 2-A). The subsequent steps help integrate the project into the larger planning, construction, implementation, and long-term monitoring processes. Post-construction monitoring commitments must also be considered to inform effectiveness and adaptive management.

9.0 Closure

Available data from local naturalists and researchers, agencies, and conservation authorities have been reviewed and integrated where appropriate for the scope of this report. Occurrence records were provided by Choquette (Choquette J. D., 2012; Choquette & Valliant, 2016) along with records collected as part of the Herb Gray Parkway project (Wood 2011- 2020), data from Ojibway Nature Centre, Natural Heritage Information Centre, satellite imagery, and field reconnaissance. This report identifies the preferred crossing types as wildlife overpasses and Primary Crossing Areas on both Matchett Road and Malden Road. Additional recommendations and considerations are provided to aid in a wholesome review of potential planning factors.

10.0 References

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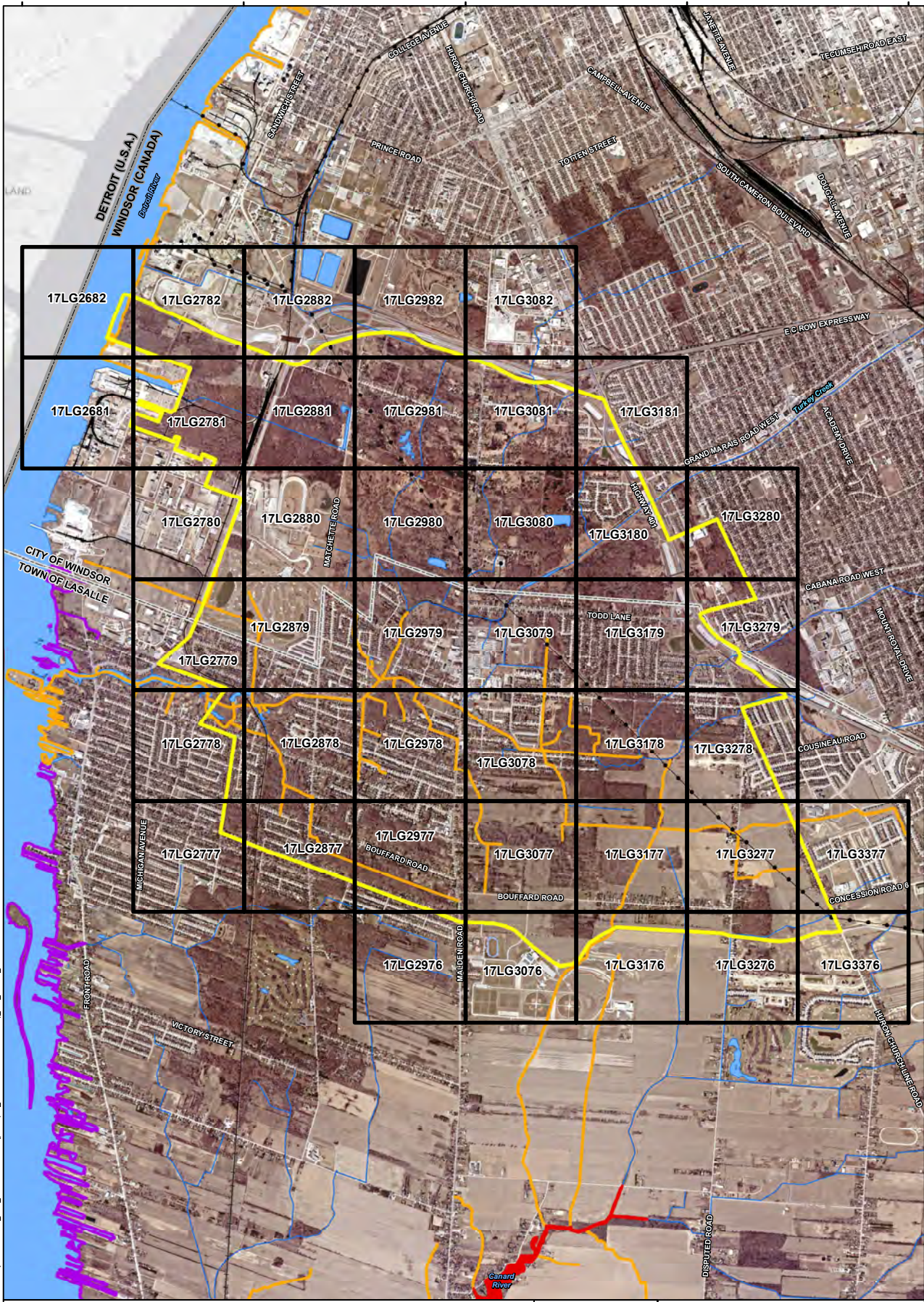
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Appendix A

Secondary Sources

Secondary Sources queried are listed below and visually presented in the attached Figure.

- Essex Region Conservation Authority Mapping;
 - Natural Areas (the group of layers, specifically PSW, ANSI, ESA, Existing natural feature, restoration opportunities)
 - ERCA regulation (name from the group of layers, specifically the 1:100 yr flood line and limit of regulated area)
 - Drainage (all in the group of layers, municipal drains, constructed drains, and the sub watershed boundaries)
 - Source water protection (group of layers, specifically surface water intake and significant groundwater recharge area)
- Species at Risk in Ontario List (MNRF 2018);
- Species at Risk Public Registry database (ECCC 2018);
- MNRF Natural Heritage Information Centre (NHIC) database square (1 km x 1 km) encompassing the Project (17LG2676, 17LG2677, 17LG2678, 17LG2679, 17LG2680, 17LG2681, 17LG2682, 17LG2776, 17LG2777, 17LG2778, 17LG2779, 17LG2780, 17LG2781, 17LG2782, 17LG2876, 17LG2877, 17LG2878, 17LG2879, 17LG2880, 17LG2881, 17LG2882, 17LG2976, 17LG2977, 17LG2978, 17LG2979, 17LG2980, 17LG2981, 17LG2982, 17LG3076, 17LG3077, 17LG3078, 17LG3079, 17LG3080, 17LG3081, 17LG3082, 17LG3176, 17LG3177, 17LG3178, 17LG3179, 17LG3180, 17LG3181, 17LG3182, 17LG3276, 17LG3277, 17LG3278, 17LG3279, 17LG3280, 17LG3281, 17LG3282) (MNRF 2021);
- Ontario Reptile and Amphibian Atlas (ORAA; square 17LG28, 17LG38, 17LG27, 17LG37);
- The Atlas (2001 to 2005) of the Breeding Birds of Ontario (ABBO) 10 x 10 km survey square 17NJ31 (Cadman et al. 2007);
- Ontario Butterfly Atlas by the Toronto Entomologists' Association (OBA) 10 x 10 km survey square 17NJ31;
- iNaturalist (Ojibway Prairie Complex, Windsor, ON, CA Point of Interest);
- Topographic data extracted from Land Information Ontario (MNRF 2018); and,
- Relevant technical reports provided by the City and others.



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LEGEND

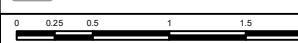
- Approximate Study Area
- Watercourse
- Waterbody
- Railway
- Hydro Line
- Municipal Border (Lower and Single Tier)
- National Border
- NHIC Squares (Labelled with ID)
- Critical Habitat
- Extirpated, Endangered, or Threatened
- Special Concern

NOTES:
 - Aerial imagery extracted from Essex County interactive map, 2019.

WINDSOR WOOD
THE CITY OF WINDSOR
 ONTARIO, CANADA

**MALDEN AND MATACHETTE
 ECO PASSAGE STUDY**

Secondary SAR Sources



Appendix B

Species Lists

Legend

*=Introduced Species

S rank (provincial)= NatureServe Subnational Conservation Status Definitions. The term "subnational" refers to state or province-level jurisdictions (e.g., California, Ontario).

G rank (global)= NatureServe Global Conservation Status Definitions

RANK	DEFINITION
GX SX	Presumed Extirpated —Species or ecosystem is believed to be extirpated from the jurisdiction (i.e., nation, or state/province). Not located despite intensive searches of historical sites and other appropriate habitat, and virtually no likelihood that it will be rediscovered. [equivalent to “Regionally Extinct” in IUCN Red List terminology]
GH SH	Possibly Extirpated – Known from only historical records but still some hope of rediscovery. There is evidence that the species or ecosystem may no longer be present in the jurisdiction, but not enough to state this with certainty. Examples of such evidence include (1) that a species has not been documented in approximately 20-40 years despite some searching and/or some evidence of significant habitat loss or degradation; (2) that a species or ecosystem has been searched for unsuccessfully, but not thoroughly enough to presume that it is no longer present in the jurisdiction.
G1 S1	Critically Imperiled At very high risk of extirpation in the jurisdiction due to very restricted range, very few populations or occurrences, very steep declines, severe threats, or other factors.
G2 S2	Imperiled — At high risk of extirpation in the jurisdiction due to restricted range, few populations or occurrences, steep declines, severe threats, or other factors.
G3 S3	Vulnerable — At moderate risk of extirpation in the jurisdiction due to a fairly restricted range, relatively few populations or occurrences, recent and widespread declines, threats, or other factors.
G4 S4	Apparently Secure — At a fairly low risk of extirpation in the jurisdiction due to an extensive range and/or many populations or occurrences, but with possible cause for some concern as a result of local recent declines, threats, or other factors.
G5 S5	Secure — At very low or no risk of extirpation in the jurisdiction due to a very extensive range, abundant populations or occurrences, with little to no concern from declines or threats.
G#G# S#S#	Range Rank — A numeric range rank (e.g., G2G3, G1G3) is used to indicate uncertainty about the exact status of a taxon or ecosystem type. Ranges cannot skip more than two ranks (e.g., GU should be used rather than G1G4).
GU SU	Unrankable — Currently unrankable due to lack of information or due to substantially conflicting information about status or trends. NOTE: Whenever possible (when the range of uncertainty is three consecutive ranks or less), a range rank (e.g., G2G3) should be used to delineate the limits (range) of uncertainty.
GNR SNR	Unranked — Global rank not yet assessed.
GNA SNA	Not Applicable — A conservation status rank is not applicable because the species or ecosystem is not a suitable target for conservation activities. A global conservation status rank may be not applicable for several reasons, related to its relevance as a conservation target. For species, typically the species is a

	hybrid without conservation value, or of domestic origin. For ecosystems, the type is typically non-native (e.g. many ruderal vegetation types), agricultural (e.g. pasture, orchard) or developed (e.g. lawn, garden, golf course).
?	Inexact Numeric Rank - Denotes inexact numeric rank; this should not be used with any of the Variant Global Conservation Status Ranks or GX or GH.
Q	Questionable taxonomy that may reduce conservation priority - Distinctiveness of this entity as a taxon or ecosystem type at the current level is questionable; resolution of this uncertainty may result in change from a species to a subspecies or hybrid, or inclusion of this taxon or type in another taxon or type, with the resulting taxon having a lower-priority (numerically higher) conservation status rank. The "Q" modifier is only used at a global level and not at a national or subnational level.
C	Captive or Cultivated Only - Taxon or ecosystem at present is presumed or possibly extinct or eliminated in the wild across their entire native range but is extant in cultivation, in captivity, as a naturalized population (or populations) outside their native range, or as a reintroduced population or ecosystem restoration, not yet established. The "C" modifier is only used at a global level and not at a national or subnational level. Possible ranks are GXC or GHC. This is equivalent to "Extinct in the Wild (EW) in IUCN's Red List terminology (IUCN 2001).

COSEWIC= The Committee on the Status of Endangered Wildlife in Canada

ESA= Endangered Species Act, 2007, S.O. 2007, c. 6

SARA Schedule 1= Species at Risk Act (SC 2002, c. 29)

EXT	Extinct - A species shall be classified as an extinct species if it no longer lives anywhere in the world.
EXP	Extirpated - A species shall be classified as an extirpated species if it lives somewhere in the world, lived at one time in the wild in Ontario, but no longer lives in the wild in Ontario.
END	Endangered - A species shall be classified as an endangered species if it lives in the wild in Ontario but is facing imminent extinction or extirpation.
THR	Threatened - A species shall be classified as a threatened species if it lives in the wild in Ontario, is not endangered, but is likely to become endangered if steps are not taken to address factors threatening to lead to its extinction or extirpation.
SC	Special Concern - A species shall be classified as a special concern species if it lives in the wild in Ontario, is not endangered or threatened, but may become threatened or endangered because of a combination of biological characteristics and identified threats.

Coefficient of Wetness = indicates the plant's soil moisture tolerance

Coefficient of Conservatism = numeric values assigned to plant species to indicate their sensitivity to anthropogenic disturbance

Vegetation Table for Matchette and Malden (ONS2103A)

Scientific Name	English Name	S Rank (Provincial)	G Rank (Global)	ESA	SARA Schedule 1	Coefficient of Conservatism	Coefficient of Wetness	Essex County Status from Oldham Carolinian List	SOFIA Tallgrass Indicator Species	iNat	Atlas/City Data (Ojibway EA unique records and fieldwork)	Ojibway Prairie Wetland Complex ER28	Choquette & Valliant 2016
<i>Juniperus communis</i>	Common Juniper	S5	G5			4	3	Native, Rare				x	
<i>Juniperus virginiana</i>	Eastern Red Cedar	S5	G5			4	3	Native, Common		x			
* <i>Pinus nigra</i>	Austrian Pine	SNA	GNR				5			x			
<i>Pinus strobus</i>	Eastern White Pine	S5	G5			4	3	Native, Rare		x			
* <i>Pinus sylvestris</i>	Scots Pine	SNA	GNR				3	Introduced, Rare		x		x	
* <i>Abutilon theophrasti</i>	Velvetleaf	SNA	GNR				3	Introduced, Common		x			
<i>Acalypha rhomboidea</i>	Common Three-seeded	S5	G5			0	3	Native, Common		x			
<i>Acer negundo</i>	Manitoba Maple	S5	G5			0	0	Native, Common		x		x	
<i>Acer rubrum</i>	Red Maple	S5	G5			4	0	Native, Common		x		x	
<i>Acer saccharinum</i>	Silver Maple	S5	G5			5	-3	Native, Common		x		x	
<i>Acer x freemanii</i>	Freeman's Maple (Acer rubrum X Acer	SNA	GNA			6	-5	Hybrid		x		x	
* <i>Achillea millefolium</i>	Common Yarrow	SNA	G5				3			x		x	
<i>Actaea racemosa</i>	Black Snakeroot	S2	G4			10	3					x	
<i>Actaea pachypoda</i>	White Baneberry	S5	G5			6	5	Native, Common		x			
<i>Agalinis purpurea</i> var. <i>purpurea</i>	Large-flowered Purple False Foxglove	S1	GNR	TNR		10	-3	Native, Rare	Yes		NHIC		
<i>Agalinis skinneriana</i>	Skinner's False Foxglove	S1	G3G4	END	END	10	3	Native, Rare	Yes		NHIC		
* <i>Aegopodium podagraria</i>	Goutweed	SNA	GNR				0			x			
<i>Agalinis purpurea</i>	Purple False Foxglove	S4S5	GNR			8	-3			x	NHIC	X	
<i>Agalinis tenuifolia</i>	Slender-leaved False	S4S5	G5			7	-3	Native, Rare		x		x	
<i>Ageratina altissima</i>	White Snakeroot	S5	G5			5	3	Native, Common		x			
<i>Agrimonia pubescens</i>	Soft Agrimony	S4	G5			7	5	Native, Common				x	
<i>Agrimonia gryposepala</i>	Hooked Agrimony	S5	G5			2	3	Native, Common		x		x	
<i>Agrimonia parviflora</i>	Swamp Agrimony	S4	G5			4	-3	Native, Common	Yes	x		x	
<i>Agrimonia striata</i>	Woodland Agrimony	S4	G5			3	3			x			
* <i>Ajuga reptans</i>	Creeping Bugleweed	SNA	GNR				5	Introduced, Rare					x
* <i>Ailanthus altissima</i>	Tree-of-heaven	SNA	GNR				5	Introduced, Rare		x			x
* <i>Alliaria petiolata</i>	Garlic Mustard	SNA	GNR				0	Introduced, Common		x			x
<i>Ammannia robusta</i>	Scarlet Ammannia	S1	G5	END	END	9	-5	Native, Rare			NHIC		
<i>Ambrosia artemisiifolia</i>	Common Ragweed	S5	G5			0	3	Native, Common		x		x	
<i>Ambrosia trifida</i>	Great Ragweed	S5	G5			0	0	Native, Common		x		x	
<i>Amelanchier arborea</i>	Downy Serviceberry	S5	G5			5	3	Native, Uncommon		x			
<i>Amphicarpaea bracteata</i>	American Hog-peanut	S5	G5			4	0	Native, Common	Yes	x		x	
<i>Anemone quinquefolia</i>	Wood Anemone	S5	G5			7	0	Native, Common				x	
<i>Angelica atropurpurea</i>	Purple-stemmed Angelica	S5	G5			6	-5	Native, Rare				x	
<i>Anemonastrum canadense</i>	Canada Anemone	S5	G5			3	-3	Native, Common	Yes	x		x	
<i>Anemone cylindrica</i>	Long-headed Anemone	S4	G5			7	5	Native, Rare	Yes	x			
<i>Anemone virginiana</i>	Tall Anemone	S5	G5			4	3	Native, Common		x		x	
<i>Antennaria neglecta</i>	Field Pussytoes	S5	G5			3	5	Native, Rare				x	
<i>Apios americana</i>	American Groundnut	S5	G5			6	-3	Native, Common	Yes	x		x	
<i>Apocynum</i>	Spreading Dogbane	S5	G5			3	5	Native, Uncommon		x		x	

Vegetation Table for Matchette and Malden (ONS2103A)

<i>Apocynum cannabinum</i>	Hemp Dogbane	S5	GNR	3	0			x		x
<i>Aquilegia canadensis</i>	Red Columbine	S5	G5	5	3	Native, Common		x		
* <i>Aquilegia vulgaris</i>	European Columbine	SNA	GNR		3	Introduced, Rare		x		
<i>Aralia nudicaulis</i>	Wild Sarsaparilla	S5	G5	4	3	Native, Common		x		
* <i>Arctium lappa</i>	Great Burdock	SNA	GNR		3	Introduced, Rare		x		
* <i>Arctium minus</i>	Common Burdock	SNA	GNR		3	Introduced, Common		x		x
<i>Aronia x prunifolia</i>	(<i>Aronia arbutifolia</i> X <i>Aronia melanocarpa</i>)	SNA	GNA		-3					x
* <i>Armoracia rusticana</i>	Horseradish	SNA	GNR		0	Introduced, Rare		x		
<i>Asclepias exaltata</i>	Poke Milkweed	S4	G5	8	5	Native, Rare				x
<i>Asclepias hirtella</i>	Tall Green Milkweed	S1	G5	10	5	Native, Rare	Yes		NHIC	
<i>Asclepias purpurascens</i>	Purple Milkweed	S1	G5?	10	3	Native, Rare	Yes		NHIC	
<i>Asclepias sullivantii</i>	Prairie Milkweed	S2S3	G5	8	5	Native, Rare	Yes		NHIC	
<i>Asarum canadense</i>	Canada Wild-ginger	S5	G5	6	5	Native, Uncommon		x		
<i>Asclepias viridiflora</i>	Green Cornet Milkweed	S2	G5	10	5	Native, Rare	Yes		NHIC	
<i>Asimina triloba</i>	Pawpaw	S3	G5	10	0	Native, Rare			NHIC	
<i>Asclepias incarnata</i>	Swamp Milkweed	S5	G5	6	-5	Native, Common	Yes	x		x
<i>Asclepias syriaca</i>	Common Milkweed	S5	G5	0	5	Native, Common		x		x
<i>Asclepias tuberosa</i>	Butterfly Milkweed	S4	G5	8	5	Native, Uncommon	Yes	x		
<i>Asclepias verticillata</i>	Whorled Milkweed	S4	G5	6	5	Native, Rare	Yes	x		
<i>Aureolaria flava</i>	Smooth Yellow False	S2?	G5	10	5	Native, Rare	Yes		NHIC	
<i>Aureolaria pedicularia</i>	Fern-leaved Yellow False Foxglove	S2?	G5	10	5	Native, Rare	Yes		NHIC	x
<i>Aureolaria virginica</i>	Downy Yellow False	S1	G5	10	5					x
S <i>Baptisia australis</i>	Blue Wild Indigo	SNA	G5		3					x
<i>Baptisia tinctoria</i>	Yellow Wild Indigo	S1S2	G5	10	5	Native, Rare	Yes		NHIC	
* <i>Berberis vulgaris</i>	Common Barberry	SNA	GNR		3	Unconfirmed Report				x
* <i>Barbarea vulgaris</i>	Bitter Wintercress	SNA	GNR		0	Introduced, Common		x		x
<i>Betula papyrifera</i>	Paper Birch	S5	G5	2	3	Introduced, Rare				x
<i>Bidens tripartita</i>	Three-parted Beggarticks	S5?	G5	5	-3	Native, Common				x
* <i>Berberis thunbergii</i>	Japanese Barberry	SNA	GNR		3	Introduced, Uncommon		x		x
* <i>Berteroa incana</i>	Hoary Alyssum	SNA	GNR		5	Introduced, Uncommon		x		
<i>Bidens frondosa</i>	Devil's Beggarticks	S5	G5	3	-3	Native, Common		x		x
<i>Boehmeria cylindrica</i>	Small-spike False Nettle	S5	G5	4	-5	Native, Common		x		x
<i>Calystegia sepium</i>	Hedge False Bindweed	S5	G5	2	0	ve, status unknown or not spec		x		
* <i>Campanula rapunculoides</i>	Creeping Bellflower	SNA	GNR		5	Introduced, Uncommon		x		
<i>Campsis radicans</i>	Trumpet Creeper	S2?	G5	3	0	Native, Rare		x		
* <i>Capsella bursa-pastoris</i>	Common Shepherd's Purse	SNA	GNR		3	Introduced, Common		x		
<i>Cardamine bulbosa</i>	Bulbous Bittercress	S4	G5	8	-5	Native, Common		x		
<i>Cardamine douglassii</i>	Limestone Bittercress	S4	G5	7	-3	Native, Common		x		
* <i>Cardamine hirsuta</i>	Hairy Bittercress	SNA	GNR		3	Introduced, Rare		x		
<i>Carya laciniosa</i>	Shellbark Hickory	S3	G5	9	-3	Native, Common	Yes		NHIC	x
<i>Carya cordiformis</i>	Bitternut Hickory	S5	G5	6	0	Native, Common		x		
<i>Carya glabra</i>	Pignut Hickory	S3	G5	9	3	Native, Rare	Yes	x	NHIC	x
<i>Carya ovata</i>	Shagbark Hickory	S5	G5	6	3	Native, Common		x		x
<i>Castanea dentata</i>	American Chestnut	S1S2	G4	8	5	Native, Uncommon		x	NHIC	
* <i>Catalpa speciosa</i>	Northern Catalpa	SNA	G4?		3	Unconfirmed Report		x		

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<i>Ceanothus americanus</i>	New Jersey Tea	S4	G5			7	5	Native, Rare	Yes	x		
* <i>Celastrus orbiculatus</i>	Oriental Bittersweet	SNA	GNR					Introduced, Rare		x		
<i>Celastrus scandens</i>	Climbing Bittersweet	S5	G5			3	3	Native, Common		x		
<i>Celtis occidentalis</i>	Common Hackberry	S4	G5			8	0	Native, Common		x		
* <i>Centaureum erythraea</i>	European Centaury	SNA	GNR				0					x
* <i>Centaurea stoebe</i>	Spotted Knapweed	SNA	GNR				5	Introduced, Uncommon		x		
* <i>Centaureum pulchellum</i>	Branching Centaury	SNA	GNR				0	Introduced, Uncommon		x		
<i>Cephalanthus occidentalis</i>	Eastern Buttonbush	S5	G5			7	-5	Native, Common		x		x
<i>Ceratophyllum demersum</i>	Common Hornwort	S5	G5			4	-5	Native, Rare		x		
<i>Cercis canadensis</i>	Eastern Redbud	SX	G5			8	3	Native, Historical		x		
<i>Chimaphila maculata</i>	Spotted Wintergreen	S2	G5	THR	END	10	5	Native, Rare			NHIC	
<i>Chelone glabra</i>	White Turtlehead	S5	G5			7	-5	Native, Common		x		
* <i>Cichorium intybus</i>	Wild Chicory	SNA	GNR				5	Introduced, Common		x		x
<i>Cicuta maculata</i>	Spotted Water-hemlock	S5	G5			6	-5			x		x
<i>Circaea canadensis</i>	Broad-leaved Enchanter's Nightshade	S5	G5			2	3	Native, Common		x		x
* <i>Cirsium arvense</i>	Canada Thistle	SNA	G5				3	Introduced, Common		x		x
<i>Cirsium discolor</i>	Field Thistle	S3	G5			9	5	Native, Uncommon	Yes	x	NHIC	x
<i>Cirsium muticum</i>	Swamp Thistle	S5	G5			8	-5	Native, Rare		x		
* <i>Cirsium vulgare</i>	Bull Thistle	SNA	GNR				3	Introduced, Common		x		x
<i>Claytonia virginica</i>	Eastern Spring Beauty	S5	G5			5	3	Native, Common		x		
* <i>Clematis terniflora</i>	Sweet Autumn Clematis	SNA	GNR				5			x		
<i>Clematis virginiana</i>	Virginia Clematis	S5	G5			3	0	Native, Rare		x		
<i>Collinsonia canadensis</i>	Canada Horsebalm	S4	G5			8	0	Native, Common		x		x
<i>Comandra umbellata</i>	Bastard Toadflax	S5	G5			6	3	Native, Common	Yes	x		x
* <i>Convolvulus arvensis</i>	Field Bindweed	SNA	GNR				5	Introduced, Common		x		x
<i>Cornus florida</i>	Eastern Flowering	S2?	G5	END	END	7	3	Native, Common			NHIC	
<i>Coreopsis lanceolata</i>	Lance-leaved Tickseed	S4	G5			5	3	Unconfirmed Report		x		
<i>Coreopsis tripteris</i>	Tall Tickseed	S1S2	G5			9	0	Native, Uncommon	Yes	x	NHIC	x
<i>Cornus sericea</i>	Red-osier Dogwood	S5	G5			2	-3	Native, Common				x
<i>Cornus drummondii</i>	Rough-leaved Dogwood	S4	G5			4	0	Native, Common		x		x
<i>Cornus obliqua</i>	Silky Dogwood	S5	G5			2	-3	Native, Common		x	x	x
<i>Cornus racemosa</i>	Grey Dogwood	S5	G5			2	0	Native, Common		x		x
<i>Corylus americana</i>	American Hazelnut	S5	G5			5	3	Native, Common		x		x
<i>Corylus cornuta</i>	Beaked Hazelnut	S5	G5			5	3			x		x
<i>Crataegus mollis</i>	Downy Hawthorn	S4S5	G5			4	0					x
<i>Crataegus crus-galli</i>	Cockspur Hawthorn	S4	G5			4	0	Native, Common		x		x
<i>Cryptotaenia canadensis</i>	Canada Honewort	S5	G5			5	0	Native, Common		x		
<i>Cuscuta campestris</i>	Field Dodder	S2	G5			5	0	Native, Rare			NHIC	
<i>Cuscuta cephalanthi</i>	Buttonbush Dodder	S2	G5			8	5	Native, Rare			NHIC	
<i>Cuscuta coryli</i>	Hazel Dodder	S1	G5?			9	5	Native, Rare	Yes		NHIC	
* <i>Cynoglossum officinale</i>	Common Hound's-tongue	SNA	GNR				5	Introduced, Rare				x
* <i>Datura stramonium</i>	Jimsonweed	SNA	GU				5	Introduced, Rare		x		
* <i>Daucus carota</i>	Wild Carrot	SNA	GNR				5	Introduced, Common		x		x
<i>Desmodium canadense</i>	Canada Tick-trefoil	S4	G5			5	0	Native, Common	Yes	x		x
<i>Desmodium perplexum</i>	Perplexed Tick-trefoil	S4	G5			6	5	Native, Uncommon	Yes	x		
* <i>Dianthus armeria</i>	Deptford Pink	SNA	GNR				5	Introduced, Common		x		

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* <i>Dipsacus fullonum</i>	Common Teasel	SNA	GNR			3		Introduced, Common		x		x
<i>Dirca palustris</i>	Eastern Leatherwood	S4	G4			7	0	Native, Rare		x		
<i>Doellingeria umbellata</i>	Flat-top White Aster	S5	G5			6	-3			x		x
* <i>Elaeagnus angustifolia</i>	Russian Olive	SNA	GNR				3	Introduced, Rare		x		x
* <i>Elaeagnus umbellata</i>	Autumn Olive	SNA	GNR				3	Introduced, Rare		x		x
<i>Epilobium ciliatum</i>	Northern Willowherb	S5	G5			3	-3					x
* <i>Eranthis hyemalis</i>	Winter Aconite	SNA	GNR				5			x		
<i>Erechtites hieraciifolius</i>	Eastern Burnweed	S5	G5			2	3	Native, Common		x		
<i>Erigeron annuus</i>	Annual Fleabane	S5	G5			0	3	Native, Common		x		x
<i>Erigeron canadensis</i>	Canada Horseweed	S5	G5			0	3	Native, Common	Yes	x		x
<i>Erigeron philadelphicus</i>	Philadelphia Fleabane	S5	G5			1	-3	Native, Common		x		x
<i>Erigeron strigosus</i>	Rough Fleabane	S5	G5			4	3	Native, Common	Yes	x		
<i>Eupatorium altissimum</i>	Tall Boneset	S1	G5			3	5	Native, Rare			NHIC	
* <i>Euonymus alatus</i>	Winged Euonymus	SNA	GNR				5	Introduced, Rare		x		
* <i>Euonymus europaeus</i>	European Euonymus	SNA	GNR				5	Introduced, Rare		x		
* <i>Euonymus fortunei</i>	Climbing Euonymus	SNA	GNR				5	Introduced, Rare		x		
<i>Eupatorium perfoliatum</i>	Common Boneset	S5	G5			2	-3	Native, Common		x		x
* <i>Eupatorium serotinum</i>	Late Boneset	SNA	G5				0	Introduced, Rare		x		
<i>Euphorbia corollata</i>	Flowering Spurge	S4	G5			7	5	Native, Rare	Yes	x		x
* <i>Euphorbia cyparissias</i>	Cypress Spurge	SNA	G5				5	Introduced, Rare		x		
* <i>Euphorbia maculata</i>	Spotted Spurge	SNA	G5?				3	Introduced, Common		x		
<i>Euthamia caroliniana</i>	Slender Fragrant	S1	G5			10	-3	Native, Rare	Yes		NHIC	x
<i>Euthamia graminifolia</i>	Grass-leaved Goldenrod	S5	G5			2	0	Native, Common		x		x
<i>Eutrochium maculatum</i>	Spotted Joe Pye Weed	S5	G5			3	-5			x		x
<i>Eutrochium purpureum</i>	Purple Joe Pye Weed	S4	G5			8	0	Native, Rare	Yes	x		x
S <i>Fallopia dumetorum</i>	Hedge Bindweed	SNA	GU									x
<i>Fallopia scandens</i>	Climbing False Buckwheat	S4S5	G5			3	0	Native, Common		x		
* <i>Filipendula ulmaria</i>	Queen-of-the-meadow	SNA	G5				0					x
* <i>Ficaria verna</i>	Fig-root Buttercup	SNA	GNR				-3	Introduced, Rare		x		
<i>Fragaria vesca</i>	Woodland Strawberry	S5	G5			4	3					x
* <i>Frangula alnus</i>	Glossy Buckthorn	SNA	GNR				0	Introduced, Rare				x
<i>Fraxinus profunda</i>	Pumpkin Ash	S2?	G4			9	-5	Native, Rare			NHIC	x
<i>Fraxinus quadrangulata</i>	Blue Ash	S2?	G5	THR	SC	9	3	Native, Rare			NHIC	
<i>Fragaria virginiana</i>	Wild Strawberry	S5	G5			2	3	Native, Common	Yes	x		x
<i>Fraxinus americana</i>	White Ash	S4	G5			4	3	Native, Common		x		
<i>Fraxinus pennsylvanica</i>	Red Ash	S4	G5			3	-3	Native, Common		x		x
<i>Galium asprellum</i>	Rough Bedstraw	S5	G5			6	-5	Native, Rare			x	
* <i>Galium odoratum</i>	Sweet-scented Bedstraw	SNA	GNR				5					x
<i>Galium aparine</i>	Common Bedstraw	S5	G5			4	3	Native, Common		x		x
<i>Galium pilosum</i>	Hairy Bedstraw	S3	G5			9	5	Native, Rare	Yes		NHIC	
<i>Galium trifidum</i>	Three-petalled Bedstraw	S5	GNR			5	-3					x
<i>Galium circaezans</i>	Licorice Bedstraw	S5	G5			7	3	Native, Common		x		
* <i>Galium mollugo</i>	Smooth Bedstraw	SNA	GNR				5			x		
<i>Galium palustre</i>	Common Marsh Bedstraw	S5	G5			5	-5	Native, Rare		x		x
<i>Galium triflorum</i>	Three-flowered Bedstraw	S5	G5			4	3	Native, Common		x		
<i>Gaylussacia baccata</i>	Black Huckleberry	S4	G5			8	3	Native, Uncommon		x		
<i>Gentiana andrewsii</i>	Andrews' Bottle Gentian	S4	G5?			6	-3	Native, Uncommon	Yes	x		x

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<i>Gentianopsis crinita</i>	Greater Fringed Gentian	S5	G5			8	-5	Native, Rare	Yes	x		x
<i>Geum aleppicum</i>	Yellow Avens	S5	G5			2	0	Native, Rare				x
<i>Geranium maculatum</i>	Spotted Geranium	S5	G5			6	3	Native, Common		x		x
<i>Geum vernum</i>	Spring Avens	S4	G5			7	3	Native, Common				x
<i>Gillenia trifoliata</i>	Bowman's-root	SX	G4G5			9	5	Unconfirmed Report			NHIC	
<i>Geum canadense</i>	Canada Avens	S5	G5			3	0	Native, Common		x		x
<i>Geum laciniatum</i>	Rough Avens	S4	G5			4	-3	Native, Common		x		
* <i>Glechoma hederacea</i>	Ground-ivy	SNA	GNR				3	Introduced, Common		x		x
<i>Gleditsia triacanthos</i>	Honey Locust	S2?	G5			8	0	Native, Uncommon	Yes	x		
<i>Gymnocladus dioicus</i>	Kentucky Coffee-tree	S2	G5	THR	THR	6	3	Native, Rare			NHIC	
<i>Hackelia virginiana</i>	Virginia Stickseed	S5	G5			5	3	Native, Common		x		x
<i>Hamamelis virginiana</i>	American Witch-hazel	S4S5	G5			6	3	Native, Common		x		x
* <i>Hedera helix</i>	English Ivy	SNA	GNR				3	Introduced, Rare		x		
<i>Helenium autumnale</i>	Common Sneezeweed	S4	G5			7	-3	Native, Uncommon	Yes	x		x
<i>Helianthus divaricatus</i>	Woodland Sunflower	S5	G5			7	5	Native, Common	Yes	x		
<i>Helianthus giganteus</i>	Giant Sunflower	S5	G5			6	-3	Native, Common	Yes	x		x
* <i>Helianthus maximiliani</i>	Maximilian Sunflower	SNA	G5				5	Introduced, Historical		x		
<i>Helianthus tuberosus</i>	Jerusalem Artichoke	SU	G5			1	0	ve, status unknown or not spec		x		x
<i>Hepatica americana</i>	Round-lobed Hepatica	S5	G5			6	5	Native, Rare		x		x
<i>Heracleum maximum</i>	American Cow Parsnip	S5	G5			3	-3	Native, Rare		x		
* <i>Hesperis matronalis</i>	Dame's Rocket	SNA	G4G5				3	Introduced, Uncommon		x		x
<i>Heuchera americana</i>	American Alumroot	S1	G5			9	3	Native, Uncommon			NHIC	
<i>Hibiscus moscheutos</i>	Swamp Rose-mallow	S3	G5	SC	SC	9	-5	Native, Common			NHIC	
* <i>Hibiscus trionum</i>	Flower-of-an-hour	SNA	GNR				5	Introduced, Uncommon		x		
<i>Hylodesmum glutinosum</i>	Large Tick-trefoil	S4	G5			6	5	Native, Uncommon		x		
<i>Hypericum prolificum</i>	Shrubby St. John's-wort	S2	G5			6	3	Native, Rare	Yes		NHIC	
<i>Hypericum gentianoides</i>	Gentian-leaved St. John's-	S1	G5			10	3	Native, Rare	Yes	x	NHIC	x
<i>Hypericum mutilum</i>	Dwarf St. John's-wort	S4	G5			6	-3	Native, Rare		x		
* <i>Hypericum perforatum</i>	Common St. John's-wort	SNA	GNR				5	Introduced, Common	Yes	x		x
<i>Hypericum punctatum</i>	Spotted St. John's-wort	S5	G5			5	0	Native, Common		x		
<i>Ilex verticillata</i>	Common Winterberry	S5	G5			5	-3	Native, Common		x		
<i>Impatiens capensis</i>	Spotted Jewelweed	S5	G5			4	-3	Native, Common		x		x
* <i>Jacobaea vulgaris</i>	Tansy Ragwort	SNA	GNR				5					x
<i>Juglans cinerea</i>	Butternut	S2?	G3	END	END	6	3	Native, Common			NHIC	
<i>Juglans nigra</i>	Black Walnut	S4?	G5			5	3	Native, Common		x		x
* <i>Juglans regia</i>	English Walnut	SNA	GNR				5			x		
<i>Krigia biflora</i>	Two-flowered Dwarf-	S2	G5			10	3	Native, Uncommon	Yes		NHIC	
<i>Lactuca biennis</i>	Tall Blue Lettuce	S5	G5			6	0	Native, Rare		x		
* <i>Lactuca serriola</i>	Prickly Lettuce	SNA	GNR				3	Introduced, Common		x		x
* <i>Lamium amplexicaule</i>	Common Dead-nettle	SNA	GNR				5	Introduced, Rare		x		x
* <i>Lamium purpureum</i>	Purple Dead-nettle	SNA	GNR				5	Introduced, Uncommon		x		
<i>Lechea mucronata</i>	Hairy Pinweed	S3	G5			9	5	Native, Rare	Yes		NHIC	
<i>Lechea pulchella</i>	Leggett's Pinweed	S1	G5			10	5	Native, Rare	Yes		NHIC	
<i>Lathyrus palustris</i>	Marsh Vetchling	S5	G5			6	-3	Native, Uncommon		x		
* <i>Lathyrus tuberosus</i>	Tuberous Vetchling	SNA	GNR				5	Introduced, Rare		x		
* <i>Leonurus cardiaca</i>	Common Motherwort	SNA	GNR				5	Introduced, Common		x		
<i>Lespedeza virginica</i>	Slender Bush-clover	S1	G5	END	END	10	5	Native, Rare	Yes		NHIC	

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<i>Lespedeza capitata</i>	Round-headed Bush-clover	S4	G5			7	3	Native, Rare	Yes	x		x
<i>Lespedeza violacea</i>	Wand Bush-clover	S4?	G5			8	5	Native, Rare	Yes	x		
* <i>Leucanthemum vulgare</i>	Oxeye Daisy	SNA	GNR				5	Introduced, Common		x		
<i>Liatris aspera</i>	Rough Blazing-star	S2	G4G5			10	5	Native, Rare	Yes		NHIC	x
<i>Liatris spicata</i>	Dense Blazing-star	S2	G5	THR	THR	9	0	Native, Rare	Yes		NHIC	x
* <i>Linaria vulgaris</i>	Butter-and-eggs	SNA	GNR				5	Introduced, Common		x		
<i>Lindera benzoin</i>	Northern Spicebush	S4	G5			6	-3	Native, Common		x		
<i>Liriodendron tulipifera</i>	Tulip Tree	S4	G5			8	3	Native, Uncommon		x		
<i>Lithospermum canescens</i>	Hoary Puccoon	S3	G5			10	5	Native, Rare	Yes		NHIC	
<i>Lithospermum carolinense</i>	Golden Puccoon	S3	G4G5			8	5	Native, Rare	Yes			x
<i>Lobelia cardinalis</i>	Cardinal Flower	S5	G5			7	-5	Native, Uncommon		x		
<i>Lobelia inflata</i>	Indian-tobacco	S5	G5			3	3	Native, Uncommon		x		
<i>Lobelia siphilitica</i>	Great Blue Lobelia	S5	G5			6	-3	Native, Common		x		x
<i>Lobelia spicata</i>	Pale-spike Lobelia	S4	G5			8	0	Native, Rare	Yes	x		x
<i>Lonicera canadensis</i>	Canada Fly Honeysuckle	S5	G5			6	3	Native, Rare				x
<i>Lonicera dioica</i>	Limber Honeysuckle	S5	G5			5	3	Native, Common		x		
* <i>Lonicera japonica</i>	Japanese Honeysuckle	SNA	GNR				3	Introduced, Uncommon		x		
* <i>Lonicera maackii</i>	Maack's Honeysuckle	SNA	GNR				5	Introduced, Rare		x		x
* <i>Lonicera morrowii</i>	Morrow's Honeysuckle	SNA	GNR				3	Introduced, Rare		x		
* <i>Lonicera tatarica</i>	Tatarian Honeysuckle	SNA	GNR				3	Introduced, Uncommon		x		x
* <i>Lotus corniculatus</i>	Garden Bird's-foot Trefoil	SNA	GNR				3	Introduced, Common		x		
<i>Ludwigia polycarpa</i>	Many-fruit Seedbox	S2	G4			8	-5	Native, Uncommon	Yes		NHIC	x
<i>Lupinus perennis</i>	Sundial Lupine	S2S3	G5			10	5	Native, Rare	Yes		NHIC	
<i>Ludwigia alternifolia</i>	Bushy Seedbox	S1	G5			10	-5	Native, Rare	Yes	x	NHIC	x
<i>Lycopus uniflorus</i>	Northern Water-	S5	G5			5	-5	Native, Common				x
<i>Lycopus americanus</i>	American Water-	S5	G5			4	-5	Native, Common		x		x
* <i>Lysimachia arvensis</i>	Scarlet Pimpernel	SNA	GNR				3	Introduced, Rare		x		
<i>Lysimachia ciliata</i>	Fringed Yellow Loosestrife	S5	G5			4	-3	Native, Common	Yes	x		x
<i>Lythrum alatum</i>	Winged Loosestrife	S3	G5			5	-5	Native, Common	Yes		NHIC	x
<i>Lysimachia quadriflora</i>	Four-flowered Yellow	S4	G5?			10	-5	Native, Rare	Yes	x		x
<i>Lysimachia quadrifolia</i>	Whorled Yellow Loosestrife	S4	G5			8	3	Native, Rare	Yes	x		x
* <i>Lysimachia vulgaris</i>	Garden Yellow Loosestrife	SNA	GNR				-3			x		
* <i>Lythrum salicaria</i>	Purple Loosestrife	SNA	G5				-5	Introduced, Common		x		x
* <i>Malus baccata</i>	Siberian Crabapple	SNA	GNR				5					x
<i>Malus coronaria</i>	Sweet Crabapple	S4	G5			5	5	Native, Common		x		x
* <i>Malus pumila</i>	Common Apple	SNA	G5				5	Introduced, Rare		x		x
* <i>Medicago lupulina</i>	Black Medick	SNA	GNR				3	Introduced, Common		x		
* <i>Medicago sativa</i>	Alfalfa	SNA	GNR				5			x		
* <i>Melilotus albus</i>	White Sweet-clover	SNA	G5				3	Introduced, Common		x		x
* <i>Melilotus altissimus</i>	Tall Yellow Sweet-clover	SNA	GNR				5			x		
* <i>Melilotus officinalis</i>	Yellow Sweet-clover	SNA	GNR				3	Introduced, Common		x		
<i>Menispermum canadense</i>	Canada Moonseed	S4	G5			7	0	Native, Common		x		x
<i>Mentha x dumetorum</i>	(<i>Mentha aquatica</i> X <i>Mentha spicata</i>)	SNA	GNA									x
<i>Mentha canadensis</i>	Canada Mint	S5	G5			3	-3	Native, Common		x		x
* <i>Mentha spicata</i>	Spearmint	SNA	GNR				-3	Introduced, Rare		x		
<i>Mimulus ringens</i>	Square-stemmed	S5	G5			6	-5	Native, Common		x		x

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<i>Monarda fistulosa</i>	Wild Bergamot	S5	G5			6	3			x		x
<i>Monotropa uniflora</i>	Indian-pipe	S5	G5			6	3	Native, Uncommon		x		
<i>Morus rubra</i>	Red Mulberry	S2	G5	END	END	10	3	Native, Rare			NHIC	
* <i>Morus alba</i>	White Mulberry	SNA	GNR				0	Introduced, Common		x		x
<i>Nabalus albus</i>	White Rattlesnakeroot	S5	G5			6	3	Native, Common	Yes	x		x
<i>Nabalus racemosus</i>	Glaucous Rattlesnakeroot	S5	G5			10	-3	Native, Rare	Yes	x		
<i>Nelumbo lutea</i>	American Lotus	S2S3	G4			10	-5	Native, Uncommon		x	NHIC	x
* <i>Nepeta cataria</i>	Catnip	SNA	GNR				3	Introduced, Common		x		
<i>Nuphar advena</i>	Large Yellow Pond-lily	S3	GNR			8	-5	Native, Uncommon			NHIC	
<i>Nyssa sylvatica</i>	Black Gum	S3	G5			9	-3	Native, Uncommon			NHIC	x
<i>Nymphaea odorata</i>	Fragrant Water-lily	S5	G5			5	-5	Native, Rare		x		
<i>Oenothera gaura</i>	Biennial Gaura	S3	G5			4	3	Native, Uncommon	Yes		NHIC	x
<i>Oenothera pilosella</i>	Meadow Evening-primrose	S2	G5			8	0	Native, Rare			NHIC	
<i>Oenothera biennis</i>	Common Evening-primrose	S5	G5			0	3	Native, Common		x		x
* <i>Origanum vulgare</i>	Wild Marjoram	SNA	GNR				5			x		
<i>Osmorhiza longistylis</i>	Smooth Sweet Cicely	S5	G5			6	3	Native, Common		x		
<i>Ostrya virginiana</i>	Eastern Hop-hornbeam	S5	G5			4	3	Native, Common		x		
<i>Oxalis stricta</i>	Upright Yellow Wood-	S5	G5			0	3	Native, Common		x		x
<i>Oxybasis glauca</i>	Oak-leaved Goosefoot	S4?	G5				-3			x		
<i>Oxypolis rigidior</i>	Stiff Cowbane	S2	G5			9	-5	Native, Uncommon	Yes		NHIC	x
<i>Packera pseud aurea var. semicordata</i>	Heart-leaved Groundsel	S2	G5T3T5			8	-3	Native, Rare			NHIC	
<i>Packera aurea</i>	Golden Groundsel	S5	G5			7	-3	Native, Rare		x		x
<i>Panax trifolius</i>	Dwarf Ginseng	S4	G5			8	5	Native, Rare		x		
<i>Parthenocissus vitacea</i>	Thicket Creeper	S5	G5			4	3	Native, Common				x
<i>Parthenocissus</i>	Virginia Creeper	S4?	G5			6	3	Native, Common		x		x
* <i>Pastinaca sativa</i>	Wild Parsnip	SNA	GNR				5	Introduced, Uncommon		x		x
<i>Pedicularis canadensis</i>	Canada Lousewort	S5	G5			7	3	Native, Uncommon		x		
<i>Pedicularis lanceolata</i>	Swamp Lousewort	S4	G5			9	-3	Native, Rare		x		x
<i>Penstemon digitalis</i>	Foxglove Beardtongue	S4	G5			6	0	Native, Rare	Yes	x		x
<i>Penstemon hirsutus</i>	Hairy Beardtongue	S4	G4			7	5	Native, Common	Yes	x		
<i>Penthorum sedoides</i>	Ditch Stonecrop	S5	G5			4	-5	Native, Common		x		x
* <i>Persicaria hydropiper</i>	Marshpepper Smartweed	SNA	GNR				-5	Introduced, Common				x
<i>Persicaria lapathifolia</i>	Pale Smartweed	S5	G5			2	-3	Native, Common				x
<i>Persicaria amphibia</i>	Water Smartweed	S5	G5			5	-5	Native, Uncommon		x		
* <i>Persicaria maculosa</i>	Spotted Lady's-thumb	SNA	G3G5				-3	Introduced, Common		x		x
<i>Persicaria pennsylvanica</i>	Pennsylvania Smartweed	S5	G5			3	-3	Native, Common		x		x
<i>Persicaria virginiana</i>	Virginia Smartweed	S4	G5			6	0	Native, Common		x		x
<i>Phlox divaricata</i>	Wild Blue Phlox	S4	G5			7	3	Native, Common		x		
<i>Phryma leptostachya</i>	Lopseed	S4S5	G5			6	3	Native, Common		x		x
<i>Physocarpus opulifolius</i>	Eastern Ninebark	S5	G5			5	-3	Native, Rare		x		
<i>Phytolacca americana</i>	Common Pokeweed	S4	G5			3	3	Native, Common		x		
<i>Pilea pumila</i>	Dwarf Clearweed	S5	G5			5	-3	Native, Common		x		
* <i>Pilosella caespitosa</i>	Meadow Hawkweed	SNA	GNR				5	Introduced, Uncommon		x		
* <i>Plantago lanceolata</i>	English Plantain	SNA	G5				3	Introduced, Common		x		x
* <i>Plantago major</i>	Common Plantain	SNA	G5				3	Introduced, Uncommon		x		x
<i>Plantago rugelii</i>	Rugel's Plantain	S5	G5			1	0	Native, Common		x		

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<i>Platanus occidentalis</i>	Sycamore	S4	G5			8	-3	Native, Common		x		x
* <i>Pluchea odorata</i>	Shrubby Camphorweed	SNA	G5				-5	Introduced, Rare				x
<i>Podophyllum peltatum</i>	May-apple	S5	G5			5	3	Native, Common		x		x
<i>Polygala aquilonia</i>	Northern Milkwort	SX	G4			9	-3	Native, Historical				NHIC
<i>Polygala incarnata</i>	Pink Milkwort	S1	G5	END	END	10	3	Native, Rare	Yes			NHIC
<i>Polygala sanguinea</i>	Blood Milkwort	S3	G5			9	3	Native, Rare	Yes			NHIC
<i>Polygala verticillata</i>	Whorled Milkwort	S3?	G5			7	5	Native, Rare	Yes			NHIC
<i>Polygonum erectum</i>	Erect Knotweed	SH	G5			2	3	Native, Historical				NHIC
<i>Polygonum tenue</i>	Slender Knotweed	S2	G5			10	5	Native, Rare	Yes			NHIC
* <i>Populus alba</i>	White Poplar	SNA	G5				5	Introduced, Rare		x		
<i>Populus deltoides</i>	Eastern Cottonwood	S5	G5			4	0			x		x
<i>Populus grandidentata</i>	Large-toothed Aspen	S5	G5			5	5	Native, Uncommon		x		x
<i>Populus tremuloides</i>	Trembling Aspen	S5	G5			2	0	Native, Common		x		x
<i>Potentilla anserina</i>	Silverweed	S5	G5			5	-3					x
* <i>Potentilla recta</i>	Sulphur Cinquefoil	SNA	GNR				5	Introduced, Common		x		x
<i>Potentilla simplex</i>	Old-field Cinquefoil	S5	G5			3	3	Native, Common		x		x
<i>Proserpinaca palustris</i>	Marsh Mermaidweed	S4	G5			7	-5	Native, Rare		x		
<i>Prunella vulgaris</i>	Common Self-heal	S5	G5			0	0			x		x
<i>Prunus nigra</i>	Canada Plum	S4	G4G5			4	3	Native, Uncommon		x		
<i>Prunus serotina</i>	Black Cherry	S5	G5			3	3	Native, Common		x		x
<i>Prunus virginiana</i>	Chokecherry	S5	G5			2	3	Native, Common		x		x
<i>Pseudognaphalium obtusifolium</i>	Fragrant Cudweed	S5	G5			4	5	Native, Rare		x		
<i>Pycnanthemum</i>	Slender Mountain-mint	S3	G5			8	0	Native, Rare	Yes			NHIC
<i>Pycnanthemum verticillatum</i> var. <i>pilosum</i>	Hairy Mountain-mint	S1	G5T5			8	3	Native, Rare	Yes			NHIC
<i>Pycnanthemum</i>	Virginia Mountain-mint	S4	G5			6	-3	Native, Common	Yes	x		x
<i>Quercus alba</i>	White Oak	S5	G5			6	3	Native, Common		x		x
<i>Quercus bicolor</i>	Swamp White Oak	S4	G5			8	-3	Native, Common		x		x
<i>Quercus macrocarpa</i>	Bur Oak	S5	G5			5	3	Native, Common		x		x
<i>Quercus shumardii</i>	Shumard Oak	S3	G5	SC		7	-3	Native, Uncommon				NHIC
<i>Quercus palustris</i>	Swamp Pin Oak	S4	G5			9	-3	Native, Common	Yes	x		x
* <i>Quercus robur</i>	English Oak	SNA	GNR				5			x		
<i>Quercus rubra</i>	Northern Red Oak	S5	G5			6	3	Native, Common		x		x
<i>Quercus velutina</i>	Black Oak	S4	G5			8	5	Native, Common	Yes	x		x
<i>Ranunculus abortivus</i>	Kidney-leaved Buttercup	S5	G5			2	0	Native, Common				x
* <i>Ranunculus acris</i>	Common Buttercup	SNA	G5				0	Introduced, Uncommon		x		x
<i>Ranunculus hispidus</i>	Bristly Buttercup	S3	G5			8	0	Native, Historical	Yes	x		x
<i>Ratibida pinnata</i>	Grey-headed Prairie	S3	G5			9	5	Native, Uncommon	Yes	x		NHIC
* <i>Reynoutria japonica</i>	Japanese Knotweed	SNA	GNR				3	Introduced, Rare		x		
<i>Rhinanthus minor</i>	Little Yellow Rattle	S4?	G5				0					x
* <i>Rhamnus cathartica</i>	European Buckthorn	SNA	GNR				0	Introduced, Uncommon		x		x
<i>Rhus glabra</i>	Smooth Sumac	S5	G5			7	5	Native, Uncommon		x		x
<i>Rhus typhina</i>	Staghorn Sumac	S5	G5			1	3	Native, Common		x		x
<i>Ribes americanum</i>	American Black Currant	S5	G5			4	-3	Native, Common				x
<i>Ribes hirtellum</i>	Swamp Gooseberry	S5	G5			6	-3	Native, Rare				x
* <i>Ricinus communis</i>	Castor-bean	SNA	GNR				3			x		

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<i>Rosa arkansana</i>	Prairie Rose	S1	G5			5	5								x
<i>Rosa blanda</i>	Smooth Rose	S5	G5			3	3			Native, Common					x
* <i>Robinia pseudoacacia</i>	Black Locust	SNA	G5				3			Introduced, Uncommon			x		
<i>Rosa palustris</i>	Swamp Rose	S5	G5			7	-5			Native, Common					x
<i>Rosa setigera</i>	Climbing Prairie Rose	S2S3	G5	SC	SC	5	3			Native, Common	Yes			NHIC	x
<i>Rubus allegheniensis</i>	Allegheny Blackberry	S5	G5			2	3			Native, Common					x
<i>Rubus canadensis</i>	Canada Blackberry	S5	G5			2	5			Native, Rare					x
* <i>Rosa multiflora</i>	Multiflora Rose	SNA	GNR				3			Introduced, Common			x		x
<i>Rubus flagellaris</i>	Northern Dewberry	S4	G5			4	3			Native, Common			x		
<i>Rubus idaeus</i>	Red Raspberry	S5	G5			2	3						x		x
<i>Rubus parviflorus</i>	Western Thimbleberry	S4	G5			7	3								x
<i>Rubus occidentalis</i>	Black Raspberry	S5	G5			2	5			Native, Common			x		
<i>Rudbeckia fulgida</i>	Orange Coneflower	S1	G5							Native, Rare					x
<i>Rubus pubescens</i>	Dwarf Raspberry	S5	G5			4	-3			Native, Rare			x		
<i>Rudbeckia hirta</i>	Black-eyed Susan	S5	G5			0	3			Native, Common	Yes		x		x
* <i>Rumex acetosella</i>	Sheep Sorrel	SNA	GNR				3			Introduced, Common					x
<i>Rudbeckia laciniata</i>	Cut-leaved Coneflower	S5	G5			7	-3			Native, Rare			x		
* <i>Rumex crispus</i>	Curled Dock	SNA	GNR				0			Introduced, Common			x		x
<i>Salix amygdaloides</i>	Peach-leaved Willow	S5	G5			6	-3			Native, Common					x
<i>Salix bebbiana</i>	Bebb's Willow	S5	G5			4	-3			Native, Rare					x
<i>Salix cordata</i>	Heart-leaved Willow	S4	G4			9	0			Unconfirmed Report					x
<i>Salix discolor</i>	Pussy Willow	S5	G5			3	-3			Native, Common					x
<i>Salix eriocephala</i>	Cottony Willow	S5	G5			4	-3			Native, Common			x		x
<i>Salix humilis</i>	Prairie Willow	S5	G5			7	3			Native, Rare			x		
<i>Salix nigra</i>	Black Willow	S4	G5			6	-5			Native, Uncommon					x
<i>Salix x pendulina</i>	(<i>Salix babylonica</i> X <i>Salix</i>)	SNA	GNA												x
<i>Salix interior</i>	Sandbar Willow	S5	G5			1	-3			Native, Common			x		x
S <i>Sambucus nigra</i>	Black Elderberry	SNA	G5												x
<i>Sambucus canadensis</i>	Common Elderberry	S5	G5			5	-3			Native, Common			x		x
<i>Sambucus racemosa</i>	Red Elderberry	S5	G5			5	3			Native, Rare			x		x
<i>Sanicula marilandica</i>	Maryland Sanicle	S5	G5			5	3			Native, Common				x	
<i>Sanguinaria canadensis</i>	Bloodroot	S5	G5			5	3			Native, Uncommon			x		
<i>Sanicula canadensis</i>	Canada Sanicle	S4	G5			7	3						x		x
* <i>Saponaria officinalis</i>	Bouncing-bet	SNA	GNR				3			Introduced, Common			x		
<i>Sassafras albidum</i>	Sassafras	S4	G5			6	3			Native, Common			x		x
<i>Scutellaria lateriflora</i>	Mad-dog Skullcap	S5	G5			5	-5			Native, Common			x		x
* <i>Securigera varia</i>	Purple Crown-vetch	SNA	GNR				5			Introduced, Uncommon			x		
* <i>Senecio vulgaris</i>	Common Ragwort	SNA	GNR				5			Introduced, Rare			x		
<i>Silphium laciniatum</i>	Compass Plant	S1	G5			3	5			Introduced, Rare	Yes			NHIC	
<i>Silphium terebinthinaceum</i>	Prairie Rosinweed	S1	G4G5			10	0			Native, Rare	Yes			NHIC	x
* <i>Silene vulgaris</i>	Bladder Champion	SNA	GNR				5			Introduced, Uncommon			x		x
<i>Silphium perfoliatum</i>	Cup Plant	S2	G5			9	-3			Native, Historical			x		NHIC
* <i>Sinapis arvensis</i>	Corn Mustard	SNA	GNR				5			Introduced, Rare			x		
* <i>Sisymbrium altissimum</i>	Tall Tumble Mustard	SNA	GNR				3			Introduced, Uncommon			x		
<i>Sium suave</i>	Common Water-parsnip	S5	G5			4	-5			Native, Common			x		x
* <i>Solanum carolinense</i>	Carolina Nightshade	SNA	G5				3			Introduced, Uncommon			x		
<i>Solidago altissima</i>	Tall Goldenrod	S5	G5			1	3							x	x

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* <i>Solanum dulcamara</i>	Bittersweet Nightshade	SNA	GNR			0		Introduced, Common		x		x
<i>Solidago canadensis</i>	Canada Goldenrod	S5	G5			1	3					x
<i>Solanum emulans</i>	Eastern Black Nightshade	S5	G5			1	3	Native, Common		x		
<i>Solidago bicolor</i>	White Goldenrod	S4?	G5			8	5	Native, Rare		x		
<i>Solidago gigantea</i>	Giant Goldenrod	S5	G5			4	-3	Native, Rare		x		x
<i>Solidago riddellii</i>	Riddell's Goldenrod	S3	G5	SC	SC	10	-5	Native, Rare	Yes		NHIC	x
<i>Solidago juncea</i>	Early Goldenrod	S5	G5			3	5	Native, Uncommon		x		x
<i>Solidago rigida ssp. rigida</i>	Eastern Stiff Goldenrod	S3	G5T5			7	3	Native, Uncommon	Yes		NHIC	
<i>Solidago nemoralis</i>	Grey-stemmed Goldenrod	S5	G5			2	5			x		
<i>Solidago rigida</i>	Stiff Goldenrod	S3	G5			7	3			x	NHIC	x
* <i>Sonchus arvensis</i>	Field Sow-thistle	SNA	GNR				3	Introduced, Common				x
* <i>Sorbus aucuparia</i>	European Mountain-ash	SNA	G5				5	Introduced, Rare				x
<i>Solidago rugosa</i>	Rough-stemmed	S5	G5			4	0	Native, Common		x		x
* <i>Solidago sempervirens</i>	Seaside Goldenrod	SNA	G5				-3	Introduced, Uncommon		x		x
<i>Spergularia marina</i>	Saltmarsh Sand-spurrey	S1	G5				-3	Introduced, Rare			NHIC	
<i>Spiraea alba</i>	White Meadowsweet	S5	G5			3	-3	Native, Common		x		x
<i>Spiraea tomentosa</i>	Steeplebush	S5	G5			5	-3	Native, Rare		x		x
* <i>Stachys palustris</i>	Marsh Hedge-nettle	SNA	G5				-5	Introduced, Status unknown or not sp				x
<i>Stachys pilosa</i>	Hairy Hedge-nettle	SU	G5			6	-3					x
<i>Stachys hispida</i>	Hispid Hedge-nettle	S4	G4Q			7	-3	Native, Common		x		
* <i>Stellaria media</i>	Common Chickweed	SNA	GNR				3	Introduced, Common		x		x
<i>Strophostyles helvola</i>	Trailing Wild Bean	S4	G5			8	0	Native, Common	Yes	x		x
<i>Symphyotrichum</i>	Heart-leaved Aster	S5	G5			5	5	Native, Uncommon				x
<i>Symphyotrichum</i>	Bushy Aster	S2	G5			10	0	Native, Rare	Yes		NHIC	
<i>Symphyotrichum ericoides</i>	White Heath Aster	S5	G5			4	3			x		x
<i>Symphyotrichum laeve</i>	Smooth Aster	S5	G5			7	3			x		x
<i>Symphyotrichum</i>	Panicled Aster	S5	G5			3	-3	Native, Common		x		
<i>Symphyotrichum</i>	Calico Aster	S5	G5			3	0	Native, Common		x		x
<i>Symphyotrichum novae-angliae</i>	New England Aster	S5	G5			2	-3	Native, Common	Yes	x		x
<i>Symphyotrichum oolentangiense</i>	Sky Blue Aster	S4	G5			9	5	Native, Rare	Yes	x		
<i>Symphyotrichum pilosum</i>	Old Field Aster	S5	G5				3			x		x
<i>Symphyotrichum</i>	Willow-leaved Aster	S2	G5	THR	THR	8	-3	Native, Rare	Yes		NHIC, x	x
<i>Symphyotrichum shortii</i>	Short's Aster	S4	G5			7	5	Native, Uncommon	Yes			x
<i>Symphyotrichum</i>	Arrow-leaved Aster	S4	G4G5			6	5	Native, Common	Yes	x		
* <i>Syringa vulgaris</i>	Common Lilac	SNA	GNR				5	Introduced, Rare		x		
<i>Taenidia integerrima</i>	Yellow Pimpernel	S4	G5			9	5	Native, Uncommon				x
* <i>Taraxacum officinale</i>	Common Dandelion	SNA	G5				3	Introduced, Common				x
<i>Thalictrum amphibolum</i>	Skunk Meadow-rue	S2S3	GNR			9	0	Native, Rare	Yes		NHIC	x
<i>Teucrium canadense</i>	Canada Germander	S4S5	G5			6	-3			x		
<i>Thalictrum dasycarpum</i>	Purple Meadow-rue	S4?	G5			5	-3	Native, Common	Yes	x		x
<i>Thalictrum pubescens</i>	Tall Meadow-rue	S5	G5			5	-3	Unconfirmed Report				x
<i>Thalictrum dioicum</i>	Early Meadow-rue	S5	G5			6	3	Native, Common		x		x
* <i>Thlaspi arvense</i>	Field Pennycress	SNA	GNR				5	Introduced, Common		x		
<i>Tilia americana</i>	Basswood	S5	G5			4	3	Native, Common		x		x

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<i>Toxicodendron radicans</i> <i>var. rydbergii</i>	Western Poison Ivy	S5	G--T5	2	0	Native, Common			x
<i>Toxicodendron radicans</i>	Poison Ivy	S5	G5	2	0			x	x
* <i>Tragopogon dubius</i>	Yellow Goatsbeard	SNA	GNR		5	Introduced, Common		x	
* <i>Tragopogon porrifolius</i>	Purple Goatsbeard	SNA	GNR		5	Introduced, Uncommon		x	
* <i>Tragopogon pratensis</i>	Meadow Goatsbeard	SNA	GNR		5	Introduced, Uncommon		x	
* <i>Trifolium campestre</i>	Low Hop Clover	SNA	GNR		5	Introduced, Uncommon		x	
* <i>Trifolium fragiferum</i>	Strawberry Clover	SNA	GNR		3	Introduced, Rare		x	
* <i>Trifolium pratense</i>	Red Clover	SNA	GNR		3	Introduced, Uncommon		x	
* <i>Trifolium repens</i>	White Clover	SNA	GNR		3	Introduced, Uncommon		x	
<i>Triosteum perfoliatum</i>	Perfoliate Horse-gentian	S1	G5	9	5	Native, Rare			NHIC
<i>Triodanis perfoliata</i>	Clasping-leaved Venus' Looking-glass	S4	G5	6	3	Native, Uncommon		x	
* <i>Tussilago farfara</i>	Coltsfoot	SNA	GNR		3	Introduced, Uncommon		x	
<i>Ulmus americana</i>	White Elm	S5	G4	3	-3	Native, Common		x	x
<i>Ulmus rubra</i>	Slippery Elm	S5	G5	6	0	Native, Common			x
* <i>Ulmus pumila</i>	Siberian Elm	SNA	GNR		3	Introduced, Uncommon		x	x
<i>Urtica dioica</i>	Stinging Nettle	S5	G5	2	0			x	
<i>Vaccinium pallidum</i>	Pale Blueberry	S4	G5	9	5	Native, Common		x	
* <i>Verbascum blattaria</i>	Moth Mullein	SNA	GNR		3	Introduced, Common		x	x
* <i>Verbascum thapsus</i>	Common Mullein	SNA	GNR		5	Introduced, Common		x	
<i>Verbena hastata</i>	Blue Vervain	S5	G5	4	-3	Native, Common	Yes	x	x
<i>Verbena stricta</i>	Hoary Vervain	S4	G5	7	5	Native, Rare	Yes	x	
<i>Verbesina alternifolia</i>	Wingstem	S3	G5	5	-3	Native, Rare			NHIC
<i>Verbena urticifolia</i>	White Vervain	S5	G5	4	0	Native, Common		x	x
<i>Vernonia gigantea</i>	Giant Ironweed	S1?	G5	4	0	ve, status unknown or not spec	Yes		NHIC x
<i>Vernonia missurica</i>	Missouri Ironweed	S3?	G4G5	4	0	ve, status unknown or not spec	Yes	x	NHIC x
<i>Veronicastrum virginicum</i>	Culver's Root	S2	G4	10	0	Native, Rare	Yes		NHIC x
* <i>Veronica persica</i>	Bird's-eye Speedwell	SNA	GNR		5	uced, Status unknown or not sp		x	
<i>Viburnum acerifolium</i>	Maple-leaved Viburnum	S5	G5	6	5	Native, Common			x
<i>Viburnum lentago</i>	Nannyberry	S5	G5	4	0	Native, Common		x	x
<i>Viburnum opulus</i>	Guelder Rose	S5	G5	5	-3			x	x Guelder Rose
<i>Viburnum rafinesqueanum</i>	Downy Arrowwood	S5	G5	7	5	Native, Common			x
<i>Vicia americana</i>	American Vetch	S5	G5	5	3	Native, Rare		x	
* <i>Vicia cracca</i>	Tufted Vetch	SNA	GNR		5	Introduced, Rare		x	
* <i>Vicia sativa</i>	Common Vetch	SNA	GNR		3	Introduced, Rare		x	
* <i>Vicia villosa</i>	Hairy Vetch	SNA	G5		5	Introduced, Common		x	
* <i>Vinca minor</i>	Lesser Periwinkle	SNA	GNR		5	Introduced, Rare		x	
* <i>Vincetoxicum rossicum</i>	European Swallowwort	SNA	GNR		5			x	
<i>Viola pubescens</i>	Yellow Violet	S5	G5	5	3	Native, Common		x	
<i>Viola sagittata</i>	Arrow-leaved Violet	S4	G5	9	0			x	x
<i>Viola sororia</i>	Woolly Blue Violet	S5	G5	4	0	Native, Common		x	x
<i>Vitis aestivalis</i>	Summer Grape	S4	G5	7	3	Native, Uncommon		x	
<i>Vitis labrusca</i>	Northern Fox Grape	S1	G5	3	3	Native, Rare			NHIC x
<i>Vitis riparia</i>	Riverbank Grape	S5	G5	0	0	Native, Common		x	x
<i>Xanthium strumarium</i>	Rough Cocklebur	S5	G5	2	0	Native, Common		x	x
<i>Zanthoxylum americanum</i>	Common Prickly-ash	S5	G5	3	3	Native, Common		x	

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<i>Zizia aurea</i>	Golden Alexanders	S5	G5		7	0	Native, Rare		x	
* <i>Agrostis gigantea</i>	Redtop	SNA	G4G5			-3	Introduced, Common			x
<i>Agrostis scabra</i>	Rough Bentgrass	S5	G5		6	0	Native, Rare			x
<i>Aletris farinosa</i>	White Colicroot	S2	G5	END	THR	10	Native, Rare	Yes	NHIC	x
* <i>Agrostis capillaris</i>	Colonial Bentgrass	SNA	GNR			0			x	
<i>Alisma subcordatum</i>	Southern Water-plantain	S4?	G5		1	-5	ve, status unknown or not spec			x
<i>Alisma triviale</i>	Northern Water-plantain	S5	G5		1	-5	ve, status unknown or not spec		x	
<i>Allium canadense</i>	Canada Garlic	S5	G5		8	3	Native, Common		x	
<i>Andropogon gerardi</i>	Big Bluestem	S4	G5		7	3	Native, Uncommon	Yes	x	x
<i>Andropogon virginicus</i>	Broomsedge Bluestem	S4	G5		5	3	Native, Rare	Yes	x	x
<i>Arisaema dracontium</i>	Green Dragon	S3	G5	SC	9	-3	Native, Rare			NHIC
<i>Aristida longespica var. geniculata</i>	Kearney's Threeawn Grass	S2	G5T5?		8	3	Native, Rare	Yes		NHIC
<i>Aristida longespica var. longespica</i>	Slim-spike Threeawn Grass	S2	G5T5?		8	3	Native, Rare	Yes		NHIC
<i>Aristida purpurascens</i>	Arrowfeather Threeawn	S1	G5		10	5	Native, Rare	Yes		NHIC
<i>Arisaema triphyllum</i>	Jack-in-the-pulpit	S5	G5		5	-3	Native, Common		x	
* <i>Asparagus officinalis</i>	Garden Asparagus	SNA	G5?			3	Introduced, Common		x	x
<i>Beckmannia syzigachne</i>	American Sloughgrass	S4	G5		4	-5				x
* <i>Bromus inermis</i>	Smooth Brome	SNA	G5			5	Introduced, Common		x	x
<i>Bromus kalmii</i>	Kalm's Brome	S4	G5		8	0	Native, Rare	Yes	x	
* <i>Butomus umbellatus</i>	Flowering-rush	SNA	G5			-5	Introduced, Common		x	
<i>Calamagrostis canadensis</i>	Bluejoint Reedgrass	S5	G5		4	-5	Native, Common	Yes	x	x
<i>Carex annectens</i>	Yellow-fruited Sedge	S2	G5		6	-3	Native, Rare	Yes		NHIC
<i>Carex bicknellii</i>	Bicknell's Sedge	S2	G5		10	0	Native, Rare	Yes		NHIC
<i>Carex blanda</i>	Woodland Sedge	S5	G5		3	0	Native, Common			x
<i>Carex brevior</i>	Short-beaked Sedge	S4	G5		7	0	Native, Rare	Yes		x
<i>Carex cephalophora</i>	Oval-leaved Sedge	S5	G5		5	3	Native, Common			x
<i>Carex conoidea</i>	Field Sedge	S3	G5		9	-3	Native, Rare	Yes		NHIC
<i>Carex festucacea</i>	Fescue Sedge	S1	G5		9	0	Native, Rare			NHIC
<i>Carex foenea</i>	Bronze Sedge	S5	G5		3	5				x
<i>Carex alopecoidea</i>	Foxtail Sedge	S4	G5		6	-3	Native, Uncommon		x	
<i>Carex lacustris</i>	Lake Sedge	S5	G5		5	-5	Native, Common			x
<i>Carex lasiocarpa</i>	Woolly-fruit Sedge	S5	G5		8	-5	Native, Rare			x
<i>Carex aurea</i>	Golden Sedge	S5	G5		4	-3	Native, Rare		x	
<i>Carex bebbii</i>	Bebb's Sedge	S5	G5		3	-5	Native, Common		x	x
<i>Carex cristatella</i>	Crested Sedge	S5	G5		3	-3	Native, Common		x	
<i>Carex granularis</i>	Limestone Meadow Sedge	S5	G5		3	-3	Native, Common		x	
<i>Carex muskingumensis</i>	Muskingum Sedge	S3	G4		9	-5	Native, Common			NHIC
<i>Carex normalis</i>	Larger Straw Sedge	S4	G5		6	-3	Native, Common			x
<i>Carex hystericina</i>	Porcupine Sedge	S5	G5		5	-5	Native, Rare		x	
<i>Carex intumescens</i>	Bladder Sedge	S5	G5		6	-3	Native, Uncommon		x	
<i>Carex leptoneura</i>	Finely-nerved Sedge	S5	G5		5	0			x	
<i>Carex lupulina</i>	Hop Sedge	S5	G5		6	-5	Native, Common		x	
<i>Carex praticola</i>	Northern Meadow Sedge	S2S3	G5		8	0	Introduced, Rare			x
<i>Carex richardsonii</i>	Richardson's Sedge	S4	G5		9	5	Native, Rare	Yes		x
<i>Carex meadii</i>	Mead's Sedge	S2	G4G5		9	0	Native, Rare	Yes	x	NHIC

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<i>Carex muehlenbergii</i>	Muhlenberg's Sedge	S4S5	G5	7	5				x	
<i>Carex stricta</i>	Tussock Sedge	S5	G5	4	-5	Native, Common				x
<i>Carex suberecta</i>	Prairie Straw Sedge	S2	G4	10	-5	Native, Rare	Yes		NHIC	
<i>Carex pellita</i>	Woolly Sedge	S5	G5	2	-5	Native, Common			x	
<i>Carex tenera</i>	Tender Sedge	S5	G5	4	0	Native, Common				x
<i>Carex tetanica</i>	Rigid Sedge	S3?	G4G5	8	-3	Native, Rare	Yes		NHIC	
<i>Carex trichocarpa</i>	Hairy-fruited Sedge	S3	G4	8	-5					x
<i>Carex pensylvanica</i>	Pennsylvania Sedge	S5	G5	5	5	Native, Common			x	x
<i>Carex prairea</i>	Prairie Sedge	S5	G5	7	-3	Native, Rare			x	
<i>Carex scoparia</i>	Pointed Broom Sedge	S5	G5	5	-3	Native, Rare			x	x
<i>Carex sparganioides</i>	Burreed Sedge	S4S5	G5	5	3	Native, Common			x	
<i>Carex swanii</i>	Swan's Sedge	S4	G5	7	3	Native, Common	Yes		x	
<i>Carex viridula</i>	Greenish Sedge	S5	G5	5	-5	Native, Rare			x	x
<i>Carex vulpinoidea</i>	Fox Sedge	S5	G5	3	-5	Native, Common			x	x
<i>Cenchrus longispinus</i>	Long-spined Sandbur	S4	G5	3	5	Native, Uncommon			x	
* <i>Commelina communis</i>	Asiatic Dayflower	SNA	G5		0	Introduced, Rare			x	
* <i>Convallaria majalis</i>	European Lily-of-the-valley	SNA	G5		5	Introduced, Rare			x	
<i>Corallorhiza odontorhiza</i>	Autumn Coralroot	S2S3	G5	8	5				x	
<i>Cyperus bipartitus</i>	Shining Flatsedge	S5	G5	4	-3	Native, Uncommon			x	
<i>Cyperus esculentus</i>	Perennial Yellow Flatsedge	S5	G5	1	-3	Native, Common			x	
<i>Cyripedium parviflorum</i>	Yellow Lady's-slipper	S5	G5	5	0					x
<i>Cyperus lupulinus</i>	Hop Flatsedge	S4	G5	7	3				x	
<i>Cyperus odoratus</i>	Rusty Flatsedge	S4	GNR	4	-5	Native, Common			x	
<i>Cyperus strigosus</i>	Straw-coloured Flatsedge	S5	G5	5	-3	Native, Common			x	x
* <i>Dactylis glomerata</i>	Orchard Grass	SNA	GNR		3	Introduced, Common			x	x
<i>Danthonia spicata</i>	Poverty Oatgrass	S5	G5	5	5	Native, Common			x	
<i>Dichanthelium</i>	Commons' Panicgrass	SH	G5	6	3	Native, Historical	Yes		NHIC	
<i>Dichanthelium latifolium</i>	Broad-leaved Panicgrass	S4	G5	6	3	Native, Uncommon				x
<i>Dichanthelium meridionale</i>	Matted Panicgrass	S1	G5	10	5	Native, Rare	Yes		NHIC	
<i>Dichanthelium praecocius</i>	Early-branching Panicgrass	S3	G5?	8	5	Native, Rare	Yes		NHIC	x
<i>Dichanthelium</i>	Round-fruited Panicgrass	S3	G5	8	3	Native, Rare	Yes		NHIC	
<i>Dichanthelium implicatum</i>	Slender-stemmed	S5	G5	3	0	ve, status unknown or not spec			x	x
<i>Dichanthelium</i>	Few-flowered Panicgrass	S4	G5	7	3				x	
* <i>Digitaria ischaemum</i>	Smooth Crabgrass	SNA	GNR		3	Introduced, Uncommon				x
<i>Digitaria cognata</i>	Fall Crabgrass	S1?	G5	3	5	Native, Rare	Yes		x	NHIC
<i>Dioscorea villosa</i>	Wild Yam	S4	G4G5	5	0	Native, Common			x	x
<i>Echinochloa muricata</i> var. <i>microstachya</i>	Western Barnyard Grass	S5	G5T5	4	-5	Native, Rare				x
* <i>Echinochloa crus-galli</i>	Large Barnyard Grass	SNA	GNR		-3	Introduced, Common			x	x
<i>Eleocharis erythropoda</i>	Red-stemmed Spikerush	S5	G5	4	-5	Native, Common				x
* <i>Eleusine indica</i>	India Goosegrass	SNA	GNR		3	Introduced, Uncommon			x	
<i>Elodea canadensis</i>	Canada Waterweed	S5	G5	4	-5	Native, Rare			x	
<i>Elymus virginicus</i>	Virginia Wildrye	S5	G5	5	-3					x
<i>Elymus canadensis</i>	Canada Wildrye	S5	G5	8	3	Native, Rare	Yes		x	x
<i>Elymus hystrix</i>	Bottlebrush Grass	S5	G5	5	5	Native, Common			x	
* <i>Elymus repens</i>	Quackgrass	SNA	GNR		3	Introduced, Common			x	
<i>Eragrostis spectabilis</i>	Purple Lovegrass	S4	G5	6	5	Native, Rare	Yes		x	

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<i>Erythronium americanum</i>	Yellow Trout-lily	S5	G5			5	5	Native, Common		x		x
<i>Festuca rubra</i>	Red Fescue	S5	G5				3			x		
<i>Fimbristylis autumnalis</i>	Slender Fimbristylis	S4	G5			9	-3	Native, Rare		x		
* <i>Galanthus nivalis</i>	Common Snowdrop	SNA	GNR				5			x		
<i>Glyceria striata</i>	Fowl Mannagrass	S5	G5			3	-5	Native, Common		x		x
* <i>Hemerocallis fulva</i>	Orange Daylily	SNA	GNA				5	Introduced, Uncommon		x		x
<i>Hordeum jubatum</i>	Foxtail Barley	S5?	G5			0	0			x		
<i>Hypoxis hirsuta</i>	Eastern Yellow Stargrass	S2S3	G5			10	0	Native, Rare	Yes		NHIC	x
<i>Iris versicolor</i>	Harlequin Blue Flag	S5	G5			5	-5			x		x
<i>Iris virginica</i>	Southern Blue Flag	S5	G5			5	-5	Native, Common		x		x
<i>Juncus acuminatus</i>	Sharp-fruited Rush	S3	G5			6	-5	Native, Rare	Yes		NHIC	x
<i>Juncus antheratus</i>	Greater Poverty Rush	S1	GNR			3	-3	Native, Rare	Yes		NHIC	
<i>Juncus biflorus</i>	Two-flowered Rush	S1	G5			10	-3	Native, Rare	Yes		NHIC	x
<i>Juncus brachycarpus</i>	Short-fruited Rush	S1	G4G5			10	-3	Native, Rare	Yes		NHIC	x
<i>Juncus bufonius</i>	Toad Rush	S5	G5			1	-3	Native, Rare				x
<i>Juncus effusus</i>	Soft Rush	S5	G5			4	-5					x
<i>Juncus greenii</i>	Greene's Rush	S3	G5			9	0	Native, Rare	Yes		NHIC	x
<i>Juncus marginatus</i>	Grass-leaved Rush	S3	G5			9	-3	Native, Rare	Yes		NHIC	x
<i>Juncus nodosus</i>	Knotted Rush	S5	G5			5	-5	Native, Uncommon				x
<i>Juncus articulatus</i>	Jointed Rush	S5	G5			5	-5	Native, Rare		x		
<i>Juncus dudleyi</i>	Dudley's Rush	S5	G5			1	-3	Native, Common		x		x
<i>Juncus tenuis</i>	Path Rush	S5	G5			0	0	Native, Common		x		x
<i>Juncus torreyi</i>	Torrey's Rush	S5	G5			3	-3	Native, Common		x		x
<i>Leersia oryzoides</i>	Rice Cutgrass	S5	G5			3	-5	Native, Common		x		x
<i>Leersia virginica</i>	White Cutgrass	S4	G5			6	-3	Native, Common		x		x
<i>Lemna minor</i>	Small Duckweed	S5?	G5			5	-5	Native, Common		x		x
<i>Lilium michiganense</i>	Michigan Lily	S4	G5			7	-3	Native, Common	Yes	x		x
<i>Liparis liliifolia</i>	Purple Twayblade	S2S3	G5	THR	THR	8	3	Native, Rare	Yes		NHIC	
<i>Liparis loeselii</i>	Loesel's Twayblade	S4S5	G5			5	-3	Native, Rare		x		
* <i>Lolium pratense</i>	Meadow Ryegrass	SNA	G5				3	Introduced, Rare				x
* <i>Lolium arundinaceum</i>	Tall Ryegrass	SNA	GNR				3	Introduced, Common		x		x
* <i>Lolium perenne</i>	Perennial Ryegrass	SNA	GNR				3	Introduced, Uncommon		x		
<i>Maianthemum racemosum</i>	Large False Solomon's Seal	S5	G5			4	3	Native, Common		x		x
<i>Maianthemum stellatum</i>	Star-flowered False Solomon's Seal	S5	G5			6	0	Native, Common		x		x
<i>Milium effusum</i>	Wood Millet	S4S5	G5			8	3	Native, Rare				x
* <i>Miscanthus sacchariflorus</i>	Amur Silvergrass	SNA	GNR				5	Introduced, Rare		x		
* <i>Muscari botryoides</i>	Common Grape-hyacinth	SNA	GNR				5			x		
* <i>Ornithogalum umbellatum</i>	Common Star-of-	SNA	G3G5				3	Introduced, Rare		x		
<i>Panicum capillare</i>	Common Panicgrass	S5	G5			0	0	Native, Common				x
* <i>Panicum dichotomiflorum</i>	Fall Panicgrass	SNA	G5				-3	Introduced, Common		x		x
<i>Panicum flexile</i>	Wiry Panicgrass	S4	G5			8	-3	Native, Rare		x		
<i>Panicum virgatum</i>	Old Switch Panicgrass	S4	G5			6	0	Native, Uncommon	Yes	x		x
<i>Paspalum setaceum</i>	Slender Paspalum	S2	G5			8	3	Native, Rare	Yes		NHIC	x
<i>Phalaris arundinacea</i>	Reed Canarygrass	S5	G5			0	-3	Native, Common		x		
* <i>Phleum pratense</i>	Common Timothy	SNA	GNR				3	Introduced, Common		x		x
<i>Phragmites australis</i>	Common Reed	S4?	G5			0	-3			x		x

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<i>Platanthera leucophaea</i>	Eastern Prairie Fringed	S2	G2G3	END	END	10	-3	Native, Rare	Yes		x
<i>Platanthera lacera</i>	Ragged Fringed Orchid	S4	G5			6	-3	Native, Uncommon		x	
<i>Poa alsodes</i>	Grove Bluegrass	S4	G4G5			7	0			x	
<i>Poa palustris</i>	Fowl Bluegrass	S5	G5			5	-3	Native, Rare			x
<i>Poa pratensis</i>	Kentucky Bluegrass	S5	G5			0	3				x
* <i>Poa annua</i>	Annual Bluegrass	SNA	GNR				3	Introduced, Common		x	
* <i>Poa bulbosa</i>	Bulbous Bluegrass	SNA	GNR				3			x	
* <i>Poa compressa</i>	Canada Bluegrass	SNA	GNR				3	Native, Common		x	x
<i>Potamogeton richardsonii</i>	Richardson's Pondweed	S5	G5			5	-5	Native, Rare		x	
* <i>Puschkinia scilloides</i>	Striped Squill	SNA	GNR							x	
<i>Rhynchospora capitellata</i>	Small-headed Beakrush	S4	G5			10	-5	Native, Rare		x	
<i>Schizachyrium scoparium</i>	Little Bluestem	S4	G5			7	3	Native, Uncommon	Yes	x	x
<i>Schoenoplectus tabernaemontani</i>	Soft-stemmed Bulrush	S5	G5			5	-5	Native, Uncommon		x	x
* <i>Scilla siberica</i>	Siberian Squill	SNA	GNR				5			x	
<i>Scirpus atrovirens</i>	Dark-green Bulrush	S5	G5			3	-5	Native, Common		x	
<i>Scirpus cyperinus</i>	Common Woolly Bulrush	S5	G5			4	-5	Native, Rare		x	x
<i>Scirpus hattorianus</i>	Mosquito Bulrush	S4	G5			6	-3	Native, Rare		x	
<i>Scleria pauciflora</i>	Few-flowered Nutrush	S1	G5			10	3	Native, Rare	Yes		NHIC
<i>Scleria triglomerata</i>	Whip Nutrush	S1	G5			10	0	Native, Rare	Yes		NHIC
<i>Scirpus pendulus</i>	Hanging Bulrush	S5	G5			3	-5	Native, Common		x	x
* <i>Setaria pumila</i>	Yellow Foxtail	SNA	GNR				0	Introduced, Common			x
* <i>Setaria faberi</i>	Giant Foxtail	SNA	GNR				3	Introduced, Common		x	
* <i>Setaria viridis</i>	Green Foxtail	SNA	GNR				5	Introduced, Common		x	
<i>Sisyrinchium albidum</i>	White Blue-eyed-grass	S1	G5?			9	3	Native, Rare	Yes		NHIC
<i>Sisyrinchium angustifolium</i>	Narrow-leaved Blue-eyed-	S4	G5			6	0	Native, Common		x	x
<i>Smilax ecirrata</i>	Upright Carrionflower	S3?	G5			6	5	Native, Common	Yes		NHIC
<i>Smilax illinoensis</i>	Illinois Carrionflower	S2?	G4?			5	5	Native, Uncommon	Yes		NHIC
<i>Smilax herbacea</i>	Herbaceous Carrionflower	S4?	G5			5	0	Native, Rare		x	x
<i>Smilax lasioneura</i>	Hairy-nerved Carrionflower	S4S5	G5			5	5	Native, Common		x	x
<i>Smilax tamnoides</i>	Bristly Greenbriar	S5	G5			6	0	Native, Common		x	x
<i>Sorghastrum nutans</i>	Yellow Indiangrass	S4	G5			8	3	Native, Rare	Yes	x	x
<i>Sphenopholis obtusata</i>	Prairie Wedgegrass	S1	G5			10	0	Native, Rare	Yes		NHIC
<i>Spiranthes</i>	Great Plains Ladies'-tresses	S3?	G3G4			8	-3	Native, Rare	Yes		NHIC
<i>Spiranthes incurva</i>	Sphinx Ladies'-tresses	S5	GNR			5	-3	Native, Rare		x	
<i>Spiranthes lucida</i>	Shining Ladies'-tresses	S4	G4			9	-3	Native, Rare		x	
<i>Spirodela polyrhiza</i>	Great Duckweed	S5	G5			4	-5	Native, Rare		x	
<i>Sporobolus compositus</i>	Rough Dropseed	S4	G5			2	5	Native, Uncommon	Yes	x	x
<i>Sporobolus michauxianus</i>	Prairie Cordgrass	S4	G5			7	-3	Native, Uncommon	Yes	x	x
<i>Streptopus lanceolatus</i>	Rose Twisted-stalk	S5	G5			7	3	Native, Historical			x
<i>Symplocarpus foetidus</i>	Eastern Skunk Cabbage	S5	G5			7	-5	Native, Rare		x	
<i>Tradescantia ohiensis</i>	Ohio Spiderwort	S2	G5			10	3	Native, Rare	Yes		NHIC
<i>Trichophorum clintonii</i>	Clinton's Clubrush	S2S3	G4			10	3	Native, Rare	Yes		NHIC
* <i>Tridens flavus</i>	Purpletop Tridens	SNA	G5				5	Introduced, Rare		x	
<i>Trillium grandiflorum</i>	White Trillium	S5	G5			5	3	Native, Common		x	
* <i>Typha angustifolia</i>	Narrow-leaved Cattail	SNA	G5				-5	Native, Common			x

Vegetation Table for Matchette and Malden (ONS2103A)

<i>Typha x glauca</i>	(<i>Typha angustifolia</i> X <i>Typha latifolia</i>)	SNA	GNA		-5	Hybrid		x
<i>Typha latifolia</i>	Broad-leaved Cattail	S5	G5	1	-5	Native, Uncommon	x	x
<i>Uvularia sessilifolia</i>	Sessile-leaved Bellwort	S4	G5	7	3	Native, Rare	x	x
<i>Vallisneria americana</i>	American Eelgrass	S5	G5	6	-5	Native, Rare	x	
<i>Ceratodon purpureus</i>	Fire Moss	S5	G5				x	
<i>Entodon cladorrhizans</i>	Flat-stemmed Entodon	S4	G5				x	
<i>Plagiomnium cuspidatum</i>	Woody Leafy Moss	S5	G5				x	
<i>Asplenium platyneuron</i>	Ebony Spleenwort	S4	G5	6	3	Native, Rare	x	
<i>Athyrium filix-femina</i>	Common Lady Fern	S5	G5	4	0		x	x
<i>Botrypus virginianus</i>	Rattlesnake Fern	S5	G5	5	3	Native, Common	x	
<i>Claytasmunda claytoniana</i>	Interrupted Fern	S5	G5	7	0	Native, Uncommon		x
<i>Dryopteris carthusiana</i>	Spinulose Wood Fern	S5	G5	5	-3	Native, Common	x	
<i>Equisetum fluviatile</i>	Water Horsetail	S5	G5	7	-5	Native, Rare		x
<i>Equisetum palustre</i>	Marsh Horsetail	S5	G5	10	-3	Unconfirmed Report		x
<i>Equisetum pratense</i>	Meadow Horsetail	S5	G5	8	-3			x
<i>Equisetum variegatum</i>	Variiegated Scouring-rush	S5	G5	5	-3	Native, Rare		x
<i>Equisetum arvense</i>	Field Horsetail	S5	G5	0	0	Native, Common	x	x
<i>Equisetum hyemale</i>	Common Scouring-rush	S5	G5	2	0	Native, Common	x	x
<i>Equisetum laevigatum</i>	Smooth Scouring-rush	S4	G5	7	-3	Native, Rare	Yes x	
<i>Matteuccia struthiopteris</i>	Ostrich Fern	S5	G5	5	0	Native, Rare	x	x
<i>Onoclea sensibilis</i>	Sensitive Fern	S5	G5	4	-3	Native, Common	x	x
<i>Osmunda regalis</i>	Royal Fern	S5	G5	7	-5	Native, Uncommon	x	x
<i>Osmundastrum</i>	Cinnamon Fern	S5	G5	7	-3	Native, Uncommon	x	x
<i>Pteridium aquilinum</i>	Bracken Fern	S5	G5	2	3	Native, Uncommon	x	x
<i>Pteridium aquilinum var. latiusculum</i>	Eastern Bracken Fern	S5	G5T5	2	3	Native, Uncommon	x	x
<i>Sceptridium dissectum</i>	Cut-leaved Grapefern	S4S5	G5	6	0	Native, Common	x	
<i>Thelypteris palustris</i>	Marsh Fern	S5	G5	5	-3	Native, Common	x	x

Bird Table for Matchette and Malden (ONS2103A)

Scientific Name	English Name	S Rank (Provincial)	G Rank (Global)	ESA	SARA Schedule 1	Narrow Taxon Group	SOFIA Tallgrass Indicator Species	iNat	Atlas/City Data (Ojibway EA unique records and fieldwork)	Ojibway Prairie Wetland Complex ER28	Choquette & Valliant 2016
<i>Botaurus lentiginosus</i>	American Bittern	S4B	G5			birds		x			
<i>Fulica americana</i>	American Coot	S4B	G5	NAR		birds			OBBA		
<i>Corvus brachyrhynchos</i>	American Crow	S5B	G5			birds		x	OBBA		
<i>Spinus tristis</i>	American Goldfinch	S5B	G5			birds		x	OBBA	x	x
<i>Falco sparverius</i>	American Kestrel	S4	G5			birds		x			
<i>Setophaga ruticilla</i>	American Redstart	S5B	G5			birds		x	OBBA		
<i>Turdus migratorius</i>	American Robin	S5B	G5			birds		x	OBBA	x	x
<i>Scolopax minor</i>	American Woodcock	S4B	G5			birds		x	OBBA		
<i>Haliaeetus leucocephalus</i>	Bald Eagle	S2N,S4B	G5	SC		birds		x	OBBA, NHIC		
<i>Icterus galbula</i>	Baltimore Oriole	S4B	G5			birds		x	OBBA		x
<i>Riparia riparia</i>	Bank Swallow	S4B	G5	THR	THR	birds			NHIC		
<i>Hirundo rustica</i>	Barn Swallow	S5B	G5	THR	THR	birds		x	OBBA, NHIC	x	
<i>Setophaga castanea</i>	Bay-breasted Warbler	S5B	G5			birds		x			
<i>Megaceryle alcyon</i>	Belted Kingfisher	S4B	G5			birds		x	OBBA		
<i>Mniotilta varia</i>	Black-and-white Warbler	S5B	G5			birds		x			
<i>Coccyzus erythrophthalmus</i>	Black-billed Cuckoo	S5B	G5			birds		x	OBBA		
<i>Setophaga fusca</i>	Blackburnian Warbler	S5B	G5			birds		x			
<i>Poecile atricapillus</i>	Black-capped Chickadee	S5	G5			birds		x	OBBA	x	x
<i>Nycticorax nycticorax</i>	Black-crowned Night-heron	S3B,S3N	G5			birds		x	OBBA		
<i>Setophaga striata</i>	Blackpoll Warbler	S4B	G5			birds		x			
<i>Setophaga caerulescens</i>	Black-throated Blue Warbler	S5B	G5			birds		x			
<i>Setophaga virens</i>	Black-throated Green Warbler	S5B	G5			birds		x			
<i>Passerina caerulea</i>	Blue Grosbeak	SNA	G5			birds		x			
<i>Cyanocitta cristata</i>	Blue Jay	S5	G5			birds		x	OBBA	x	
<i>Polioptila caerulea</i>	Blue-gray Gnatcatcher	S4B	G5			birds		x	OBBA		
<i>Vireo solitarius</i>	Blue-headed Vireo	S5B	G5			birds		x			
<i>Anas discors</i>	Blue-winged Teal	S4	G5			birds			OBBA		
<i>Vermivora cyanoptera</i>	Blue-winged Warbler	S4B	G5			birds		x			
<i>Dolichonyx oryzivorus</i>	Bobolink	S4B	G5	THR	THR	birds			NHIC, OBBA		
<i>Chroicocephalus philadelphia</i>	Bonaparte's Gull	S4B,S4N	G5			birds		x			
<i>Buteo platypterus</i>	Broad-winged Hawk	S5B	G5			birds		x			
<i>Certhia americana</i>	Brown Creeper	S5B	G5			birds		x			
<i>Toxostoma rufum</i>	Brown Thrasher	S4B	G5			birds		x	OBBA		
<i>Molothrus ater</i>	Brown-headed Cowbird	S4B	G5			birds		x	OBBA		
<i>Bucephala albeola</i>	Bufflehead	S4	G5			birds		x			
<i>Branta hutchinsii</i>	Cackling Goose	S4M	G5			birds		x			
<i>Branta canadensis</i>	Canada Goose	S5	G5			birds		x	OBBA		
<i>Cardellina canadensis</i>	Canada Warbler	S4B	G5	SC	THR	birds		x			
<i>Setophaga tigrina</i>	Cape May Warbler	S5B	G5			birds		x			
<i>Thryothorus ludovicianus</i>	Carolina Wren	S4	G5			birds		x	OBBA	x	x

Bird Table for Matchette and Malden (ONS2103A)

<i>Hydroprogne caspia</i>	Caspian Tern	S3B	G5	NAR		birds		x		
<i>Bombycilla cedrorum</i>	Cedar Waxwing	S5B	G5			birds		x	OBBA	
<i>Setophaga cerulea</i>	Cerulean Warbler	S3B	G4	THR	END	birds		x		
<i>Setophaga pensylvanica</i>	Chestnut-sided Warbler	S5B	G5			birds		x		
<i>Chaetura pelagica</i>	Chimney Swift	S4B,S4N	G4G5	THR	THR	birds			OBBA	
<i>Spizella passerina</i>	Chipping Sparrow	S5B	G5			birds		x	OBBA	x
<i>Petrochelidon pyrrhonota</i>	Cliff Swallow	S4B	G5			birds			OBBA	
<i>Gallinula galeata</i>	Common Gallinule	S4B	G5			birds			OBBA	
<i>Bucephala clangula</i>	Common Goldeneye	S5	G5			birds		x		
<i>Quiscalus quiscula</i>	Common Grackle	S5B	G5			birds		x	OBBA	x x
<i>Gavia immer</i>	Common Loon	S5B,S5N	G5	NAR		birds		x		
<i>Mergus merganser</i>	Common Merganser	S5B,S5N	G5			birds		x		
<i>Chordeiles minor</i>	Common Nighthawk	S4B	G5	SC	THR	birds		x	OBBA	
<i>Acanthis flammea</i>	Common Redpoll	S4B	G5			birds		x		
<i>Geothlypis trichas</i>	Common Yellowthroat	S5B	G5			birds		x	OBBA	
<i>Oporornis agilis</i>	Connecticut Warbler	S4B	G4G5			birds		x		
<i>Accipiter cooperii</i>	Cooper's Hawk	S4	G5	NAR		birds		x	OBBA	
<i>Junco hyemalis</i>	Dark-eyed Junco	S5B	G5			birds		x		
<i>Spiza americana</i>	Dickcissel	SNA	G5			birds			OBBA	
<i>Phalacrocorax auritus</i>	Double-crested Cormorant	S5B	G5	NAR		birds		x		
<i>Picoides pubescens</i>	Downy Woodpecker	S5	G5			birds			OBBA	x
<i>Sialia sialis</i>	Eastern Bluebird	S5B	G5	NAR		birds		x	OBBA	x
<i>Tyrannus tyrannus</i>	Eastern Kingbird	S4B	G5			birds		x	OBBA	
<i>Sturnella magna</i>	Eastern Meadowlark	S4B	G5	THR	THR	birds			OBBA, NHIC	
<i>Sayornis phoebe</i>	Eastern Phoebe	S5B	G5			birds		x	OBBA	
<i>Megascops asio</i>	Eastern Screech-Owl	S4	G5	NAR		birds		x	OBBA	
<i>Pipilo erythrophthalmus</i>	Eastern Towhee	S4B	G5			birds		x	OBBA	x
<i>Antrostomus vociferus</i>	Eastern Whip-poor-will	S4B	G5	THR	THR	birds			NHIC	
<i>Contopus virens</i>	Eastern Wood-pewee	S4B	G5	SC	SC	birds		x	OBBA, NHIC	x
* <i>Streptopelia decaocto</i>	Eurasian Collared-Dove	SNA	G5			birds			OBBA	
* <i>Sturnus vulgaris</i>	European Starling	SNA	G5			birds		x	OBBA	x x
<i>Coccothraustes vespertinus</i>	Evening Grosbeak	S4B	G5			birds		x		
<i>Spizella pusilla</i>	Field Sparrow	S4B	G5			birds		x	OBBA	
<i>Passerella iliaca</i>	Fox Sparrow	S4B	G5			birds		x		
<i>Regulus satrapa</i>	Golden-crowned Kinglet	S5B	G5			birds		x		
<i>Dumetella carolinensis</i>	Gray Catbird	S4B	G5			birds		x	OBBA	x x
<i>Catharus minimus</i>	Gray-cheeked Thrush	S4B	G5			birds		x		
<i>Ardea herodias</i>	Great Blue Heron	S4	G5			birds		x		
<i>Myiarchus crinitus</i>	Great Crested Flycatcher	S4B	G5			birds		x	OBBA	x
<i>Ardea alba</i>	Great Egret	S2B	G5			birds		x		
<i>Bubo virginianus</i>	Great Horned Owl	S4	G5			birds		x	OBBA	
<i>Aythya marila</i>	Greater Scaup	S4	G5			birds		x		
<i>Anser albifrons</i>	Greater White-fronted Goose	SNA	G5			birds		x		
<i>Tringa melanoleuca</i>	Greater Yellowlegs	S4B,S4N	G5			birds		x		
<i>Butorides virescens</i>	Green Heron	S4B	G5			birds		x	OBBA	
<i>Picoides villosus</i>	Hairy Woodpecker	S5	G5			birds			OBBA	
<i>Catharus guttatus</i>	Hermit Thrush	S5B	G5			birds		x		

Bird Table for Matchette and Malden (ONS2103A)

<i>Larus argentatus</i>	Herring Gull	S5B,S5N	G5			birds		x		
<i>Acanthis hornemanni</i>	Hoary Redpoll	SNA	G5			birds		x		
<i>Lophodytes cucullatus</i>	Hooded Merganser	S5B,S5N	G5			birds		x	OBBA	
<i>Podiceps auritus</i>	Horned Grebe	S1B,S4N	G5	SC	SC	birds		x		
<i>Eremophila alpestris</i>	Horned Lark	S5B	G5			birds		x	OBBA	
* <i>Haemorhous mexicanus</i>	House Finch	SNA	G5			birds		x	OBBA	x
* <i>Passer domesticus</i>	House Sparrow	SNA	G5			birds			OBBA	x x
<i>Troglodytes aedon</i>	House Wren	S5B	G5			birds		x	OBBA	x x
<i>Passerina cyanea</i>	Indigo Bunting	S4B	G5			birds		x	OBBA	x
<i>Charadrius vociferus</i>	Killdeer	S5B,S5N	G5			birds		x	OBBA	x
<i>Rallus elegans</i>	King Rail	S2B	G4	END	END	birds			OBBA	
<i>Ixobrychus exilis</i>	Least Bittern	S4B	G4G5	THR	THR	birds		x	OBBA	
<i>Empidonax minimus</i>	Least Flycatcher	S4B	G5			birds		x	OBBA	
<i>Aythya affinis</i>	Lesser Scaup	S4	G5			birds		x		
<i>Melospiza lincolni</i>	Lincoln's Sparrow	S5B	G5			birds		x		
<i>Parkesia motacilla</i>	Louisiana Waterthrush	S3B	G5	THR	SC	birds		x		
<i>Setophaga magnolia</i>	Magnolia Warbler	S5B	G5			birds		x		
<i>Anas platyrhynchos</i>	Mallard	S5	G5			birds		x	OBBA	
<i>Cistothorus palustris</i>	Marsh Wren	S4B	G5			birds			OBBA	
<i>Falco columbarius</i>	Merlin	S5B	G5	NAR		birds		x		
<i>Anas fulvigula</i>	Mottled Duck	SNA	G4			birds				x
<i>Zenaidura macroura</i>	Mourning Dove	S5	G5			birds		x	OBBA	x
* <i>Cygnus olor</i>	Mute Swan	SNA	G5			birds		x	OBBA	
<i>Cardinalis cardinalis</i>	Northern Cardinal	S5	G5			birds		x	OBBA	x x
<i>Colaptes auratus</i>	Northern Flicker	S4B	G5			birds		x	OBBA	
<i>Circus hudsonius</i>	Northern Harrier	S4B	G5	NAR		birds		x		
<i>Mimus polyglottos</i>	Northern Mockingbird	S4	G5			birds		x	OBBA	
<i>Setophaga americana</i>	Northern Parula	S4B	G5			birds		x		
<i>Anas acuta</i>	Northern Pintail	S5	G5			birds		x		
<i>Stelgidopteryx serripennis</i>	Northern Rough-winged Swallow	S4B	G5			birds		x	OBBA	x
<i>Contopus cooperi</i>	Olive-sided Flycatcher	S4B	G4	SC	THR	birds		x		
<i>Icterus spurius</i>	Orchard Oriole	S4B	G5			birds		x	OBBA	
<i>Pandion haliaetus</i>	Osprey	S5B	G5			birds			OBBA	
<i>Seiurus aurocapilla</i>	Ovenbird	S4B	G5			birds		x		
<i>Falco peregrinus</i>	Peregrine Falcon	S3B	G4	SC	SC	birds		x		
<i>Podilymbus podiceps</i>	Pied-billed Grebe	S4B,S4N	G5			birds			OBBA	
<i>Spinus pinus</i>	Pine Siskin	S4B	G5			birds		x		
<i>Setophaga pinus</i>	Pine Warbler	S5B	G5			birds		x		
<i>Protonotaria citrea</i>	Prothonotary Warbler	S1B	G5	END	END	birds			OBBA	
<i>Progne subis</i>	Purple Martin	S3S4B	G5			birds			OBBA	x
<i>Mergus serrator</i>	Red-breasted Merganser	S4B,S5N	G5			birds		x		
<i>Sitta canadensis</i>	Red-breasted Nuthatch	S5	G5			birds		x		
<i>Vireo olivaceus</i>	Red-eyed Vireo	S5B	G5			birds		x	OBBA	x
<i>Aythya americana</i>	Redhead	S2B,S4N	G5			birds		x	OBBA	
<i>Melanerpes erythrocephalus</i>	Red-headed Woodpecker	S4B	G5	SC	THR	birds	Oak savannas. By no means restricted to this type.	x	NHIC OBBA	

Bird Table for Matchette and Malden (ONS2103A)

<i>Buteo lineatus</i>	Red-shouldered Hawk	S4B	G5	NAR	birds		x		
<i>Buteo jamaicensis</i>	Red-tailed Hawk	S5	G5	NAR	birds		x	OBBA	
<i>Agelaius phoeniceus</i>	Red-winged Blackbird	S4	G5		birds		x	OBBA	X X
<i>Larus delawarensis</i>	Ring-billed Gull	S5B,S4N	G5		birds		x		
* <i>Phasianus colchicus</i>	Ring-necked Pheasant	SNA	G5		birds		x		x
* <i>Columba livia</i>	Rock Pigeon	SNA	G5		birds		x		x
<i>Pheucticus ludovicianus</i>	Rose-breasted Grosbeak	S4B	G5		birds		x	OBBA	x
<i>Regulus calendula</i>	Ruby-crowned Kinglet	S4B	G5		birds		x		
<i>Archilochus colubris</i>	Ruby-throated Hummingbird	S5B	G5		birds		x	OBBA	x
<i>Euphagus carolinus</i>	Rusty Blackbird	S4B	G4	NAR	SC	birds	x		
<i>Grus canadensis</i>	Sandhill Crane	S5B	G5		birds			OBBA	
<i>Passerculus sandwichensis</i>	Savannah Sparrow	S4B	G5		birds		x	OBBA	
<i>Piranga olivacea</i>	Scarlet Tanager	S4B	G5		birds		x	OBBA	
<i>Accipiter striatus</i>	Sharp-shinned Hawk	S5	G5	NAR	birds		x		
<i>Plectrophenax nivalis</i>	Snow Bunting	SNA	G5		birds		x		
<i>Tringa solitaria</i>	Solitary Sandpiper	S4B	G5		birds		x		
<i>Melospiza melodia</i>	Song Sparrow	S5B	G5		birds		x	OBBA	x
<i>Actitis macularius</i>	Spotted Sandpiper	S5	G5		birds		x	OBBA	
<i>Catharus ustulatus</i>	Swainson's Thrush	S4B	G5		birds		x		
<i>Melospiza georgiana</i>	Swamp Sparrow	S5B	G5		birds			OBBA	
<i>Tachycineta bicolor</i>	Tree Swallow	S4B	G5		birds		x	OBBA	x x
<i>Baeolophus bicolor</i>	Tufted Titmouse	S4	G5		birds	Oak savannas. Not restricted to this type, as it also occurs in open woodland and swampland habitats.	x	OBBA	
<i>Cathartes aura</i>	Turkey Vulture	S5B	G5		birds		x	OBBA	
<i>Catharus fuscescens</i>	Veery	S4B	G5		birds		x		
<i>Pooecetes gramineus</i>	Vesper Sparrow	S4B	G5		birds			OBBA	
<i>Rallus limicola</i>	Virginia Rail	S5B	G5		birds			OBBA	
<i>Vireo gilvus</i>	Warbling Vireo	S5B	G5		birds		x	OBBA	x
<i>Sitta carolinensis</i>	White-breasted Nuthatch	S5	G5		birds		x	OBBA	
<i>Zonotrichia leucophrys</i>	White-crowned Sparrow	S4B	G5		birds		x		
<i>Vireo griseus</i>	White-eyed Vireo	S2B	G5		birds			NHIC	
<i>Zonotrichia albicollis</i>	White-throated Sparrow	S5B	G5		birds		x		
<i>Zenaidura macroura</i>	White-winged Dove	SNA	G5		birds			OBBA	x
<i>Meleagris gallopavo</i>	Wild Turkey	S5	G5		birds		x	OBBA	
<i>Empidonax traillii</i>	Willow Flycatcher	S5B	G5		birds		x	OBBA	x
<i>Cardellina pusilla</i>	Wilson's Warbler	S4B	G5		birds		x		
<i>Troglodytes hiemalis</i>	Winter Wren	S5B	G5		birds		x		
<i>Aix sponsa</i>	Wood Duck	S5	G5		birds		x	OBBA	
<i>Hylocichla mustelina</i>	Wood Thrush	S4B	G4	SC	THR	birds	x	OBBA, NHIC	x
<i>Helminthophila vermivorum</i>	Worm-eating Warbler	SNA	G5		birds		x		
<i>Setophaga petechia</i>	Yellow Warbler	S5B	G5		birds		x	OBBA	
<i>Empidonax flaviventris</i>	Yellow-bellied Flycatcher	S5B	G5		birds		x		
<i>Sphyrapicus varius</i>	Yellow-bellied Sapsucker	S5B	G5		birds		x		
<i>Coccyzus americanus</i>	Yellow-billed Cuckoo	S4B	G5		birds		x	OBBA	

Bird Table for Matchette and Malden (ONS2103A)

<i>Icteria virens</i>	Yellow-breasted Chat	S1B	G5	END	END	birds	Oak savannas. Not restricted to this type, as it also occurs in brushy old fields and open woodlands of all types.	NHIC
<i>Setophaga coronata</i>	Yellow-rumped Warbler	S5B	G5			birds		x
<i>Molothrus ater</i>		S4B	G5			birds		OBBA

Herptile Table for Matchette and Malden (ONS2103A)

Scientific Name	English Name	S Rank (Provincial)	G Rank (Global)	ESA	SARA Schedule 1	Narrow Taxon Group	SOFIA Tallgrass Indicator Species	iNat	Atlas/City Data (Ojibway EA unique records and fieldwork)	Ojibway Prairie Wetland Complex ER28	Choquette & Valliant 2016
<i>Lithobates catesbeianus</i>	American Bullfrog	S4	G5			amphibians		x	ORAA		x
<i>Anaxyrus americanus</i>	American Toad	S5	G5			amphibians		x	x	x	x
<i>Lithobates clamitans</i>	Green Frog	S5	G5			amphibians		x	ORAA		x
<i>Necturus maculosus</i>	Mudpuppy	S4	G5	NAR		amphibians			ORAA		
<i>Lithobates pipiens</i>	Northern Leopard Frog	S5	G5	NAR		amphibians		x	ORAA		x
<i>Pseudacris crucifer</i>	Spring Peeper	S5	G5			amphibians			ORAA		
<i>Pseudacris triseriata pop. 2</i>	Western Chorus Frog - Carolinian Population	S4	G5TNR	NAR		amphibians		x	x, ORAA		
<i>Thamnophis butleri</i>	Butler's Gartersnake	S2	G4	END	END	reptiles	Tallgrass prairie. Primarily restricted to this type in Ontario. Some occurrences in other types.		ORAA, NHIC	x	x
<i>Plestiodon fasciatus pop. 1</i>	Common Five-lined Skink (Carolinian population)	S2	G5T2	END	END	reptiles	Tallgrass prairie and oak savannas. Not entirely restricted to these types as it occurs extensively in Precambrian rock barrens along the southern edge of the shield.		ORAA, NHIC	x	
<i>Storeria dekayi</i>	DeKay's Brownsnake	S5	G5	NAR		reptiles		x	ORAA		x
<i>Pantherophis gloydi pop. 2</i>	Eastern Foxsnake (Carolinian population)	S2	G3TNR	END	END	reptiles	Oak savannas and tallgrass prairie. Not entirely restricted to these community types as it occurs commonly in SE Georgian Bay.		ORAA	x	x
<i>Thamnophis sirtalis sirtalis</i>	Eastern Gartersnake	S5	G5T5			reptiles		x	ORAA		x
<i>Heterodon platirhinos</i>	Eastern Hog-nosed Snake	S3	G5	THR	THR	reptiles	Oak savannas and sand barrens. Not entirely restricted to these types by any means.		ORAA		
<i>Sistrurus catenatus pop. 2</i>	Massasauga (Carolinian population)	S1	G3TNR	END	END	reptiles	Tallgrass prairie. Not restricted to this type as it occurs in alvar woodland and grassland, and Precambrian rock barren types.		ORAA, NHIC	x	x
<i>Nerodia sipedon sipedon</i>	Northern Watersnake	S5	G5T5	NAR		reptiles			ORAA		
<i>Regina septemvittata</i>	Queensnake	S2	G5	END	END	reptiles			ORAA		
<i>Storeria occipitomaculata</i>	Red-bellied Snake	S5	G5			reptiles		x	ORAA		x
<i>Opheodrys vernalis</i>	Smooth Greensnake	S4	G5			reptiles			ORAA		
<i>Emydoidea blandingii</i>	Blanding's Turtle	S3	G4	THR	THR	turtles		x	ORAA, NHIC	x	x
<i>Sternotherus odoratus</i>	Eastern Musk Turtle	S3	G5	SC	SC	turtles			ORAA, NHIC		x
<i>Chrysemys picta marginata</i>	Midland Painted Turtle	S4	G5T5			turtles		x	ORAA, NHIC		x
<i>Graptemys geographica</i>	Northern Map Turtle	S3	G5	SC	SC	turtles			ORAA, NHIC		x
* <i>Trachemys scripta</i>	Pond Slider	SNA	G5			turtles		x	ORAA		x

Herptile Table for Matchette and Malden (ONS2103A)

<i>Chelydra serpentina</i>	Snapping Turtle	S4	G5	SC	SC	turtles		x	ORAA, NHIC	x	x
<i>Apalone spinifera</i>	Spiny Softshell	S2	G5	END	THR	turtles			NHIC		

Mammal Table for Matchette and Malden (ONS2103A)

Scientific Name	English Name	S Rank (Provincial)	G Rank (Global)	ESA	SARA Schedule 1	Narrow Taxon Group	SOFIA Tallgrass Indicator Species	iNat	Atlas/City Data (Ojibway EA unique records and fieldwork)	Ojibway Prairie Wetland Complex ER28	Choquette & Valliant 2016
<i>Neovison vison</i>	American Mink	S4	G5			mammals		x			
<i>Castor canadensis</i>	Beaver	S5	G5			mammals		x			
<i>Eptesicus fuscus</i>	Big Brown Bat	S4	G5			mammals		x			
* <i>Rattus rattus</i>	Black Rat	SNA	G5			mammals		x			
<i>Canis latrans</i>	Coyote	S5	G5			mammals		x	x		
<i>Peromyscus maniculatus</i>	Deer Mouse	S5	G5			mammals		x			
<i>Tamias striatus</i>	Eastern Chipmunk	S5	G5			mammals		x	x	x	
<i>Sylvilagus floridanus</i>	Eastern Cottontail	S5	G5			mammals		x	x	x	
<i>Sciurus carolinensis</i>	Eastern Gray Squirrel	S5	G5			mammals		x			x
<i>Lasiurus borealis</i>	Eastern Red Bat	S4	G3G4			mammals		x			
<i>Mustela erminea</i>	Ermine	S5	G5			mammals			x		
<i>Urocyon cinereoargenteus</i>	Gray Fox	S1	G5	THR	THR	mammals			x		
<i>Lasiurus cinereus</i>	Hoary Bat	S4	G3G4			mammals		x			
<i>Myotis lucifugus</i>	Little Brown Myotis	S3	G3	END	END	mammals		x			
<i>Microtus pennsylvanicus</i>	Meadow Vole	S5	G5			mammals		x	x	x	
<i>Ondatra zibethicus</i>	Muskrat	S5	G5			mammals		x			x
<i>Procyon lotor</i>	Northern Raccoon	S5	G5			mammals		x	x	x	
<i>Blarina brevicauda</i>	Northern Short-tailed Shrew	S5	G5			mammals		x	x	x	
* <i>Rattus norvegicus</i>	Norway Rat	SNA	G5			mammals		x			
<i>Vulpes vulpes</i>	Red Fox	S5	G5			mammals			x		
<i>Lasionycteris noctivagans</i>	Silver-haired Bat	S4	G3G4			mammals		x			
<i>Mephitis mephitis</i>	Striped Skunk	S5	G5			mammals		x	x	x	
<i>Didelphis virginiana</i>	Virginia Opossum	S4	G5			mammals		x			x
<i>Peromyscus leucopus</i>	White-footed Mouse	S5	G5			mammals		x	x	x	
<i>Odocoileus virginianus</i>	White-tailed Deer	S5	G5			mammals		x	x		
<i>Marmota monax</i>	Woodchuck	S5	G5			mammals		x			x

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<i>Ichthyomyzon castaneus</i> pop.	Chestnut Lamprey - Great Lakes - Upper St. Lawrence populations	SU	G4TU	DD		Lampreys			NHIC		
<i>Lepomis macrochirus</i>	Bluegill	S5	G5			ray-finned fishes		x			
<i>Amia calva</i>	Bowfin	S4	G5			ray-finned fishes		x			
<i>Culaea inconstans</i>	Brook Stickleback	S5	G5			ray-finned fishes		x			
<i>Ameiurus nebulosus</i>	Brown Bullhead	S5	G5			ray-finned fishes		x			
<i>Umbra limi</i>	Central Mudminnow	S5	G5			ray-finned fishes		x			
<i>Ictalurus punctatus</i>	Channel Catfish	S4	G5			ray-finned fishes		x			
<i>Percina copelandi</i>	Channel Darter	S2	G4	THR		ray-finned fishes			NHIC		
* <i>Cyprinus carpio</i>	Common Carp	SNA	G5			ray-finned fishes		x			
<i>Semotilus atromaculatus</i>	Creek Chub	S5	G5			ray-finned fishes		x			
<i>Pimephales promelas</i>	Fathead Minnow	S5	G5			ray-finned fishes		x			
<i>Aplodinotus grunniens</i>	Freshwater Drum	S5	G5			ray-finned fishes		x			
<i>Dorosoma cepedianum</i>	Gizzard Shad	S4	G5			ray-finned fishes		x			
<i>Notemigonus crysoleucas</i>	Golden Shiner	S5	G5			ray-finned fishes		x			
* <i>Carassius auratus</i>	Goldfish	SNA	G5			ray-finned fishes		x			
<i>Lepomis cyanellus</i>	Green Sunfish	S4	G5	NAR		ray-finned fishes		x			
<i>Nocomis biguttatus</i>	Hornyhead Chub	S4	G5	NAR		ray-finned fishes		x			
<i>Micropterus salmoides</i>	Largemouth Bass	S5	G5			ray-finned fishes		x			
<i>Percina caprodes</i>	Logperch	S5	G5			ray-finned fishes		x			
<i>Lepisosteus osseus</i>	Longnose Gar	S4	G5			ray-finned fishes		x			
<i>Noturus stigmosus</i>	Northern Madtom	S1	G3	END	END	ray-finned fishes			NHIC		
<i>Esox lucius</i>	Northern Pike	S5	G5			ray-finned fishes		x			
<i>Lepomis peltastes</i> pop. 2	Northern Sunfish (Great Lakes - Upper St. Lawrence populations)	S3	G5TNR	SC		ray-finned fishes			NHIC		
<i>Notropis anogenus</i>	Pugnose Shiner	S2	G3	THR	END	ray-finned fishes			NHIC		
<i>Lepomis gibbosus</i>	Pumpkinseed	S5	G5			ray-finned fishes		x			
<i>Ambloplites rupestris</i>	Rock Bass	S5	G5			ray-finned fishes		x			
* <i>Neogobius melanostomus</i>	Round Goby	SNA	G5			ray-finned fishes		x			
<i>Moxostoma macrolepidotum</i>	Shorthead Redhorse	S5	G5			ray-finned fishes		x			
<i>Micropterus dolomieu</i>	Smallmouth Bass	S5	G5			ray-finned fishes		x			
<i>Minytrema melanops</i>	Spotted Sucker	S2	G5	SC	SC	ray-finned fishes			NHIC		
<i>Morone chrysops</i>	White Bass	S4	G5			ray-finned fishes		x			
* <i>Morone americana</i>	White Perch	SNA	G5			ray-finned fishes		x			
<i>Catostomus commersonii</i>	White Sucker	S5	G5			ray-finned fishes		x			
<i>Perca flavescens</i>	Yellow Perch	S5	G5			ray-finned fishes		x			

Invertebrates arthropods Table for Matchette and Malden (ONS2103A)

Scientific Name	English Name	S Rank (Provincial)	G Rank (Global)	SARO	SARA Schedule 1	Narrow Taxon Group	iNat	Atlas/City Data (Ojibway EA unique records and fieldwork)	Ojibway Prairie Wetland Complex ER28
<i>Scutigera coleoptrata</i>	A Centipede	SNA	GNR			centipedes	x		
<i>Cambarus robustus</i>	Big Water Crayfish	S4	G5			crustaceans	x		
<i>Creaserinus fodiens</i>	Digger Crayfish	S3	G5			crustaceans	x		
<i>Faxonius immunis</i>	Calico Crayfish	S4	G5			crustaceans	x		
<i>Faxonius virilis</i>	Virile Crayfish	S4	G5			crustaceans	x		
<i>Lacunicambarus polychromatu</i>	Paintedhand Mudbug	S1S2	G5			crustaceans	x	NHIC	
<i>Acalymma vittatum</i>	A Leaf Beetle	SNR	G5			insects	x		
<i>Acanthocinus pusillus</i>	A Longhorned Beetle	SNR	G5			insects	x		
<i>Achalarus lyciades</i>	Hoary Edge	S1	G5			insects		OBA	
<i>Achyra rantalis</i>	Garden Webworm Moth	SNR	GNR			insects	x		
<i>Acleris forsskaleana</i>		SNR	GNR			insects	x		
<i>Acmaeodera pulchella</i>	A Metallic Wood-boring Beetle	SNR	GNR			insects	x		
<i>Acmaeodera tubulus</i>	A Metallic Wood-boring Beetle	SNR	GNR			insects	x		
<i>Acrobasis angusella</i>		SNR	GNR			insects	x		
<i>Acronicta afflicta</i>	Afflicted Dagger Moth	S1?	G5			insects	x		
<i>Acronicta americana</i>	American Dagger Moth	S5	G5			insects	x		
<i>Acronicta hasta</i>		S4?	G5			insects	x		
<i>Acronicta oblinita</i>	Smearred Dagger Moth	S5	G5			insects	x		
<i>Acronicta superans</i>	Splendid Dagger Moth	S4?	G5			insects	x		
<i>Actias luna</i>	Luna Moth	S4	G5			insects	x		
<i>Aeolus mellillus</i>	A Click Beetle	SNR	GNR			insects	x		
<i>Aeshna constricta</i>	Lance-tipped Darner	S5	G5			insects	x		
<i>Aeshna umbrosa</i>	Shadow Darner	S5	G5			insects	x		
<i>Aeshna verticalis</i>	Green-striped Darner	S3	G5			insects	x		
<i>Agallia quadripunctata</i>	Four-spotted Clover Leafhopper	SNR	GNR			insects	x		
<i>Agalliopsis ancistra</i>		SNR	GNR			insects	x		
<i>Agapostemon virescens</i>	Bicoloured Sweat Bee	S5	G5			insects	x		
<i>Aglais milberti</i>	Milbert's Tortoiseshell	S5	G5			insects	x	OBA	
<i>Aglossa caprealis</i>		SNR	G5			insects	x		
<i>Aglossa cuprina</i>	Grease Moth	SNR	G4G5			insects	x		
<i>Agnorisma badinodis</i>	Pale-banded Dart	SNR	G5			insects	x		
<i>Agonum cupripenne</i>	Ground Beetle	SNR	G5			insects	x		
<i>Agonum decorum</i>	Ground Beetle	SNR	G5			insects	x		
* <i>Agrilus cyanescens</i>	A Metallic Wood-boring Beetle	SNA	GNR			insects	x		
<i>Agriphila vulgivagellus</i>	Vagabond Crambus	SNR	GNR			insects	x		
<i>Agrotis ipsilon</i>	Ipsilon Dart	S5	G5			insects	x		
<i>Alaus oculatus</i>	A Click Beetle	SNR	GNR			insects	x		
<i>Albuna fraxini</i>		SNR	GNR			insects	x		
<i>Allograpta obliqua</i>		S4	GNR			insects	x		
<i>Allonemobius maculatus</i>	Larger Spotted Ground Cricket	SU	G5			insects	x		
<i>Alsophila pometaria</i>	Fall Cankerworm Moth	SNR	G5			insects	x		
<i>Alypia octomaculata</i>	Eight-spotted Forester Moth	S5	G5			insects	x		

Invertebrates arthropods Table for Matchette and Malden (ONS2103A)

<i>Amblycorypha oblongifolia</i>	Oblong-winged Katydid	S4	GNR	insects	x	
<i>Amblyscirtes hegon</i>	Pepper and Salt Skipper	S4	G5	insects		OBA
<i>Amblysellus curtisii</i>		SNR	GNR	insects	x	
<i>Amorpha juglandis</i>	Walnut Sphinx	S4?	G5	insects	x	
<i>Amphasia interstitialis</i>	Ground Beetle	SNR	G5	insects	x	
<i>Amphion floridensis</i>	Nessus Sphinx	S4	G5	insects	x	
<i>Amphipoea americana</i>		S5	G5	insects	x	
<i>Amphipyra pyramoidoides</i>	Copper Underwing	SNR	G5	insects	x	
<i>Anageshna primordialis</i>		SNR	GNR	insects	x	
<i>Anania funebris</i>		SNR	GNR	insects	x	
<i>Anatrytone logan</i>	Delaware Skipper	S4	G5	insects	x	OBA
<i>Anavitrinella pampinaria</i>	Common Gray Moth	S4S5	G5	insects	x	
<i>Anax junius</i>	Common Green Darner	S5	G5	insects	x	
<i>Anaxipha exigua</i>	Say's Winged Bush Cricket	S4	GNR	insects	x	x
<i>Ancistrocerus antilope</i>		S5?	G5	insects	x	x
<i>Ancistrocerus gazella</i>		SNA	GNR	insects	x	x
<i>Ancyloxypha numitor</i>	Least Skipper	S5	G5	insects	x	x
<i>Andrena nubecula</i>	Cloudy-winged Miner Bee	S3S4	GNR	insects	x	x
<i>Andrena vicina</i>	Neighbouring Miner Bee	S5	G5	insects	x	x
<i>Antaeotricha leucillana</i>		SNR	GNR	insects	x	
<i>Antepione thisoaria</i>	Variable Antepione	SNR	G5	insects	x	
<i>Antheraea polyphemus</i>	Polyphemus Moth	S5	G5	insects	x	
<i>Anthidium manicatum</i>	Wool Carder Bee	SNA	G5	insects	x	
<i>Anthophora terminalis</i>	Red-tipped Digger Bee	S5	G5	insects	x	
<i>Anthrax argyropygus</i>		SH	GNR	insects	x	NHIC
<i>Anthrax irroratus</i>	Speckled Coal Bee Fly	S4S5	G5	insects	x	
<i>Anthrax pluto</i>	Wealthy Coal Bee Fly	SU	GNR	insects	x	
<i>Anticarsia gemmatalis</i>	Velvetbean Caterpillar Moth	SNA	G5	insects	x	
<i>Apantesis phalerata</i>	Harnessed Moth	S4?	G5	insects	x	
<i>Apatelodes torrefacta</i>	Spotted Apatelodes	SNR	G5	insects	x	
* <i>Aphrophora alni</i>	European Alder Spittlebug	SNA	GNR	insects	x	
<i>Aphrophora quadrinotata</i>	Four-spotted Spittlebug	S4	GNR	insects	x	
<i>Apis mellifera</i>	European Honey Bee	SNA	GNR	insects	x	
<i>Apoda y-inversum</i>		S5	G5	insects	x	
<i>Archilestes grandis</i>	Great Spreadwing	S1	G5	insects		NHIC
<i>Argia apicalis</i>	Blue-fronted Dancer	S4	G5	insects	x	
<i>Arigomphus villosipes</i>	Unicorn Clubtail	S3	G5	insects	x	
<i>Arphia sulphurea</i>	Sulphur-winged Grasshopper	S4	G5	insects	x	
<i>Ascalapha odorata</i>	Black Witch Moth	SNA	G5	insects	x	
<i>Asterocampa celtis</i>	Hackberry Emperor	S3	G5	insects	x	OBA
<i>Asterocampa clyton</i>	Tawny Emperor	S3	G5	insects		OBA
<i>Atalopedes campestris</i>	Sachem	SNA	G5	insects	x	OBA
<i>Athetis tarda</i>	The Slowpoke	SNR	G5	insects	x	
<i>Athysanus argentarius</i>		SNR	GNR	insects	x	
<i>Atranus pubescens</i>	Ground Beetle	SNR	GNR	insects	x	
<i>Atteva aurea</i>	Ailanthus Webworm Moth	SNR	G5	insects	x	
<i>Augochlora pura</i>	Pure Sweat Bee	S5	G5	insects	x	

Invertebrates arthropods Table for Matchette and Malden (ONS2103A)

<i>Autographa precationis</i>	Common Looper Moth	S5	G5			insects		x
<i>Automeris io</i>	Io Moth	S5	G5			insects		x
<i>Baliosus nervosus</i>	A Leaf Beetle	SNR	G5			insects		x
<i>Battus philenor</i>	Pipevine Swallowtail	SNA	G5			insects		OBA
<i>Besma quercivoraria</i>	Oak Besma	SNR	G5			insects		x
* <i>Bitoma crenata</i>	A Wedge-shaped Beetle	SNA	GNR			insects		x
<i>Bittacus strigosus</i>	Thin Hangingfly	SU	GNR			insects		x
<i>Blastobasis glandulella</i>	Acorn Moth	SNR	GNR			insects		x
<i>Blepharida rhois</i>	A Leaf Beetle	SNR	GNR			insects		x
<i>Boloria bellona</i>	Meadow Fritillary	S5	G5			insects		OBA
<i>Boloria selene</i>	Silver-bordered Fritillary	S5	G5			insects		OBA
<i>Bombus affinis</i>	Rusty-patched Bumble Bee	S1	G2	END	END	insects		NHIC
<i>Bombus bimaculatus</i>	Two-spotted Bumble Bee	S5	G5			insects		x
<i>Bombus citrinus</i>	Lemon Cuckoo Bumble Bee	S3S4	G4			insects		x
<i>Bombus fervidus</i>	Golden Northern Bumble Bee	S3S4	G3G4			insects		x
<i>Bombus griseocollis</i>	Brown-belted Bumble Bee	S5	G5			insects		x
<i>Bombus impatiens</i>	Common Eastern Bumble Bee	S5	G5			insects		x
<i>Bombylius major</i>	Large Bee Fly	S5?	G5			insects		x
<i>Brachiacantha ursina</i>	A Ladybird Beetle	SNR	G5			insects		x
<i>Brachyleptura rubrica</i>	A Longhorned Beetle	SNR	G5			insects		x
<i>Bruchomorpha oculata</i>	A Piglet Bug	SNR	GNR			insects		x
<i>Caenurgina erechtea</i>	Forage Looper Moth	S4S5	G5			insects		x
<i>Calleida punctata</i>	Ground Beetle	SNR	G5			insects		x
<i>Calligrapha bidenticola</i>	A Leaf Beetle	SNR	G5			insects		x
<i>Calligrapha multipunctata</i>	A Leaf Beetle	SNR	G5			insects		x
<i>Callopietria cordata</i>	Silver-spotted Fern Moth	SNR	G5			insects		x
<i>Callosamia promethea</i>	Promethea Moth	S4	G5			insects		x
<i>Calomycterus setarius</i>	A Weevil	SNR	GNR			insects		x
<i>Calopteron reticulatum</i>	A Net-winged Beetle	SNR	GNR			insects		x
<i>Calopteron terminale</i>	A Net-winged Beetle	SNR	GNR			insects		x
<i>Calopteryx maculata</i>	Ebony Jewelwing	S5	G5			insects		x
<i>Calyptra canadensis</i>	Canadian Owlet	SNR	G5			insects		x
<i>Campaea perlata</i>	Pale Beauty Moth	S5	G5			insects		x
<i>Camponotus pennsylvanicus</i>	Eastern Black Carpenter Ant	S5	G5			insects		x
<i>Camponotus subbarbatus</i>	Lesser Bearded Carpenter Ant	SU	GNR			insects		x
<i>Cantura jucunda</i>		SNR	GNR			insects		x
* <i>Cassida rubiginosa</i>	Thistle Tortoise Beetle	SNA	GNR			insects		x
<i>Catocala blandula</i>	Charming Underwing	S5	G5			insects		x
<i>Catocala cerogama</i>	Yellow-banded Underwing	S5	G5			insects		x
<i>Catocala grynea</i>	Woody Underwing	S5	G5			insects		x
<i>Catocala ilia</i>	Iliia Underwing	S5	G5			insects		x
<i>Catocala minuta</i>	Little Underwing	SNR	G5			insects		x
<i>Catocala palaeogama</i>	Oldwife Underwing	SNR	G5			insects		x
<i>Catocala parta</i>	Mother Underwing	S5	G5			insects		x
<i>Catocala piatrix</i>	The Penitent	S4	G5			insects		x
<i>Catocala relictata</i>	White Underwing Moth	S5	G5			insects		x
<i>Catocala relecta</i>	Yellow-gray Underwing	SNR	G5			insects		x

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<i>Catocala serena</i>	Serene Underwing	SH	G5	insects	x	NHIC
<i>Catocala ultronia</i>	Ultronia Underwing Moth	S5	G5	insects	x	
<i>Catocala unijuga</i>	Once-married Underwing	S5	G5	insects	x	
<i>Celastrina lucia</i>	Northern Spring Azure	S5	G5	insects		OBA
<i>Celastrina neglecta</i>	Summer Azure	S5	G5	insects	x	OBA
<i>Celithemis elisa</i>	Calico Pennant	S5	G5	insects	x	
<i>Celithemis eponina</i>	Halloween Pennant	S4	G5	insects	x	x
<i>Celypha cespitana</i>		SNR	GNR	insects	x	
<i>Ceratonia catalpae</i>	Catalpa Sphinx	SNA	G5	insects	x	
<i>Cercyonis pegala</i>	Common Wood-Nymph	S5	G5	insects	x	OBA
<i>Cerma cerintha</i>	Tufted Bird-dropping Moth	SNR	G5	insects	x	
<i>Chalcosyrphus nemorum</i>		S4	GNR	insects	x	
<i>Chauliognathus pensylvanicus</i>	A Soldier Beetle	SNR	G5	insects	x	
<i>Chelymorpha cassidea</i>	A Leaf Beetle	SNR	GNR	insects	x	
<i>Chilocorus stigma</i>	A Ladybird Beetle	SNR	G5	insects	x	
<i>Chionodes mediofuscella</i>		SNR	GNR	insects	x	
<i>Chlaenius tricolor</i>	Ground Beetle	SNR	G5	insects	x	
<i>Chloelitis conspersa</i>	Sprinkled Grasshopper	S4	G5	insects	x	
<i>Chlorochlamys chloroleucaria</i>	Blackberry Looper Moth	SNR	G5	insects	x	
<i>Chlosyne nycteis</i>	Silvery Checkerspot	S5	G5	insects	x	OBA
<i>Choristoneura rosaceana</i>	Oblique-banded Leafroller Moth	SNR	G5	insects	x	
<i>Chortophaga viridifasciata</i>	Green-striped Grasshopper	S4	G5	insects	x	
<i>Chrysochus auratus</i>	A Leaf Beetle	SNR	G5	insects	x	
<i>Chrysopa nigricornis</i>	Black-horned Green Lacewing	SU	GNR	insects	x	
<i>Chrysopa oculata</i>	Golden-eyed Green Lacewing	S5	G5	insects	x	
<i>Chrysops pikei</i>	Pike's Deer Fly	SU	GNR	insects	x	
<i>Chrysoteuchia topiarius</i>		SNR	GNR	insects	x	
<i>Chrysotoxum pubescens</i>		S4	GNR	insects	x	
<i>Chytolita morbidalis</i>	Morbid Owlet	SNR	G5	insects	x	
<i>Cicindela duodecimguttata</i>	A Tiger Beetle	S5	G5	insects	x	
<i>Cicindela formosa</i>	A Tiger Beetle	S4	G5	insects	x	
<i>Cicindela punctulata</i>	A Tiger Beetle	S5	G5	insects	x	
<i>Cicindela sexguttata</i>	A Tiger Beetle	S5	G5	insects	x	
<i>Cispeps fulvicollis</i>	Yellow-collared Scape Moth	SNR	G5	insects	x	
<i>Clastoptera obtusa</i>	Alder Spittle Bug	S5	G5	insects	x	
<i>Clastoptera proteus</i>	Dogwood Spittle Bug	S5	G5	insects	x	
<i>Clepsis clemensiana</i>		SNR	GNR	insects	x	
<i>Climaciella brunnea</i>	Wasp Mantidfly	S4	GNR	insects	x	
<i>Clostera albosigma</i>	Sigmoid Prominent Moth	S5	G5	insects	x	
<i>Clytus ruricola</i>	A Longhorned Beetle	SNR	G5	insects	x	
<i>Cnaemidophorus rhododactyla</i>		SNR	GNR	insects	x	
* <i>Coccinella septempunctata</i>	Seven-spotted Ladybird Beetle	SNA	GNR	insects	x	
<i>Coenonympha tullia</i>	Common Ringlet	S5	G5	insects	x	OBA
<i>Coleomegilla maculata</i>	Spotted Ladybird Beetle	S5	G5	insects	x	
<i>Colias eurytheme</i>	Orange Sulphur	S5	G5	insects	x	OBA
<i>Colias philodice</i>	Clouded Sulphur	S5	G5	insects	x	OBA
<i>Colladonus clitellarius</i>	Sadleback Leafhopper	SNR	GNR	insects	x	

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<i>Colletes inaequalis</i>	Common Eastern Plasterer Bee	S5	G5			insects			x
<i>Colliuris pensylvanica</i>	Ground Beetle	SNR	GNR			insects			x
<i>Conocephalus brevipennis</i>	Short-winged Meadow Katydid	S4	G5			insects			x
<i>Conocephalus nigropleurum</i>	Black-sided Meadow Katydid	S3S4	GNR			insects			x
<i>Conotrachelus nenuphar</i>	A Weevil	SNR	G5			insects			x
<i>Copris fricator</i>	A Scarab Beetle	SNR	GNR			insects			x
<i>Coquillettia perturbans</i>	Cattail Mosquito	S5	G5			insects			x
<i>Coryphista meadii</i>	Barberry Geometer	SNR	G5			insects			x
<i>Cosmia calami</i>	American Dun-bar	SNR	G5			insects			x
<i>Cosmotettix delector</i>		SNR	GNR			insects			x
<i>Costaconvexa centrostrigaria</i>	Bent-line Carpet	SNR	G5			insects			x
<i>Crambidia pallida</i>	Pale Lichen Moth	SNR	G5			insects			x
<i>Crambus agitatellus</i>		SNR	GNR			insects			x
<i>Crambus laqueatellus</i>		SNR	GNR			insects			x
<i>Crambus praefectellus</i>		SNR	GNR			insects			x
<i>Crambus saltuellus</i>		SNR	GNR			insects			x
* <i>Crioceris asparagi</i>	Common Asparagus Beetle	SNA	GNR			insects			x
* <i>Crioceris duodecimpunctata</i>	Spotted Asparagus Beetle	SNA	GNR			insects			x
<i>Crocidophora tuberculalis</i>		SNR	GNR			insects			x
<i>Cryptocephalus venustus</i>	A Leaf Beetle	SNR	G5			insects			x
<i>Ctenicera pyrrhos</i>	A Click Beetle	SNR	GNR			insects			x
<i>Ctenucha virginica</i>	Virginia Ctenucha Moth	S5	G5			insects			x
<i>Cucujus clavipes</i>	A Flat Bark Beetle	SNR	G5			insects			x
<i>Cucullia asteroides</i>	The Asteroid	S4	G5			insects			x
<i>Cucullia convexipennis</i>	Brown-bordered Cucullia	S4	G5			insects			x
<i>Cupido comyntas</i>	Eastern Tailed Blue	S5	G5			insects		OBA	
<i>Cycloneda munda</i>	Immaculate Ladybird Beetle	SNR	G5			insects			x
<i>Cynia tenera</i>	Delicate Cynia	S4	G5			insects			x
<i>Cydia latiferreana</i>		SNR	GNR			insects			x
<i>Cydia pomonella</i>	Codling Moth	SNR	GNR			insects			x
<i>Cymatodera undulata</i>	A Checkered Beetle	SNR	GNR			insects			x
<i>Cyrtepidomus castaneus</i>	A Weevil	SNR	GNR			insects			x
<i>Danaus plexippus</i>	Monarch	S2N,S4B	G4	SC	SC	insects		OBA	
<i>Darapsa myron</i>	Hog Sphinx	SU	G5			insects			x
<i>Dargida diffusa</i>	Wheat Head Armyworm Moth	S5	G5			insects			x
<i>Datana integerrima</i>	Walnut Caterpillar Moth	SNR	G5			insects			x
<i>Datana perspicua</i>	Spotted Datana	SNR	G5			insects			x
<i>Deloyala guttata</i>	A Leaf Beetle	SNR	G5			insects			x
<i>Dendroides canadensis</i>	A Fire-colored Beetle	SNR	G5			insects			x
<i>Derospidea brevicollis</i>	A Leaf Beetle	SNR	GNR			insects			x
<i>Desmia funeralis</i>	Grape Leafroller Moth	SNR	G5			insects			x
<i>Diabrotica cristata</i>	A Leaf Beetle	SNR	GNR			insects			x
<i>Diabrotica undecimpunctata</i>	A Leaf Beetle	SNR	G5			insects			x
<i>Diaperomera femorata</i>	Northern Walkingstick	S4	G4G5			insects			x
<i>Dichomeris bilobella</i>		SNR	GNR			insects			x
<i>Dichomeris ochripalpella</i>		SNR	GNR			insects			x
<i>Dichromorpha viridis</i>	Short-winged Green Grasshopper	S2	G5			insects		NHIC	x

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<i>Dicromantispa sayi</i>	Say's Mantidfly	SU	GNR	insects		x	
<i>Dicymolomia julianalis</i>		SNR	GNR	insects		x	
<i>Dissosteira carolina</i>	Carolina Grasshopper	S4S5	G5	insects		x	
<i>Dolichovespula arenaria</i>		S4	G5	insects		x	
<i>Dolichovespula maculata</i>		S4	G5	insects		x	
<i>Dorcus parallelus</i>	A Stag Beetle	SNR	GNR	insects		x	
<i>Draeculacephala antica</i>		SNR	GNR	insects		x	
<i>Draeculacephala mollipes</i>		SNR	GNR	insects		x	
<i>Draeculacephala robinsoni</i>		SNR	GNR	insects		x	
<i>Dryocampa rubicunda</i>	Rosy Maple Moth	S5	G5	insects		x	
<i>Dypterygia rozmani</i>	American Bird's-wing Moth	SNR	G5	insects		x	
<i>Dyspteris abortivaria</i>	The Bad-wing	SNR	G5	insects		x	
<i>Dytiscus verticalis</i>	A Predaceous Diving Beetle	SNR	GNR	insects		x	
<i>Eburia quadrigeminata</i>	A Longhorned Beetle	SNR	GNR	insects		x	
<i>Ecdytolopha insiticihana</i>	Locust Twig Borer Moth	SNR	GNR	insects		x	
<i>Elater abruptus</i>	A Click Beetle	SNR	GNR	insects		x	
<i>Elophila icciusalis</i>		SNR	GNR	insects		x	
<i>Elophila oblitalis</i>		SNR	GNR	insects		x	
<i>Emmelina monodactyla</i>		SNR	GNR	insects		x	
<i>Empoasca fabae</i>	Potatoe Leafhopper	SNR	GNR	insects		x	
<i>Enallagma aspersum</i>	Azure Bluet	S3	G5	insects	x	NHIC	x
<i>Enallagma basidens</i>	Double-striped Bluet	S3	G5	insects		NHIC	x
<i>Enallagma carunculatum</i>	Tule Bluet	S5	G5	insects		x	
<i>Enallagma civile</i>	Familiar Bluet	S5	G5	insects		x	
<i>Enallagma exsulans</i>	Stream Bluet	S5	G5	insects		x	
<i>Enallagma geminatum</i>	Skimming Bluet	S4	G5	insects		x	
<i>Enallagma signatum</i>	Orange Bluet	S4	G5	insects		x	
<i>Enallagma vesperum</i>	Vesper Bluet	S4	G5	insects		x	
<i>Ennomos magnaria</i>	Maple Spanworm Moth	S5	G5	insects		x	
<i>Enoclerus nigripes</i>	A Checkered Beetle	SNR	G5	insects		x	
<i>Epargyreus clarus</i>	Silver-spotted Skipper	S4	G5	insects	x	OBA	
<i>Epiaschna heros</i>	Swamp Darner	S2S3	G5	insects	x	NHIC	x
<i>Epiblema otiosana</i>	Bidens Borer Moth	SNR	GNR	insects		x	
<i>Epicallima argenticinctella</i>		SNR	GNR	insects		x	
<i>Epicauta cinerea</i>	A Blister Beetle	SNR	GNR	insects		x	
<i>Epicauta pensylvanica</i>	A Blister Beetle	SNR	G5	insects		x	
<i>Epicauta vittata</i>	A Blister Beetle	SNR	GNR	insects		x	
<i>Epimecis hortaria</i>	Tulip-tree Beauty	SNR	G5	insects		x	
<i>Epinotia lindana</i>		SNR	GNR	insects		x	
<i>Epiteca cynosura</i>	Common Baskettail	S5	G5	insects		x	
<i>Epiteca princeps</i>	Prince Baskettail	S5	G5	insects		x	
<i>Eristalis dimidiata</i>		S5	G5	insects		x	
<i>Eristalis flavipes</i>		S5	G5	insects		x	
<i>Eristalis tenax</i>		SNA	GNR	insects		x	
<i>Eristalis transversa</i>		S5	G5	insects		x	
<i>Erynnis baptisiae</i>	Wild Indigo Duskywing	S4	G5	insects	x	OBA	
<i>Erynnis brizo</i>	Sleepy Duskywing	S1	G5	insects		NHIC, OBA	

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<i>Erynnis funeralis</i>	Funereal Duskywing	SNA	G5		insects		OBA
<i>Erynnis horatius</i>	Horace's Duskywing	SNA	G5		insects	x	OBA
<i>Erynnis icelus</i>	Dreamy Duskywing	S5	G5		insects	x	OBA
<i>Erynnis juvenalis</i>	Juvenal's Duskywing	S5	G5		insects	x	OBA
<i>Erynnis lucilius</i>	Columbine Duskywing	S4	G5		insects	x	OBA
<i>Erynnis martialis</i>	Mottled Duskywing	S2	G3	END	insects		OBA
<i>Erythemis simplicicollis</i>	Eastern Pondhawk	S5	G5		insects	x	
<i>Erythroneura calycula</i>		SNR	GNR		insects	x	
<i>Erythroneura elegans</i>		SNR	GNR		insects	x	
<i>Erythroneura rubra</i>		SNR	GNR		insects	x	
<i>Erythroneura rubrella</i>		SNR	GNR		insects	x	
<i>Erythroneura tricineta</i>	Threebanded Grape Leafhopper	SNR	GNR		insects	x	
<i>Estigmene acrea</i>	Salt Marsh Moth	S5	G5		insects	x	
<i>Euchaetes egle</i>	Milkweed Tussock Moth	S4?	G5		insects	x	
<i>Euchlaena serrata</i>	The Saw-wing	SNR	G5		insects	x	
<i>Euclea delphinii</i>	Spiny Oak-slug Moth	SNR	G5		insects	x	
<i>Euclidia cuspidea</i>	Toothed Somberwing	S5	G5		insects	x	
<i>Eucosma ochrocephala</i>		SNR	GNR		insects	x	
<i>Eucosma ornatula</i>		SNR	GNR		insects	x	
<i>Eucosma parmatana</i>		SNR	GNR		insects	x	
<i>Eucosma raracana</i>		SNR	GNR		insects	x	
<i>Eudeilinia herminiata</i>	Northern Eudeilinea	S4?	G5		insects	x	
<i>Euderces picipes</i>	A Longhorned Beetle	SNR	G5		insects	x	
<i>Eudryas grata</i>	Beautiful Wood-nymph	SNR	G5		insects	x	
<i>Eudryas unio</i>	Pearly Wood-nymph	SNR	G5		insects	x	
<i>Eugonobapta nivosaria</i>	Snowy Geometer	SNR	G5		insects	x	
<i>Eulogia ochrifrontella</i>		SNR	GNR		insects	x	
<i>Eumorpha pandorus</i>	Pandorus Sphinx	S4	G5		insects	x	
<i>Euodynerus foraminatus</i>		S4	GNR		insects	x	
<i>Euparthenos nubilis</i>	Locust Underwing	S4?	G5		insects	x	
<i>Euphoria inda</i>	A Scarab Beetle	SNR	G5		insects	x	
<i>Euphydryas phaeton</i>	Baltimore Checkerspot	S4	G5		insects	x	OBA
<i>Euphyes bimacula</i>	Two-spotted Skipper	S4	G4		insects		OBA
<i>Euphyes conspicua</i>	Black Dash	S3	G4		insects		OBA
<i>Euphyes dion</i>	Dion Skipper	S4	G4		insects		OBA
<i>Euphyes dukesi</i>	Duke's Skipper	S2	G3		insects		OBA, NHIC x
<i>Euphyes vestris</i>	Dun Skipper	S5	G5		insects	x	OBA
<i>Euphyia intermedia</i>		SNR	G5		insects	x	
<i>Eupithecia miserulata</i>	Common Eupithecia	SNR	G5		insects	x	
<i>Euptoieta claudia</i>	Variegated Fritillary	SNA	G5		insects	x	OBA
<i>Eurytides marcellus</i>	Zebra Swallowtail	SNA	G5		insects		OBA
<i>Eusarca confusaria</i>	Confused Eusarca	SNR	G5		insects	x	
<i>Evacanthus nigramericanus</i>		SNR	GNR		insects	x	
<i>Feltia herilis</i>	Master's Dart Moth	S5	G5		insects	x	
<i>Feltia jaculifera</i>	Dingy Cutworm Moth	S5	G5		insects	x	
<i>Feniseca tarquinius</i>	Harvester	S4	G5		insects		OBA
<i>Formica exsectoides</i>	Allegheny Mound Ant	S5	G5		insects	x	

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<i>Formica subsericea</i>	Slightly Silky Mound Ant	S5	G5	insects	x
<i>Fumibotys fumalis</i>		SNR	GNR	insects	x
<i>Furcula cinerea</i>	Gray Furcula	SNR	G5	insects	x
<i>Galleria mellonella</i>	Greater Wax Moth	SNA	G5	insects	x
<i>Gaurotes cyanipennis</i>	A Longhorned Beetle	SNR	G5	insects	x
<i>Geron calvus</i>	Bald Bee Fly	S3S4	GNR	insects	x
<i>Glischrochilus fasciatus</i>	A Sap Beetle	SNR	G5	insects	x
<i>Gluphisia septentrionis</i>	Common Gluphisia	SNR	G5	insects	x
<i>Gomphurus vastus</i>	Cobra Clubtail	S1	G5	insects	NHIC
<i>Graphisurus fasciatus</i>	A Longhorned Beetle	SNR	G5	insects	x
<i>Graphocephala coccinea</i>		SNR	GNR	insects	x
<i>Gryllus pennsylvanicus</i>	Fall Field Cricket	S5	G5	insects	x
<i>Gypona melanota</i>		SNR	GNR	insects	x
<i>Gyponana gladia</i>		SNR	GNR	insects	x
<i>Gyponana octolineata</i>		SNR	GNR	insects	x
<i>Haematopis grataria</i>	Chickweed Geometer	SNR	G5	insects	x
<i>Halictus ligatus</i>	Ligated Gregarious Sweat Bee	S5	G5	insects	x
<i>Halysidota harrisii</i>		SNR	G5	insects	x
<i>Halysidota tessellaris</i>	Banded Tussock Moth	S5	G5	insects	x
<i>Haploa clymene</i>	Clymene Moth	SNR	G5	insects	x
<i>Haploa confusa</i>	Confused Haploa	S5	G5	insects	x
<i>Haploa lecontei</i>	LeConte's Haploa	S4?	G5	insects	x
<i>Haploa reversa</i>	Reversed Haploa	S1?	G5	insects	NHIC
<i>Harrisimemna trisignata</i>	Harris's Three-spot	S4	G5	insects	x
<i>Harrisina americana</i>	Grapeleaf Skeletonizer Moth	SNR	G5	insects	x
<i>Helicoverpa zea</i>	Corn Earworm Moth	SNR	G5	insects	x
<i>Heliomata cycladata</i>	Common Spring Moth	SNR	G5	insects	x
<i>Helophilus fasciatus</i>		S5	G5	insects	x
<i>Hemaris diffinis</i>	Snowberry Clearwing Moth	S4S5	G5	insects	x
<i>Hemaris thysbe</i>	Hummingbird Clearwing	S5	G5	insects	x
<i>Hemipenthes sinuosa</i>	Sinuous Bee Fly	S3S5	G5	insects	x
<i>Hemipenthes webberi</i>	Webber's Bee Fly	S5?	G5	insects	x
<i>Herpetogramma abdominalis</i>		SNR	GNR	insects	x
<i>Herpetogramma aeglealis</i>		SNR	GNR	insects	x
<i>Herpetogramma pertextalis</i>		SNR	GNR	insects	x
<i>Hesperia leonardus</i>	Leonard's Skipper	S4	G5	insects	OBA
<i>Hesperophanes pubescens</i>	A Longhorned Beetle	SNR	GNR	insects	x
<i>Heterocampa guttivitta</i>	Saddled Prominent	SNR	G5	insects	x
<i>Hippodamia parenthesis</i>	A Ladybird Beetle	SNR	G5	insects	x
* <i>Hippodamia variegata</i>	A Ladybird Beetle	SNA	GNR	insects	x
<i>Horisme intestinata</i>	Brown Bark Carpet	SNR	G5	insects	x
<i>Hyalophora cecropia</i>	Cecropia Moth	S5	G5	insects	x
<i>Hylaeus modestus</i>	Modest Yellow-faced Bee	S5	G5	insects	x
<i>Hylephila phyleus</i>	Fiery Skipper	SNA	G5	insects	x OBA
<i>Hymetta balteata</i>		SNR	GNR	insects	x
<i>Hyparpax aurora</i>	Pink Prominent	SNR	G5	insects	x
<i>Hypena abalienalis</i>	White-lined Bomolocha	SNR	G5	insects	x

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<i>Hypena baltimoralis</i>	Baltimore Bomolocha	SNR	G5	insects	x		
<i>Hypena bijugalis</i>	Dimorphic Bomolocha	SNR	G5	insects	x		
<i>Hypena manalis</i>	Flowing-line Bomolocha	SNR	G5	insects	x		
<i>Hypena scabra</i>	Green Cloverworm Moth	SNR	G5	insects	x		
<i>Hyphenodes fractilinea</i>	Broken-line Hyphenodes	SNR	G4	insects	x		
<i>Hyperaspis proba</i>	A Ladybird Beetle	SNR	GNR	insects	x		
<i>Hypercompe scribonia</i>	Giant Leopard Moth	SNR	G5	insects	x		
<i>Hyphantria cunea</i>	Fall Webworm Moth	S5	G5	insects	x		
<i>Hypoprepia fucosa</i>	Painted Lichen Moth	S5	G5	insects	x		
<i>Hyppa xylinoides</i>	Common Hyppa	SNR	G5	insects	x		
<i>Hypsopygia costalis</i>	Clover Hayworm Moth	SNA	G5	insects	x		
<i>Idaea dimidiata</i>		SNR	G5	insects	x		
<i>Idia aemula</i>	Common Idia	SNR	G5	insects	x		
<i>Idia americalis</i>	American Idia	SNR	G5	insects	x		
<i>Ischnura hastata</i>	Citrine Forktail	SNA	G5	insects	x		
<i>Ischnura posita</i>	Fragile Forktail	S4	G5	insects	x		
<i>Ischnura verticalis</i>	Eastern Forktail	S5	G5	insects	x		
<i>Japananus hyalinus</i>		SNR	GNR	insects	x		
<i>Junonia coenia</i>	Common Buckeye	SNA	G5	insects	x	OBA	
<i>Kuschelina gibbirtarsa</i>	A Leaf Beetle	SNR	GNR	insects	x		
<i>Labidomera clivicollis</i>	A Leaf Beetle	SNR	G5	insects	x		
<i>Lacinipolia renigera</i>	Bristly Cutworm Moth	S5	G5	insects	x		
<i>Latalus sayii</i>		SNR	GNR	insects	x		
<i>Lebia viridis</i>	Ground Beetle	SNR	G5	insects	x		
<i>Ledaea perditalis</i>	Lost Owlet	SNR	G5	insects	x		
<i>Lema daturaphila</i>	A Leaf Beetle	SNR	G5	insects	x		
<i>Leptinotarsa decemlineata</i>	A Leaf Beetle	SNR	G5	insects	x		
<i>Leptomantispia pulchella</i>	Beautiful Mantidfly	SU	GNR	insects	x		
<i>Lepyronia quadrangularis</i>	Diamond-backed Spittlebug	S5	G5	insects	x		
<i>Lestes congener</i>	Spotted Spreadwing	S5	G5	insects	x		
<i>Lestes dryas</i>	Emerald Spreadwing	S5	G5	insects	x		
<i>Lestes forcipatus</i>	Sweetflag Spreadwing	S4	G5	insects	x		
<i>Lestes rectangularis</i>	Slender Spreadwing	S5	G5	insects	x		
<i>Lethe anthedon</i>	Northern Pearly-Eye	S5	G5	insects	x	OBA	
<i>Lethe appalachia</i>	Appalachian Brown	S4	G4	insects	x	OBA	
<i>Lethe eurydice</i>	Eyed Brown	S5	G5	insects	x	OBA	
<i>Leucania pseudargyria</i>	False Wainscot	S5	G5	insects	x		
<i>Leucania ursula</i>	Ursula Wainscot	SNR	G5	insects	x		
<i>Leucanthiza amphicarpeaeifolia</i>		SNR	GNR	insects	x		
<i>Leuconycta diphteroides</i>	Green Leuconycta	SNR	G5	insects	x		
<i>Leuconycta lepidula</i>		SNR	G5	insects	x		
<i>Leucorrhinia intacta</i>	Dot-tailed Whiteface	S5	G5	insects	x		
<i>Libellula incesa</i>	Slaty Skimmer	S4	G5	insects	x		
<i>Libellula luctuosa</i>	Widow Skimmer	S5	G5	insects	x		
<i>Libellula pulchella</i>	Twelve-spotted Skimmer	S5	G5	insects	x		
<i>Libellula semifasciata</i>	Painted Skimmer	S2	G5	insects	x	NHIC	
<i>Libellula vibrans</i>	Great Blue Skimmer	S1	G5	insects		NHIC	x

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<i>Libytheana carinenta</i>	American Snout	SNA	G5	insects	x	OBA	
<i>Lichenophanes bicornis</i>	A Bostrichid Powder-post Beetle	SNR	G5	insects	x		
* <i>Lilioceris lili</i>	A Leaf Beetle	SNA	GNR	insects	x		
<i>Limenitis archippus</i>	Viceroy	S5	G5	insects	x	OBA	
<i>Limenitis arthemis arthemis</i>	White Admiral	S5	G5T5	insects		OBA	
<i>Limenitis arthemis astyanax</i>	Red-spotted Purple	S5	G5T5	insects	x	OBA	
<i>Limotettix uhleri</i>		SNR	GNR	insects	x		
<i>Lintneria eremitus</i>	Hermit Sphinx	S5	G4G5	insects	x		
<i>Lophocampa caryae</i>	Hickory Tussock Moth	SNR	G5	insects	x		
<i>Loxocera ojobwayensis</i>	a rust fly	SNR	GNR	insects	x		
<i>Lucanus capreolus</i>	A Stag Beetle	SNR	GNR	insects	x		
<i>Lucidota atra</i>	A Glowworm	SNR	G5	insects	x		
<i>Lycaena hyllus</i>	Bronze Copper	S5	G5	insects	x	OBA	
<i>Lycaena phlaeas</i>	American Copper	S5	G5	insects	x	OBA	
* <i>Lymantria dispar</i>	Gypsy Moth	SNA	G5	insects	x		
<i>Lyttosia unitaria</i>	Common Lyttosia	SNR	G5	insects	x		
<i>Maccaffertium luteum</i>	Butter Flat-headed Mayfly	SU	G5	insects	x		
<i>Maccaffertium modestum</i>	Modest Flat-headed Mayfly	SU	G5	insects	x		
<i>Maccaffertium pulchellum</i>	Pretty Flat-headed Mayfly	SU	G5	insects	x		
<i>Machimia tentoriferella</i>	Golden-striped Leaf-tier Moth	SNR	GNR	insects	x		
<i>Macrochilo litophora</i>		SNR	GNR	insects	x		
<i>Macrodactylus subspinosus</i>	A Scarab Beetle	SNR	G5	insects	x		
<i>Macropsis cinerea</i>		SNR	GNR	insects	x		
<i>Macropsis osborni</i>		SNR	GNR	insects	x		
<i>Macrostemum zebratum</i>	Striped Net-spinning Caddisfly	S4S5	G5	insects	x		
<i>Madarellus undulatus</i>	A Weevil	SNR	GNR	insects	x		
<i>Malacosoma americana</i>	Eastern Tent Caterpillar Moth	S5	G5	insects	x		
<i>Maliattha synochitis</i>	Black-dotted Lithacodia	S4?	G5	insects	x		
<i>Mallota posticata</i>		S4	GNR	insects	x		
<i>Mantis religiosa</i>	Praying Mantis	SNA	GNR	insects	x		x
<i>Marimatha nigrofimbria</i>	Black-bordered Lemon Moth	SNR	G5	insects	x		
<i>Meconema thalassinum</i>	Drumming Katydid	SNA	GNR	insects	x		
<i>Megachile sculpturalis</i>	Giant Leafcutter Bee	SNA	G5	insects	x		
<i>Megacyllene robiniae</i>	A Longhorned Beetle	SNR	G5	insects	x		
<i>Megalodacne fasciata</i>	A Pleasing Fungus Beetle	SNR	GNR	insects	x		
<i>Megisto cymela</i>	Little Wood-Satyr	S5	G5	insects	x	OBA	
<i>Melanchra picta</i>	Zebra Caterpillar Moth	SNR	G5	insects	x		
<i>Melanoplus bivittatus</i>	Two-striped Grasshopper	S5	G5	insects	x		
<i>Melanoplus confusus</i>	Pasture Grasshopper	S3S4	G5	insects	x		
<i>Melanoplus differentialis</i>	Differential Grasshopper	S3	G5	insects		NHIC	x
<i>Melanoplus punctulatus</i>	Grizzly Grasshopper	S4	G5	insects	x		
<i>Melanoplus scudderi</i>	Scudder's Short-winged Grasshop	S1	G5	insects		NHIC	x
<i>Melanoplus walshii</i>	Walsh's Grasshopper	S2	G4G5	insects			x
<i>Melittia cucurbitae</i>	Squash Vine Borer Moth	SNR	GNR	insects	x		
<i>Merodon equestris</i>		SNA	GNR	insects	x		
<i>Meropleon ambifusca</i>		SNR	G3G4	insects	x		
<i>Mesamia nigradorsum</i>		SNR	GNR	insects	x		

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<i>Metzneria lappella</i>		SNR	GNR	insects	x	
<i>Microcentrum rhombifolium</i>	Greater Angle-wing Katydid	S4	GNR	insects	x	x
<i>Microcrambus biguttellus</i>		SNR	GNR	insects	x	
<i>Microcrambus elegans</i>		SNR	GNR	insects	x	
<i>Microdon globosus</i>		S4	GNR	insects	x	
<i>Micromus posticus</i>	Posterior Brown Lacewing	SU	GNR	insects	x	
<i>Mocis texana</i>	Texas Mocis	SNA	G5	insects	x	
<i>Molorchus bimaculatus</i>	A Longhorned Beetle	SNR	G5	insects	x	
<i>Monobia quadridens</i>		S2?	GNR	insects	x	NHIC
<i>Mononychus vulpeculus</i>	A Weevil	SNR	GNR	insects	x	
<i>Mythimna unipuncta</i>	Armyworm Moth	S4	G5	insects	x	
<i>Nadata gibbosa</i>	White-spotted Prominent Moth	S5	G5	insects	x	
<i>Nathalis iole</i>	Dainty Sulphur	SNA	G5	insects		OBA
<i>Necrophila americana</i>	A Carrion Beetle	S5	G5	insects	x	
<i>Nectopsyche exquisita</i>	Exquisite Long-horned Caddisfly	S4S5	G5	insects	x	
<i>Nematocampa resistaria</i>	Horned Spanworm Moth	SNR	G5	insects	x	
<i>Neoconocephalus ensiger</i>	Sword-bearing Conehead Katydid	S4	G5	insects	x	
<i>Neocurtilla hexadactyla</i>	Northern Mole Cricket	S2S3	GNR	insects		NHIC
<i>Neoxabea bipunctata</i>	Two-spotted Tree Cricket	S4	GNR	insects	x	x
<i>Nicrophorus orbicollis</i>	A Carrion Beetle	S5	G5	insects	x	
<i>Nicrophorus tomentosus</i>	A Carrion Beetle	S5	G5	insects	x	
* <i>Noctua pronuba</i>	Large Yellow Underwing Moth	SNA	GNR	insects	x	
<i>Nomophila nearctica</i>		SNR	G5	insects	x	
<i>Norvellina novica</i>		SNR	GNR	insects	x	
<i>Norvellina seminuda</i>		SNR	GNR	insects	x	
<i>Nymphalis antiopa</i>	Mourning Cloak	S5	G5	insects	x	OBA
<i>Nymphalis l-album</i>	Compton Tortoiseshell	S5	G5	insects		OBA
<i>Ocyrtamus fuscipennis</i>		S4	GNR	insects	x	
<i>Odontota scapularis</i>	A Leaf Beetle	SNR	G5	insects	x	
<i>Oecanthus nigricornis</i>	Black-horned Tree Cricket	S4	G5	insects	x	
<i>Oecanthus niveus</i>	Narrow-winged Tree Cricket	S3S4	GNR	insects	x	x
<i>Oecanthus quadripunctatus</i>	Four-spotted Tree Cricket	S4	G5	insects	x	
<i>Oiceoptoma inaequale</i>	A Carrion Beetle	SNR	GNR	insects	x	
<i>Oligia modica</i>	Black-banded Brocade	SNR	G5	insects	x	
<i>Onthophagus hecate</i>	A Scarab Beetle	SNR	G5	insects	x	
<i>Orchelimum nigripes</i>	Black-legged Meadow Katydid	S4	GNR	insects	x	
<i>Orgyia defnita</i>	Definite Tussock Moth	SNR	G5	insects	x	
<i>Orgyia leucostigma</i>	White-marked Tussock Moth	S5	G5	insects	x	
<i>Orthonama obstipata</i>	The Gem	SNR	G5	insects	x	
<i>Orthosia hibisci</i>	Speckled Green Fruitworm Moth	S5	G5	insects	x	
<i>Ostrinia penitalis</i>		SNR	GNR	insects	x	
<i>Otiorthynchus sulcatus</i>	A Weevil	SNR	GNR	insects	x	
<i>Pachydiplax longipennis</i>	Blue Dasher	S5	G5	insects	x	
<i>Pachyschelus purpureus</i>	A Metallic Wood-boring Beetle	SNR	GNR	insects	x	
<i>Pachysphinx modesta</i>	Big Poplar Sphinx	S5	G5	insects	x	
<i>Palpita magniferalis</i>		SNR	GNR	insects	x	
<i>Palthis angulalis</i>	Dark-spotted Palthis	SNR	G5	insects	x	

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<i>Palthis asopialis</i>	Faint-spotted Palthis	SNR	G5	insects	x	
<i>Pandemis limitata</i>	Three-lined Leafroller Moth	SNR	GNR	insects	x	
<i>Panopoda rufimargo</i>	Red-lined Panopoda	SNR	G5	insects	x	
<i>Pantala flavescens</i>	Wandering Glider	S4	G5	insects	x	
<i>Pantala hymenaea</i>	Spot-winged Glider	S4	G5	insects	x	
<i>Pantographa limata</i>	Basswood Leafroller Moth	SNR	GNR	insects	x	
<i>Paonias excaecata</i>	Blinded Sphinx	S5	G5	insects	x	
<i>Paonias myops</i>	Small-eyed Sphinx	S5	G5	insects	x	
<i>Papaipema arctivorens</i>		SNR	G5	insects	x	
<i>Papaipema inquaesita</i>		SNR	G5	insects	x	
<i>Papaipema insulidens</i>		SNR	GU	insects	x	
<i>Papaipema nebris</i>	Stalk Borer Moth	SNR	G5	insects	x	
<i>Papaipema necopina</i>	Sunflower Borer Moth	SNR	G4?	insects	x	
<i>Papaipema pterisii</i>		SNR	G5	insects	x	
<i>Papaipema rigida</i>	Rigid Sunflower Borer Moth	SNR	G4G5	insects	x	
<i>Papaipema unimoda</i>		SNR	G5	insects	x	
<i>Papilio cressphontes</i>	Giant Swallowtail	S4	G5	insects	x	OBA
<i>Papilio glaucus</i>	Eastern Tiger Swallowtail	S5	G5	insects	x	OBA
<i>Papilio polyxenes</i>	Black Swallowtail	S5	G5	insects	x	OBA
<i>Papilio troilus</i>	Spicebush Swallowtail	S4	G4?	insects	x	OBA
<i>Parallelia bistriaris</i>	Maple Looper Moth	SNR	G5	insects	x	
<i>Parancistrocerus perennis</i>		S2	GNR	insects		NHIC
<i>Parapoynx allionealis</i>		SNR	GNR	insects	x	
<i>Parapoynx badiusalis</i>		SNR	GNR	insects	x	
<i>Parapoynx obscuralis</i>		SNR	GNR	insects	x	
<i>Paraulacizes irrorata</i>		SNR	GNR	insects	x	
<i>Parrhasius m-album</i>	White-M Hairstreak	SNA	G5	insects	x	OBA
<i>Pelidnota punctata</i>	A Scarab Beetle	SNR	G5	insects	x	
<i>Penthimia americana</i>		SNR	GNR	insects	x	
<i>Peridea angulosa</i>	Angulose Prominent	SNR	G5	insects	x	
<i>Peridroma saucia</i>	Variegated Cutworm Moth	S5	G5	insects	x	
<i>Perigea xanthioides</i>	Red Groundling	SNR	G5	insects	x	
<i>Perithemis tenera</i>	Eastern Amberwing	S4	G5	insects	x	x
<i>Pero honestaria</i>	Honest Pero	SNR	G5	insects	x	
<i>Petrophila canadensis</i>		SNR	GNR	insects	x	
<i>Petrophora subaequaria</i>	Northern Petrophora	SNR	G5	insects	x	
<i>Phaeoura quernaria</i>	Oak Beauty	SNR	G5	insects	x	
<i>Phalaenophana pyramusalis</i>	Dark-banded Owlet	SNR	G5	insects	x	
<i>Phalaenostola larentioides</i>	Black-banded Owlet	SNR	G5	insects	x	
<i>Phanogomphus graslinellus</i>	Pronghorn Clubtail	S3	G5	insects		NHIC x
<i>Pheosia rimosa</i>	Black-rimmed Prominent	SNR	G5	insects	x	
* <i>Philaenus spumarius</i>	Meadow Spittlebug	SNA	GNR	insects	x	
<i>Phoebis philea</i>	Orange-barred Sulphur	SNA	G5	insects		OBA
<i>Phoebis sennae</i>	Cloudless Sulphur	SNA	G5	insects		OBA
<i>Pholisora catullus</i>	Common Sootywing	S4	G5	insects	x	OBA
<i>Phyciodes cocyta</i>	Northern Crescent	S5	G5	insects	x	OBA
<i>Phyciodes tharos</i>	Pearl Crescent	S4	G5	insects	x	OBA

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<i>Phyllobius oblongus</i>	A Weevil	SNR	GNR	insects	x	
<i>Phyllodesma americana</i>	Lappet Moth	S5	G5	insects	x	
* <i>Pieris rapae</i>	Cabbage White	SNA	G5	insects	x	OBA
<i>Pilocrocis ramentalis</i>		SNR	GNR	insects	x	
<i>Plathemis lydia</i>	Common Whitetail	S5	G5	insects	x	
<i>Platylomalus aequalis</i>	A Hister Beetle	SNR	G5	insects	x	
<i>Platynota idaeusalis</i>	Tufted Apple-bud Moth	SNR	GNR	insects	x	
<i>Platyptilia carduidactylus</i>		SNR	G5	insects	x	
<i>Pleuroprucha insularia</i>	Common Tan Wave	SNR	G5	insects	x	
<i>Plusiodonta compressipalpis</i>	Moonseed Moth	SNR	G4	insects	x	
<i>Poanes hobomok</i>	Hobomok Skipper	S5	G5	insects		OBA
<i>Poanes massasoit</i>	Mulberry Wing	S4	G4	insects		OBA
<i>Poanes viator</i>	Broad-winged Skipper	S4	G5	insects	x	OBA
<i>Poanes zabulon</i>	Zabulon Skipper	S1	G5	insects		OBA
<i>Pococera asperatella</i>		SNR	GNR	insects	x	
<i>Podabrus brevicollis</i>	A Soldier Beetle	SNR	GNR	insects	x	
<i>Podabrus flavicollis</i>	A Soldier Beetle	SNR	GNR	insects	x	
<i>Podabrus rugosulus</i>	A Soldier Beetle	SNR	G5	insects	x	
<i>Podabrus tomentosus</i>	A Soldier Beetle	SNR	GNR	insects	x	
<i>Polemium laticornis</i>	A Soldier Beetle	SNR	GNR	insects	x	
<i>Polistes dominula</i>		SNA	GNR	insects	x	
<i>Polistes fuscatus</i>		S4	G5	insects	x	
<i>Polites mystic</i>	Long Dash Skipper	S5	G5	insects	x	OBA
<i>Polites origenes</i>	Crossline Skipper	S4	G4G5	insects	x	OBA
<i>Polites peckius</i>	Peck's Skipper	S5	G5	insects	x	OBA
<i>Polites themistocles</i>	Tawny-edged Skipper	S5	G5	insects	x	OBA
<i>Polyamia caperata</i>		SNR	GNR	insects	x	
<i>Polygonia comma</i>	Eastern Comma	S5	G5	insects	x	OBA
<i>Polygonia interrogationis</i>	Question Mark	S5	G5	insects	x	OBA
<i>Polygrammodes flavidalis</i>		SNR	GNR	insects	x	
<i>Pompeius verna</i>	Little Glassywing	S4	G5	insects	x	OBA
<i>Ponana rubida</i>		SNR	GNR	insects	x	
<i>Ponometia candefacta</i>	Olive-shaded Bird-dropping Moth	S4?	G5	insects	x	
<i>Ponometia erastrioides</i>	Small Bird-dropping Moth	SNR	G5	insects	x	
<i>Pontia protodice</i>	Checkered White	SNA	G5	insects		OBA
* <i>Popillia japonica</i>	A Scarab Beetle	SNA	GNR	insects	x	
<i>Prenolepis imparis</i>	Winter Ant	S4	G5	insects	x	
<i>Prescottia lobata</i>		SNR	GNR	insects	x	
<i>Prochoerodes lineola</i>	Large Maple Spanworm Moth	S5	G5	insects	x	
<i>Progomphus obscurus</i>	Common Sanddragon	S1	G5	insects		NHIC
<i>Prolimacodes badia</i>	Skiff Moth	SNR	G5	insects	x	
<i>Protoarmia porcelaria</i>	Porcelain Gray	SNR	G5	insects	x	
<i>Protodeltote muscosula</i>	Large Mossy Lithacodia	SNR	G5	insects	x	
<i>Psenocerus supernotatus</i>	A Longhorned Beetle	SNR	G5	insects	x	
<i>Pseudeustrotia carneola</i>	Pink-barred Lithacodia	S4	G5	insects	x	
<i>Pseudeva purpurigera</i>	Straight-lined Looper Moth	SNR	G5	insects	x	
<i>Pseudogauratina abdominalis</i>	A Longhorned Beetle	SNR	GNR	insects	x	

Invertebrates arthropods Table for Matchette and Malden (ONS2103A)

<i>Pseudohermonassa bicarnea</i>	Pink-spotted Dart	S4	G5	insects	x	
<i>Pseudothyatira cymatophoroia</i>	Tufted Thyatirid	S4S5	G5	insects	x	
<i>Psorophora ciliata</i>	Large Gold-striped Mosquito	SU	GNR	insects	x	
* <i>Psyche casta</i>	Common Bagworm Moth	SNA	GNR	insects	x	
<i>Psychomorpha epimenis</i>	Grapevine Epimenis Moth	S4	G5	insects	x	
<i>Psyllobora vigintimaculata</i>	A Ladybird Beetle	SNR	G5	insects	x	
<i>Psyrassa unicolor</i>	A Longhorned Beetle	SNR	GNR	insects	x	
<i>Pterostichus mutus</i>	Ground Beetle	SNR	G5	insects	x	
<i>Pyralis farinalis</i>	Meal Moth	SNR	GNR	insects	x	
<i>Pyrausta acronalis</i>		SNR	G5	insects	x	
<i>Pyrausta bicoloralis</i>		SNR	GNR	insects	x	
<i>Pyrausta orphisalis</i>		SNR	GNR	insects	x	
<i>Pyrausta signatalis</i>		SNR	G5	insects	x	
<i>Pyrgus communis</i>	Common Checkered Skipper	SNA	G5	insects		OBA
<i>Pyrisitia lisa</i>	Little Yellow	SNA	G5	insects		OBA
<i>Pyropyga decipiens</i>	A Glowworm	SNR	G5	insects	x	
<i>Pyrrharcia isabella</i>	Isabella Tiger Moth	S5	G5	insects	x	
<i>Pyrrhia aurantiago</i>	False Foxglove Sun Moth	S1	G3G4	insects		NHIC
<i>Pyrrhia cilisca</i>	Bordered Sallow	SNR	G5	insects	x	
<i>Pyrrhia exprimens</i>	Purple-lined Sallow	SNR	G5	insects	x	
<i>Raphia frater</i>	The Brother	S4S5	G5	insects	x	
<i>Rhingia nasica</i>		S5	G5	insects	x	
<i>Rhyssomatus lineaticollis</i>	A Weevil	SNR	GNR	insects	x	
<i>Ripiphorus fasciatus</i>	A Wedge-shaped Beetle	SNR	GNR	insects	x	
<i>Rivula propinqualis</i>	Spotted Grass Moth	SNR	G5	insects	x	
<i>Roeseliana roeselii</i>	Roesel's Shield-backed Katydid	SNA	GNR	insects	x	
<i>Satyrium acadica</i>	Acadian Hairstreak	S4	G5	insects	x	OBA
<i>Satyrium calanus</i>	Banded Hairstreak	S4	G5	insects	x	OBA
<i>Satyrium caryaevorus</i>	Hickory Hairstreak	S4	G4	insects	x	OBA
<i>Satyrium edwardsii</i>	Edwards' Hairstreak	S4	G5	insects	x	OBA
<i>Satyrium favonius</i>	Oak Hairstreak	S1	G4G5	insects		OBA, NHIC
<i>Satyrium liparops</i>	Striped Hairstreak	S5	G5	insects	x	OBA
<i>Satyrium titus</i>	Coral Hairstreak	S5	G5	insects	x	OBA
<i>Saucrobotys futilalis</i>		SNR	GNR	insects	x	
<i>Scaphytopius frontalis</i>	Yellowfaced Leafhopper	SNR	GNR	insects	x	
<i>Scarites subterraneus</i>	A Ground Beetle	SNR	GNR	insects	x	
<i>Schinia arcigera</i>	Arcigera Flower Moth	SNR	G5	insects	x	
<i>Schinia florida</i>	Primrose Moth	SNR	G5	insects	x	
<i>Schinia rivulosa</i>	Ragweed Flower Moth	SNR	G5	insects	x	
<i>Schinia trifascia</i>	Three-lined Flower Moth	SNR	G5	insects	x	
<i>Schizura leptinoides</i>	Black-blotched Schizura	SNR	G5	insects	x	
<i>Schizura unicornis</i>	Unicorn Caterpillar Moth	SNR	G5	insects	x	
<i>Scoliopteryx libatrix</i>	Herald Moth	S5	G5	insects	x	
<i>Scoparia biplagiata</i>		SNR	GNR	insects	x	
<i>Scopula limboundata</i>	Large Lace-border	SNR	G5	insects	x	
<i>Scudderia furcata</i>	Fork-tailed Bush Katydid	S4	G5	insects	x	
<i>Scudderia septentrionalis</i>	Northern Bush Katydid	S3?	G3?	insects	x	

Invertebrates arthropods Table for Matchette and Malden (ONS2103A)

<i>Sitona hispidulus</i>	A Weevil	SNR	GNR	insects	x	
<i>Smodicum cucujiforme</i>	A Longhorned Beetle	SNR	GNR	insects	x	
<i>Spargaloma sexpunctata</i>	Six-spotted Gray	SNR	G5	insects	x	
<i>Sparganothis sulfureana</i>	Sparganothis Fruitworm Moth	SNR	GNR	insects	x	
<i>Sparnopolius confusus</i>	Aster Bee Fly	S3S4	GNR	insects	x	
<i>Speyeria aphrodite</i>	Aphrodite Fritillary	S5	G5	insects		OBA
<i>Speyeria cybele</i>	Great Spangled Fritillary	S5	G5	insects	x	OBA
<i>Speyeria idalia</i>	Regal Fritillary	SNA	G3?	insects		OBA
<i>Sphaerophoria contigua</i>		S5	G5	insects	x	
<i>Sphecius speciosus</i>	Cicada Killer	S1S2	GNR	insects		NHIC
<i>Sphecodina abbottii</i>	Abbott's Sphinx	S4	G5	insects	x	
<i>Sphinx kalmiae</i>	Laurel Sphinx	S5	G5	insects	x	
<i>Spilomyia longicornis</i>		S4	GNR	insects	x	
<i>Spilosoma virginica</i>	Virginian Tiger Moth	S5	G5	insects	x	
<i>Spiramater lutra</i>		S5	G5	insects	x	
<i>Spodoptera frugiperda</i>	Fall Armyworm Moth	SNR	G5	insects	x	
<i>Spodoptera ornithogalli</i>	Yellow-striped Armyworm Moth	SNR	G5	insects	x	
<i>Spragueia leo</i>	Common Spragueia	SNR	G5	insects	x	
<i>Stenolophus lineola</i>	Ground Beetle	SNR	GNR	insects	x	
<i>Stenolophus ochropezus</i>	Ground Beetle	SNR	G5	insects	x	
<i>Strangalia luteicornis</i>	A Longhorned Beetle	SNR	GNR	insects	x	
<i>Strymon melinus</i>	Gray Hairstreak	S4	G5	insects		OBA
<i>Stylurus notatus</i>	Elusive Clubtail	S2	G3	insects		NHIC
<i>Sumitrosis inaequalis</i>	A Leaf Beetle	SNR	G5	insects	x	
<i>Sunira bicolorago</i>	Bicolored Sallow Moth	S5	G5	insects	x	
<i>Symmerista canicosta</i>		SNR	G5	insects	x	
<i>Sympetrum obtrusum</i>	White-faced Meadowhawk	S5	G5	insects	x	
<i>Sympetrum rubicundulum</i>	Ruby Meadowhawk	S5	G5	insects	x	
<i>Sympetrum semicinctum</i>	Band-winged Meadowhawk	S4	G5	insects	x	
<i>Sympetrum vicinum</i>	Autumn Meadowhawk	S5	G5	insects	x	
<i>Synchlora aerata</i>	Wavy-lined Emerald	SNR	G5	insects	x	
<i>Systema marginalis</i>	A Leaf Beetle	SNR	GNR	insects	x	
<i>Tabanus atratus</i>	Mourning Horse Fly	S4	GNR	insects	x	
<i>Tabanus trimaculatus</i>	Three-spotted Horse Fly	SU	GNR	insects	x	
<i>Tenodera sinensis</i>	Chinese Mantis	SNA	GNR	insects	x	
<i>Tetraopes quinque maculatus</i>	A Longhorned Beetle	SNR	GNR	insects	x	
<i>Tetraopes tetrophthalmus</i>	A Longhorned Beetle	SNR	G5	insects	x	
<i>Tettigidea lateralis</i>	Black-sided Pygmy Grasshopper	S4?	G5	insects	x	
<i>Thorybes bathyllus</i>	Southern Cloudywing	S3	G5	insects		OBA
<i>Thorybes pylades</i>	Northern Cloudywing	S5	G5	insects	x	OBA
* <i>Thymelicus lineola</i>	European Skipper	SNA	G5	insects	x	OBA
<i>Thyris maculata</i>	Spotted Thyris	SNR	GNR	insects	x	
<i>Tolyte velleda</i>	Large Tolyte	SNR	G5	insects	x	
<i>Toxomerus geminatus</i>		S5	G5	insects	x	
<i>Toxomerus marginatus</i>		S5	G5	insects	x	
<i>Toxomerus politus</i>		S4	GNR	insects	x	
<i>Toxophora amphitea</i>	Symmetric Hunchback Bee Fly	S1	GNR	insects		NHIC

Invertebrates arthropods Table for Matchette and Malden (ONS2103A)

<i>Tramea carolina</i>	Carolina Saddlebags	SNA	G5	insects	x	
<i>Tramea lacerata</i>	Black Saddlebags	S4	G5	insects	x	
<i>Trichiotinus affinis</i>	A Scarab Beetle	SNR	G5	insects	x	
<i>Trichodezia albovittata</i>	White-striped Black	SNR	G5	insects	x	
<i>Tricholita signata</i>	Signate Quaker	SNR	G5	insects	x	
<i>Trichordestra legitima</i>	Striped Garden Caterpillar Moth	S5	G5	insects	x	
<i>Trirhabda canadensis</i>	A Leaf Beetle	SNR	G5	insects	x	
<i>Tritoma sanguinipennis</i>	A Pleasing Fungus Beetle	SNR	G4G5	insects	x	
<i>Tylonotus bimaculatus</i>	A Longhorned Beetle	SNR	GNR	insects	x	
<i>Tylozygus bifidus</i>		SNR	GNR	insects	x	
<i>Typocerus velutinus</i>	A Longhorned Beetle	SNR	G5	insects	x	
<i>Udea rubigalis</i>	Celery Leftier Moth	SNR	G5	insects	x	
<i>Ululodes quadripunctatus</i>	Four-spotted Owlfly	SU	GNR	insects	x	
<i>Urbanus proteus</i>	Long-tailed Skipper	SNA	G5	insects		OBA
<i>Urola nivalis</i>		SNR	G5	insects	x	
<i>Vanessa atalanta</i>	Red Admiral	S5	G5	insects	x	OBA
<i>Vanessa cardui</i>	Painted Lady	S5	G5	insects	x	OBA
<i>Vanessa virginiensis</i>	American Lady	S5	G5	insects	x	OBA
<i>Vespula flavopilosa</i>		S3S4	GNR	insects	x	
<i>Vespula maculifrons</i>		S4	G5	insects	x	
<i>Vespula vidua</i>		S3	GNR	insects		NHIC
<i>Wallengrenia egeremet</i>	Northern Broken-Dash	S5	G5	insects	x	OBA
<i>Xanthogramma flavipes</i>		S4	GNR	insects	x	
<i>Xenotemna pallorana</i>		SNR	GNR	insects	x	
<i>Xenox tigrinus</i>	Tiger Bee Fly	S3S4	GNR	insects	x	
<i>Xestia dolosa</i>	Greater Black-lettered Dart	S5	G5	insects	x	
<i>Xylocopa virginica</i>	Virginia Carpenter Bee	S4S5	G5	insects	x	
<i>Yponomeuta cagnagella</i>	Spindle Ermine Moth	SNA	GNR	insects	x	
<i>Ypsolopa dentella</i>		SNR	GNR	insects	x	
<i>Zale lunata</i>	Lunate Zale	S5	G5	insects	x	
<i>Zanclognatha cruralis</i>	Early Zanclognatha	SNR	G5	insects	x	
<i>Zanclognatha pedipilalis</i>	Grayish Zanclognatha	SNR	G5	insects	x	
<i>Zerene cesonia</i>	Southern Dogface	SNA	G5	insects		OBA
<i>Oxidus gracilis</i>	A Millipede	SNR	G5	millipedes	x	
<i>Acanthepeira stellata</i>	Star-bellied Orbweaver	S4	GNR	spiders	x	
<i>Amaurobius ferox</i>	Black Laceweaver	SNA	GNR	spiders	x	
<i>Araneus bicentenarius</i>	Lichen-marked Orbweaver	SU	GNR	spiders	x	
<i>Araneus diadematus</i>	Cross Orbweaver	SNA	GNR	spiders	x	
<i>Araneus marmoreus</i>	Marbled Orbweaver	S5	G5	spiders	x	
<i>Araneus thaddeus</i>	Lattice Orbweaver	S3S4	GNR	spiders	x	
<i>Araneus trifolium</i>	Shamrock Orbweaver	S5	G5	spiders	x	
<i>Araniella displicata</i>	Six-spotted Yellow Orbweaver	S5	G5	spiders	x	
<i>Argiope aurantia</i>	Yellow Garden Orbweaver	S5	G5	spiders	x	
<i>Argiope trifasciata</i>	Banded Garden Orbweaver	S5	G5	spiders	x	
<i>Cheiracanthium mildei</i>	Milde's Prowling Spider	SNA	GNR	spiders	x	
<i>Dolomedes tenebrosus</i>	Terrestrial Fishing Spider	S5	G5	spiders	x	
<i>Dolomedes triton</i>	Six-spotted Fishing Spider	S5	G5	spiders	x	

Invertebrates arthropods Table for Matchette and Malden (ONS2103A)

<i>Dysdera crocata</i>	Woodlouse Hunter Spider	SNA	GNR	spiders	x
<i>Enoplognatha ovata</i>	Polymorphic Long-jawed Cobweb Spider	SNA	GNR	spiders	x
<i>Eris militaris</i>	Bronze Jumping Spider	S5	G5	spiders	x
<i>Eustala anastera</i>	Hump-backed Orbweaver	S5	G5	spiders	x
<i>Evarcha hoyi</i>	Hoy's Knobbed Jumping Spider	S4	G5	spiders	x
<i>Habronattus borealis</i>	Boreal Ornamented Jumping Spider	S4	GNR	spiders	x
<i>Hentzia mitrata</i>	Golden Long-jawed Jumping Spider	S4	GNR	spiders	x
<i>Hentzia palmarum</i>	Dark-legged Long-jawed Jumping Spider	SU	GNR	spiders	x
<i>Herpyllus ecclesiasticus</i>	Parson Ground Spider	S4S5	G5	spiders	x
<i>Hibana gracilis</i>	Garden Ghost Spider	SU	GNR	spiders	x
<i>Larinioides cornutus</i>	Furrow Orbweaver	S5	G5	spiders	x
<i>Leucauge venusta</i>	Orchard Long-jawed Spider	S4S5	GNR	spiders	x
<i>Maevia inclemens</i>	Dimorphic Jumping Spider	SU	GNR	spiders	x
<i>Mangora gibberosa</i>	Lined Orbweaver	S4	GNR	spiders	x
<i>Mangora placida</i>	Tuft-legged Orbweaver	S4	GNR	spiders	x
<i>Marpissa formosa</i>	Short-bellied Slender Jumping Spider	SU	GNR	spiders	x
<i>Marpissa lineata</i>	Four-lined Slender Jumping Spider	SU	GNR	spiders	x
<i>Marpissa pikei</i>	Pike's Slender Jumping Spider	SU	GNR	spiders	x
<i>Micrathena gracilis</i>	Spined Orbweaver	S3S4	GNR	spiders	x
<i>Micrathena sagittata</i>	Arrow-shaped Orbweaver	S3S4	GNR	spiders	x
<i>Mimetus notius</i>	Reticulated Pirate Spider	SU	GNR	spiders	x
<i>Misumena vatia</i>	Goldenrod Crab Spider	S5	G5	spiders	x
<i>Misumessus oblongus</i>	Pale Crab Spider	S4	GNR	spiders	x
<i>Neoscona arabesca</i>	Arabesque Orbweaver	S5	G5	spiders	x
<i>Neoscona crucifera</i>	Hentz's Orbweaver	S3S4	GNR	spiders	x
<i>Oxyopes scalaris</i>	Western Lynx Spider	S4S5	G5	spiders	x
<i>Pachygnatha autumnalis</i>	Big-eyed Thick Long-jawed Spider	S4S5	GNR	spiders	x
<i>Pelegrina galathea</i>	Peppered White-cheeked Jumping Spider	S4	GNR	spiders	x
<i>Pelegrina proterva</i>	Common White-cheeked Jumping Spider	S5	G5	spiders	x
<i>Phidippus audax</i>	Bold Tufted Jumping Spider	SU	GNR	spiders	x
<i>Phidippus clarus</i>	Striped Tufted Jumping Spider	S5	G5	spiders	x
<i>Phidippus princeps</i>	Sinuuous Tufted Jumping Spider	S4	GNR	spiders	x
<i>Pirata piraticus</i>	Common Pirate Wolf Spider	S5	G5	spiders	x
<i>Piratula minuta</i>	Small Pirate Wolf Spider	S5	G5	spiders	x
<i>Pisaurina brevipes</i>	Straight-banded Nurseryweb Spider	S4S5	GNR	spiders	x
<i>Pisaurina mira</i>	Common Nurseryweb Spider	S5	G5	spiders	x
<i>Platycryptus undatus</i>	Ondulated Flattened Jumping Spider	SU	GNR	spiders	x
<i>Salticus scenicus</i>	Zebra Jumping Spider	SNA	GNR	spiders	x
<i>Sphodros niger</i>	Black Purseweb Tarantula	S3	G4G5	spiders	NHIC
<i>Steatoda triangulosa</i>	Checkered False Black Widow Spider	SNA	GNR	spiders	x
<i>Synemosyna formica</i>	Slender Antmimic Jumping Spider	SU	GNR	spiders	x
<i>Tetragnatha elongata</i>	Elongated Long-jawed Spider	S4S5	G5	spiders	x
<i>Tigrosa helluo</i>	Wetland Giant Wolf Spider	S5	G5	spiders	x
<i>Tmarus angulatus</i>	Tuberculated Crab Spider	S4	GNR	spiders	x
<i>Trachelas tranquillus</i>	Large Contrasting Corinne Spider	S4S5	GNR	spiders	x
<i>Varacosa avara</i>	Spurred Secretive Wolf Spider	SU	GNR	spiders	x
<i>Zygoballus rufipes</i>	Red Hammer-jawed Jumping Spider	SU	GNR	spiders	x

Invertebrates non-arthropods Table for Matchette and Malden (ONS2103A)

Scientific Name	English Name	S Rank (Provincial)	G Rank (Global)	SARO	SARA Schedule 1	Narrow Taxon Group	iNat	Atlas/City Data (Ojibway EA unique records and fieldwork)	Ojibway Prairie Wetland Complex ER28
* <i>Cepaea nemoralis</i>	Grovesnail	SNA	G5			gastropods	x		
* <i>Cipangopaludina chinensis</i>	Chinese Mysterysnail	SNA	G5			gastropods	x		
<i>Cochlicopa lubrica</i>	Glossy Pillar Snail	S5	G5			gastropods	x		
* <i>Deroceras reticulatum</i>	Gray Fieldslug	SNA	G5			gastropods	x		
<i>Epioblasma rangiana</i>	Northern Riffleshell	S1	G1	END	END	bivalves		NHIC	
<i>Ligumia nasuta</i>	Eastern Pondmussel	S1	G4	END	END	bivalves		NHIC	
* <i>Limax maximus</i>	Giant Gardenslug	SNA	G5			gastropods	x		
* <i>Oxychilus draparnaudi</i>	Dark-bodied Glass-snail	SNA	G5			gastropods	x		
<i>Patera pennsylvanica</i>	Proud Globelet	S1	G4	END		gastropods		NHIC	
<i>Ptychobranthus fasciolaris</i>	Kidneyshell	S1	G4G5	END	END	bivalves		NHIC	
<i>Webbhelix multilineata</i>	Striped Whitelip	S2S3	G5			gastropods		NHIC	



Committee Matters: SCM 300/2024

Subject: Minutes of the Community Public Art Working Group of its meeting held July 24, 2024

Moved by: Councillor Fabio Costante
Seconded by: Councillor Renaldo Agostino

Decision Number: **CSSC 258**

THAT the minutes of the Community Public Art Working Group meeting held July 24, 2024 **BE RECEIVED**.

Carried.

Report Number: SCM 254/2024
Clerk's File:MB2024

Clerk's Note:

1. Please refer to Item 7.1 from the Community Services Standing Committee held on October 2, 2024.
2. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10510>



Committee Matters: SCM 254/2024

**Subject: Minutes of the Community Public Art Working Group of its meeting held
July 24, 2024**

COMMUNITY PUBLIC ART WORKING GROUP

Meeting held July 24, 2024

A meeting of the Community Public Art Working Group is held this day commencing at 5:00 o'clock p.m. in Room 140, 350 City Hall Square West, there being present the following members:

Ashley Kijewski
Nadja Pelkey
Terrence Travis

Regrets received from:

Brian Brown
Leisha Nazarewich

Also present are the following resource personnel:

Michelle Staaedegaard, Manager of Cultural Affairs
Salina Larocque, Cultural Development Coordinator
Christopher Menard, Supervisor Community Programming
Madelyn Della Valle, Museum Curator
Karen Kadour, Committee Coordinator

1. Call to Order

It is generally agreed that Michelle Staaedegaard will Chair the meeting.

Michelle Staaedegaard, Chair calls the meeting to order at 5:10 o'clock p.m. and the Committee considers the Agenda being Schedule A attached hereto, matters which are dealt with as follows:

Verbal Motion is presented by Nadja Pelkey, seconded by Terrence Travis, that Rule 3.3 (c) of the Procedure By-law 98-2011, **BE WAIVED** to add the following Agenda Items:

Item 4.5 - Minutes of the Museum Subcommittee and Minutes of the Museum Capital Fund

Item 4.6- Hoop Dancer – Mural by Naomi Peters
Carried.

2. Declaration of Conflict

None disclosed.

3. Adoption of the Minutes

Moved by Nadja Pelkey, seconded by Terrence Travis,
That the minutes of the Community Public Art Working Group of its meeting held
April 3, 2024 **BE ADOPTED** as presented.
Carried.

4. Business Items

4.1 Ambassador Bridge in the Fog donation

Salina Larocque refers to the Public Art Application submitted by Stan Beatty regarding the donation of a photograph entitled “Ambassador Bridge with geese in the fog”

Nadja Pelkey states that this work does not meet the standard of Public Art and adds there is no information in the project proposal about durable material and future maintenance and insulation costs. She asks if the City of Windsor has an acquisitions policy. Michelle Staadegaard responds that the City has a Public Art Policy and an Acquisition Policy as it relates to the Museum. As there is no Acquisitions Policy, this matter has come forward to the Community Public Art Working Group as it would be displayed within the public realm of an interior space of a public building.

Terence Travis suggests that perhaps this is the beginning of a conversation to create this policy.

Christopher Menard asks if Administration has the ability to accept it contingent upon determining what to do with this piece. Nadja Pelkey responds she would rather not accept a piece without a policy associated with it as an acquisitions framework would also need to include looking at principles of equity.

Christopher Menard alludes to Wall Space Community Art Gallery (who works in partnership with City of Windsor community centres) and suggests speaking to Mr. Beatty about displaying this piece in a community centre.

Moved by Nadja Pelkey, seconded by Ashley Kijewski,
That the photograph donated by Stan Beatty entitled “Ambassador Bridge with geese in the fog” **BE NOT ACCEPTED** as presented under the current Public Art Policy and further, that Administration further explore other avenues for public display.
Carried.

4.2 ACFO-WECK Francophone Canoe Donation

Salina Larocque refers to the Public Art Application submitted by ACFO Regional Windsor-Essex-Chatham Kent who have proposed a monument honouring the Francophone Community which is meant to replace a previous monument that was located at Place Concorde. In their effort to potentially save the old monument or look to creating a new version of the monument, they decided to go with the latter.

Ashley Kijewski expresses concern regarding liability and maintenance as it relates to this piece and adds that these are not design specifications but rather a concept. The structure is approximately 700 pounds and is concerned with the strength and durability of the structure and recommends not moving forward with this until the City is provided with stamped engineer drawings.

Michelle Staadegaard advises that they frequently receive concept drawings that the Committee will review and endorse the concept of it because they think it is a good idea but direct Administration that they continue to work with the organizer to work on the engineer drawings. She states that a partnership with the Gordie Howe Bridge has provided the funding for this project.

Nadja Pelkey indicates that the canoe is a piece of Indigenous technology and notes she is reticent to approve this canoe where we have very few public art projects and nearly none that were generated by an Indigenous artist.

Michelle Staadegaard asks if this group has had consultation with the proper Indigenous communities and if their design can be solidified, would the Working Group agree to look at this matter again. Nadja Pelkey responds she would agree to look at it again provided that there is clear evidence of appropriate consultation and more specific design specifications.

Moved by Ashley Kijewski, seconded by Terrence Travis,

That the submission by the ACFO WECK project to reconstruct the tri-centenary canoe monument **BE DENIED** as there are application deficiencies and further, that if ACFO WECK wishes to resubmit their application, that more detailed design specifications be provided.

Carried.

4.3 Wampum Peace Belt de-accessioning

Moved by Nadja Pelkey, seconded by Ashley Kijewski

That **APPROVAL BE GIVEN** to deaccessioning the War of 1812 Wampum Peace Belt.

Carried.

4.4 Ford City Murals Relocation Project

Salina Larocque states that this project deals with two murals which were both displayed in Ford City on public facing privately owned property. The property owner has requested that the murals be taken down, but the Ford City BIA and the community have always expressed some interest in finding them a more appropriate home. The murals are entitled – “*Shift Change*” and “*Welcome to Ford City*”. A public survey was recently released by the City to allow members of the Ford City community to provide their thoughts on the display and location of the murals. She adds that the City owns the murals and are currently in storage.

Michelle Staadegaard indicates they are working with the Ford City BIA to determine a location for the murals. She asks if the Working Group is endorsing continued conversation with the Ford City BIA for a location within that area, and that once a location has been identified by Administration that the murals will be installed.

Moved by Nadja Pelkey, seconded by Ashley Kijewski,
That Administration **BE REQUESTED** to continue to work with the Ford City BIA and the community to identify the appropriate locations to remount the *Shift Change and Welcome to Ford City* murals.
Carried.

4.5 Minutes of the Museum Subcommittee and the Museum Capital Reserve Committee

Moved by Nadja Pelkey, seconded by Ashley Kijewski,
That the following minutes of the Museum Subcommittee of the former Community Public Art Advisory Committee **BE APPROVED**:

- August 26, 2021
 - September 28, 2021
 - February 23, 2022
 - April 27, 2022
 - June 16, 2022
 - September 29, 2022
- Carried.

Moved by Nadja Pelkey, seconded by Ashley Kijewski,
That the following minutes of the Museum Capital Reserve Fund Committee (Facility Committee) **BE RECEIVED**:

- November 24, 2021
- March 31, 2021
- September 28, 2023
- November 30, 2023

- January 18, 2024

4.6 Hoop Dancer – Naomi Peters

Salina Larocque advises as the towers for the new Gordie Howe International Bridge rise from the ground, murals that share the history of the lands on which the bridge is being constructed, and tell a few of the many stories about the culture and diversity of the region, will be on display. Four artists from Walpole Island First Nation were selected to create murals for display at the Canadian bridge site as part of the project Community Benefits Plan, which identifies opportunities for Indigenous Peoples in Canada. The piece is approximately 30 feet in height.

Each image is displayed on panels that are offered to the tower crane climbing systems – temporary steel structures used to provide access for workers involved with the construction of the two massive towers which will support the bridge.

Walpole Island resident Paul White was selected as the Project Coordinator for the Canadian side and he enlisted the help of well-known Walpole Island First Nation artist, Teresa Altman, as well as two young artists, Daisy White from Walpole Island First Nation and Naomi Peters from Coldwell First Nation.

Christopher Menard indicates that the Bridge approached Art Windsor Essex. He stated that this could be an opportunity for the museum to connect art, Indigenous history, the stories we are telling in the same facility, so the donation will be accepted. He adds that Art Windsor Essex will be talking to the Indigenous communities to determine if this will be erected on the outside of the shared space and where is the ideal spot to put it in terms of sun direction, story telling capacity and serving as a welcome point.

Moved by Nadja Pelkey, seconded by Ashley Kijewski,

That the update regarding the Hoop Dancer Murals created by Naomi Peters **BE RECEIVED** for information.

Carried.

5. New Business

None.

6. Date of Next Meeting

To be determined

7. Adjournment

There being no further business, the meeting is adjourned at 6:25 o'clock p.m.



Committee Matters: SCM 301/2024

Subject: Response to CQ 19-2024 - Reaching Home Funding & Warming Bus - City Wide

Moved by: Councillor Mark McKenzie
Seconded by: Councillor Renaldo Agostino

Decision Number: **CSSC 259**

THAT this report of the Manager - Homelessness & Housing Support dated September 12, 2024 entitled "Response to CQ 19-2024 - Reaching Home Funding & Warming Bus - City Wide" **BE RECEIVED** for information; and,

THAT Administration **BE DIRECTED** to lobby the Provincial and Federal governments for any available funding opportunities; and,

THAT Administration **BE DIRECTED** to approach local philanthropy groups to determine whether any potential funding partnerships can be explored.

Carried.

Report Number: S 127/2024
Clerk's File: MD/14771

Clerk's Note:

1. The recommendation of the Community Services Standing Committee and Administration are **NOT** the same.
2. Please refer to Item 8.2 from the Community Services Standing Committee held on October 2, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10510>

Subject: Response to CQ 19-2024 - Reaching Home Funding & Warming Bus - City Wide

Reference:

Date to Council: October 2, 2024

Author: Kelly Goz

Housing and Children's Services

Report Date: 9/12/2024

Clerk's File #: MD/14771

To: Mayor and Members of City Council

Recommendation:

THAT this report from the Manager (A), Homelessness & Housing Support **BE RECEIVED** for information.

Executive Summary:

N/A

Background:

On December 22, 2023, the City received a communication from Infrastructure Canada that recognized that during winter people experiencing homelessness often face additional risks in unsheltered areas and outdoors. To support community responses, Infrastructure Canada made one-time funding available of up to \$1,111,104 with an aim to help people find safer and more stable places to stay for the winter during the period November 1, 2023 – April 30, 2024.

Locally, this funding had been allocated to temporarily support several initiatives throughout Windsor Essex including:

- Expanding emergency shelter and/or warming centre spaces at the Welcome Centre Shelter for Women and Families, Downtown Mission, Salvation Army – Centre of Hope and the Essex County Homelessness Hub (ECH2);
- Expanding the number of hotel rooms for the Leamington Motel Program; and
- Expanding the hours at the Homelessness & Housing Help Hub (H4) from 6pm to 11:30pm seven days a week; and
- Operating the Warming Bus initiative in collaboration with Housing Services, Transit Windsor and the Downtown Mission.

This report is a response to CQ #19-2024 where Councillor Agostino asked that Administration report back to City Council on the current status of the warming bus

initiative, including current statistics and also explore the feasibility of expanding this to a full year service, including all costs and resources required. It will also highlight the outcomes of the other temporary interventions implemented in 2023-2024 and future plans for the 2024-2025 winter season.

Discussion:

Warming Bus

The Warming Bus operated in the City of Windsor from February 23rd to April 27th, serving the community for 55 nights. It was staffed by a team member from the City of Windsor's Human and Health Services, alongside a partner from either the Downtown Mission or the Windsor Youth Centre. Transit Windsor adjusted its schedule to provide a driver and an overnight supervisor. Through this collaborative effort, the service provided approximately 1,800 rides to over 300 unique clients.

The Warming Bus initially followed a pre-determined route but quickly shifted to an outreach model to better meet the needs of the population. Support was provided to individuals with untreated mental illness and addiction, those banned from shelters due to behavioral issues or non-compliance with rules, and those who were highly vulnerable and fearful of traditional shelter environments.

The Warming Bus was a responsive approach to addressing homelessness, made possible by time-sensitive and one time funding that needed to be utilized by the end of April 2024. While this innovative service had a positive impact, many of those who relied on it remain homeless due to a shortage of affordable housing and the lack of high-support housing tailored to their unique needs.

Emergency Shelter Warming Centre

The Unsheltered Winter Funding enabled the City to establish warming centers at all three emergency shelters and provided financial support for the County of Essex's Essex County Homelessness Hub (ECH2) to operate an overnight warming center for the first time.

Expanded Emergency Shelter Resources	
Welcome Centre	15 spaces
Salvation Army	12 spaces
Downtown Mission	10 overflow mats, 30 warming centre spaces
Essex County Homelessness Hub	9 spaces

These additional resources allowed for more choice amongst individuals experiencing homelessness and allowed for a more flexible service delivery. The investment covered costs for extra staffing, program expenses, and food.

Funding was also used to increase the number of motel rooms available to individuals and families experiencing homelessness who work or have children enrolled in school within the County. This allowed them to remain in their home communities while searching for housing, minimizing disruption to their daily lives. Most nights, warming

centre spaces were fully utilized at the various sites which demonstrated the success of offering an alternative space for people to have their needs met.

Current Trends in Emergency Shelter Usage

When reviewing Emergency Shelter data for the first 8 months of 2023 and 2024 there is a notable increase in shelter usage across much of the shelter system. This is correlated to the year over increase in the City’s homelessness numbers, which is something every municipality across Canada is experiencing. In addition, the positive outcomes yielded to date from the implementation of the Strengthen the Core has resulted in less visible street homelessness as more people are utilizing the Downtown Mission (98% capacity) since mid-June 2024 whereas previous utilization during summer months were much lower.

Name of Shelter	Number of Unique People	Number of Unique People	Percentage Change
	Jan 1, 2023 – Aug 31, 2023	Jan 1, 2024 – Aug 31, 2024	from 2023 - 2024
The United Church of the Downtown Mission	670	789	17.7% increase
Salvation Army	238	245	3% increase
Welcome Centre Shelter for Women	234	214	9.3% decrease
Welcome Centre Shelter for Families	385	475	23.3% increase
Essex County Emergency Shelter Program	22	29	24% increase

Combined, this increase is anticipated to result in capacity constraints across the system in winter 2024 which will require additional investments in programs including potential emergency shelter overflow, and other permanent housing solutions such as an expansion in rent supplement programs, etc. Administration continues to explore the costing and feasibility of such expansions in discussion with people experiencing homelessness.

Housing Services is awaiting provincial and federal budget announcements to determine if additional funding will be provided to support homelessness specific to the winter 2024-2025 season. If additional funding is received, the City would review local data to determine which initiatives comply with the Homelessness Prevention Program / Reaching Home directives, criteria and are eligible activities in consultation with the Community Advisory Board. The breadth and depth of the services will depend on the amount of funding allocated to the Service Manager/Community Entity (i.e. City).

Risk Analysis:

The report is for information purposes only; therefore, no risks have been identified.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

The City of Windsor, as the RH Designated Community Entity (includes the County of Essex), was allocated \$1,111,104 of one-time top up funding for the period of November 1, 2023 – April 30, 2024, from Infrastructure Canada. The funding was fully utilized by providing temporary shelter spaces and client supports including a Warming Bus from February 23, 2024 to April 27, 2024. It was staffed by a team member from the City of Windsor's Human and Health Services, alongside a partner from either the Downtown Mission or the Windsor Youth Centre.

The chart below outlines the Reaching Home: Winter Unsheltered Homelessness funding allocations for the 2023-2024 winter season:

Reaching Home Winter Unsheltered Homelessness Summary November 2023 - April 2024	
Warming Bus (excluding City staff)	\$143,507
Other Client Support	\$39,834
Temporary Shelter	\$370,236
City and County Hub	\$373,493
Security	\$39,108
Administration	\$144,926
Total	\$1,111,104

In response to CQ# 19/2024, the warming/cooling bus initiative is not feasible or sustainable without receiving additional ongoing funding from upper levels of governments. It is estimated that the annual cost to operate the warming/cooling bus initiative in collaboration with Transit Windsor is as follows:

Warming/Cooling Bus Initiative	Annual Cost
Transit Windsor (300 Days, excluding Sundays and 13 Statutory Holidays)	\$553,350
Support Staff	\$74,520
City Staff	\$173,530
Supplies	\$18,000
Total Projected Annual Cost	\$819,400

Consultations:

Jennifer Tanner, Manager, Homelessness & Housing Support

Whitney Kitchen, Coordinator, Housing Administration & Development

Jessica Brunet, Coordinator, Housing Administration & Development

Sumar Jasey, Emergency Planning Officer

Mike Duval, Manager, Transportation

Nancy Jaekel, Financial Planning Administrator

Poorvangi Raval, Financial Planning Administrator

Conclusion:

This one-time funding provided through the Government of Canada’s Reaching Home: Winter Unsheltered Homelessness Response Funding allowed the city in collaboration with stakeholders to implement new and innovative responses to homelessness as well provided an ability for emergency shelter providers to temporarily expand their capacity and alter their service orientation to better respond and support the needs of the population.

Planning Act Matters:

N/A

Approvals:

Name	Title
Kelly Goz	Manager (A), Homelessness & Housing Support

Kirk Whittal	Executive Director, Housing & Children's Services
Tyson Cragg	Executive Director, Transit Windsor
Andrew Daher	Commissioner, Human & Health Services
Jelena Payne	Commissioner, Economic Development
Lorie Gregg	On behalf of Commissioner Finance and City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email
List provided to Clerks office		



Committee Matters: SCM 302/2024

Subject: Response to CQ 34-2024 – The Naming/Dedicating of Storm Water Ponds near Little River Corridor in Recognition of Teachers and Mentors – Ward 7

Moved by: Councillor Fabio Costante
Seconded by: Councillor Mark McKenzie

Decision Number: **CSSC 260**

THAT the report of the Executive Initiatives Coordinator – Community Services dated September 16, 2024 entitled “Response to CQ 34-2024 – The Naming/Dedicating of Storm Water Ponds near Little River Corridor in Recognition of Teachers and Mentors – Ward 7” **BE RECEIVED**. Carried.

Report Number S 128/2024
Clerk’s File: SR2024

Clerk’s Note:

1. The recommendation of the Community Services Standing Committee and Administration are the same.
2. Please refer to Item 8.3 from the Community Services Standing Committee held on October 2, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10510>

Subject: Response to CQ 34-2024 – The Naming/Dedicating of Storm Water Ponds near Little River Corridor in Recognition of Teachers and Mentors – Ward 7

Reference:

Date to Council: October 2, 2024
Author: Samantha Magalas
EIC, Community Services
519-253-2300x2730
smagalas@citywindsor.ca
Parks
Report Date: September 16, 2024
Clerk's File #: SR2024

To: Mayor and Members of City Council

Recommendation:

THAT City Council **RECEIVE** this report in response to CQ 34-2024 regarding naming storm water ponds found within Little River Corridor in recognition of Teachers and Mentors.

Executive Summary:

N/A

Background:

On July 22, 2024, Councillor Marignani asked:

“Asks that Administration report back to Council on the potential of naming or dedicating one of the currently unnamed storm water ponds found within the Little River Corridor Park in recognition of Teachers and Mentors.”

This report is in response to that question.

Discussion:

Little River Corridor is located in Ward 7, east of Riverdale Ave between McHugh St and Riverside Dr. E.. There are a number of ponds, including storm water retention ponds, located throughout Little River Corridor. These include Aspen Lake and John's Pond. Presently, there is a pond located within the Corridor that is unnamed at this time. See **Appendix A** for location.

If Council wishes to name this pond, they can in accordance with the Naming, Renaming or Dedicating Municipal Property, Buildings or Parks Policy. Per the Policy, the naming of a storm water retention pond falls under section 1.2 (b):

A group or individual who has contributed towards the development of the City of Windsor.

Risk Analysis:

There is little risk to naming the pond noted in **Appendix A**. Administration was unable to find any records indicating this pond had an existing name.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

While there is no cost to name the pond, there is a cost associated with installing new signage indicating the name. The cost for supply and installation of a sign is \$1,750 plus applicable HST. The 2024 budgets for Parks do not include funding for new signs installation and further as reported at Q2 the department is projecting a small deficit for 2024. It would be very difficult for the department to absorb further expenditures while mitigating any projected deficit however should City Council wish to proceed with the naming, the department would ensure that appropriate signage is created to support this request.

Consultations:

Emilie Dunnigan, Manager, Development Revenue and Financial Administration

Denise Wright - Manager Real Estate Services

Conclusion:

If Council wishes to name this pond after Teachers/Mentors, Council needs to submit a recommendation to approve the naming and direct Administration to submit a budget issue as part of the 2025 Budget process for consideration.

Planning Act Matters:

N/A

Approvals:

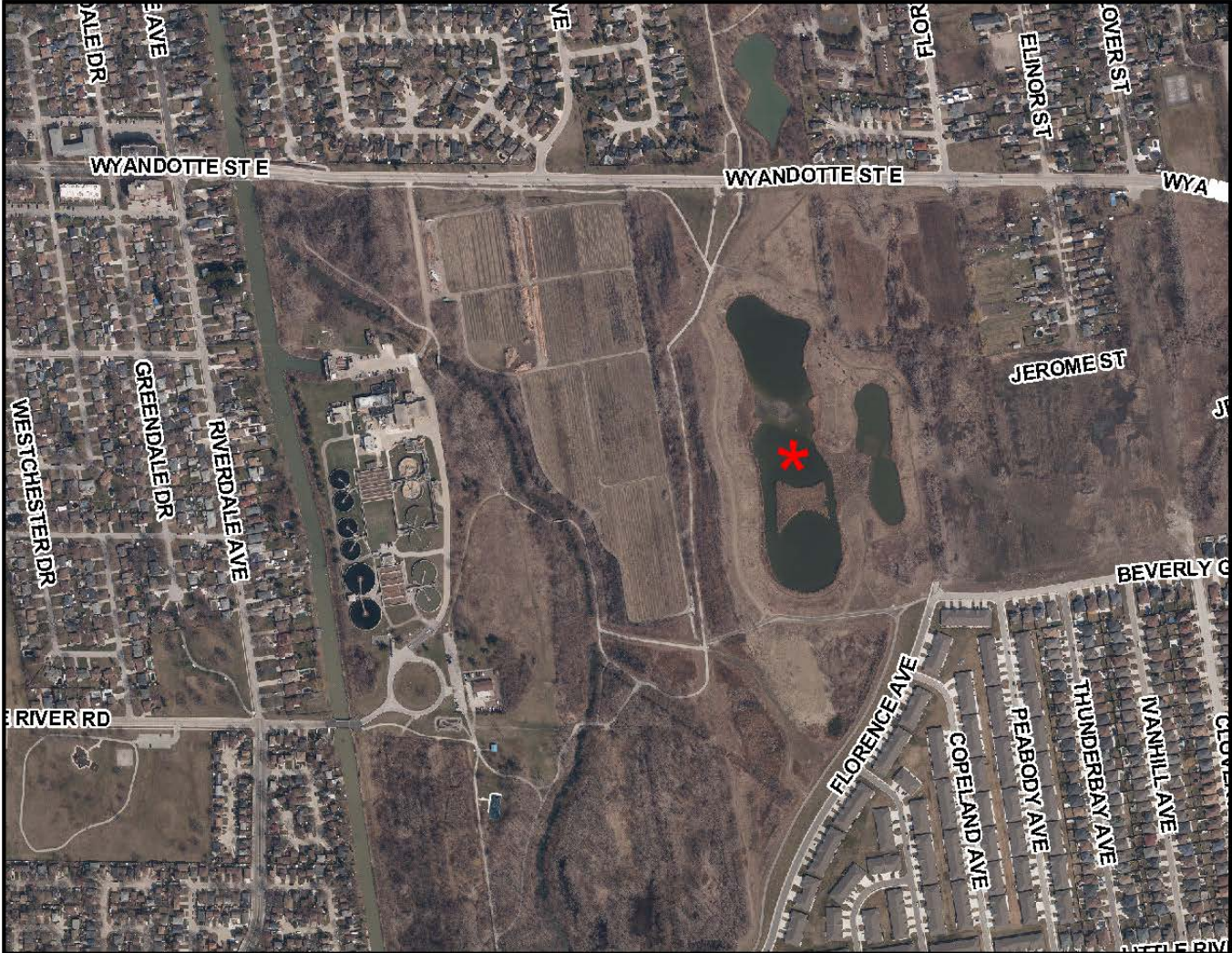
Name	Title
Samantha Magalas	EIC, Community Services
Erika Benson	FPA, Parks
James Chacko	Executive Director, Parks & Facilities
Ray Mensour	Commissioner – Community and Corporate Service
Janice Guthrie	Commissioner- Finance and City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- 1 Appendix A - Little River Corridor



Legend

* = Proposed Location

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Subject: Zoning By-law Amendment Application for 4461 Wyandotte Street East, Z-023/24 [ZNG-7221], Ward 5

Moved by: Councillor Kieran McKenzie
Seconded by: Councillor Angelo Marignani

Decision Number: **DHSC 658**

- I. THAT Zoning By-law 8600 **BE AMENDED** for the lands located on the south side of Wyandotte Street East between Jos Janisse Avenue and Ellrose Avenue, described as Lot 27, Plan 1492, PIN No. 01097-1316 LT, by adding a site specific provision to permit *One Semi-Detached Dwelling*, subject to the following additional regulations:

513. SOUTH SIDE OF WYANDOTTE STREET EAST BETWEEN JOS JANISSE AVENUE AND ELLROSE AVENUE

- (1) For the lands comprising of Lot 27, Plan 1492, PIN No. 01097-1316 LT, a *Semi-Detached Dwelling* shall be subject to the following additional provisions:
 1. Notwithstanding Section 11.2.5.2.1, the minimum lot width shall be 13.7 metres.
 2. Notwithstanding Section 11.2.5.2.10, the maximum gross floor area for a main building shall be 851.6 m².
[ZDM 10; ZNG/7221]

- II. THAT the holding (H) symbol **SHALL APPLY** to the lands located on the south side of Wyandotte Street East between Jos Janisse Avenue and Ellrose Avenue, described as Lot 27, Plan 1492, PIN No. 01097-1316 LT and that Zoning By-law 8600 **BE FURTHER AMENDED** by adding the following clause to Section 95.20:

- (11) a) Gratuitously convey to the Corporation of the City of Windsor, a 1.50-metre-wide strip of land along the Wyandotte Street East frontage of the subject lands to the satisfaction of the City Engineer.

- b) Submission of a Revised Stormwater Management Plan in accordance with the Windsor Essex Region Stormwater Management Standards Manual to the satisfaction of the City Engineer.
[ZDM 10; ZNG/7221]

Carried.

Member Daniel Grenier discloses an interest and abstains from voting on this matter.

Report Number: S 113/2024

Clerk's File: Z/14832

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 7.1 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

Subject: Zoning By-law Amendment Application for 4461 Wyandotte Street East, Z-023/24 [ZNG-7221], Ward 5

Reference:

Date to Council: October 7, 2024
Author: Brian Nagata, MCIP, RPP
Planner II - Development Review
(519) 255-6543 ext. 6181

Planning & Building Services
Report Date: September 4, 2024
Clerk's File #: Z/14832

To: Mayor and Members of City Council

Recommendation:

- I. THAT Zoning By-law 8600 **BE AMENDED** for the lands located on the south side of Wyandotte Street East between Jos Janisse Avenue and Ellrose Avenue, described as Lot 27, Plan 1492, PIN No. 01097-1316 LT, by adding a site specific provision to permit *One Semi-Detached Dwelling*, subject to the following additional regulations:

513. SOUTH SIDE OF WYANDOTTE STREET EAST BETWEEN JOS JANISSE AVENUE AND ELLROSE AVENUE

- (1) For the lands comprising of Lot 27, Plan 1492, PIN No. 01097-1316 LT, a *Semi-Detached Dwelling* shall be subject to the following additional provisions:
 1. Notwithstanding Section 11.2.5.2.1, the minimum lot width shall be 13.7 metres.
 2. Notwithstanding Section 11.2.5.2.10, the maximum gross floor area for a main building shall be 851.6 m².

[ZDM 10; ZNG/7221]

- II. THAT the holding (H) symbol **SHALL APPLY** to the lands located on the south side of Wyandotte Street East between Jos Janisse Avenue and Ellrose Avenue, described as Lot 27, Plan 1492, PIN No. 01097-1316 LT and that Zoning By-law 8600 **BE FURTHER AMENDED** by adding the following clause to Section 95.20:
 - (11) a) Gratuitously convey to the Corporation of the City of Windsor, a 1.50-metre-wide strip of land along the Wyandotte Street East

frontage of the subject lands to the satisfaction of the City Engineer.

- b) Submission of a Revised Stormwater Management Plan in accordance with the Windsor Essex Region Stormwater Management Standards Manual to the satisfaction of the City Engineer.

[ZDM 10; ZNG/7221]

Executive Summary:

N/A

Background:

Application Information:

Location: 4461 Wyandotte Street East
(Lot 27, Plan 1492; Roll No. 010-030-08900; PIN No. 01097-1316 LT)

Ward: 5

Planning District: East Windsor

Zoning District Map: 10

Owners: Rock & Cari Doire

Applicant: Same as Owners

Authorized Agent: Pillon Abbs Inc. (Tracey Pillon-Abbs)

Proposal:

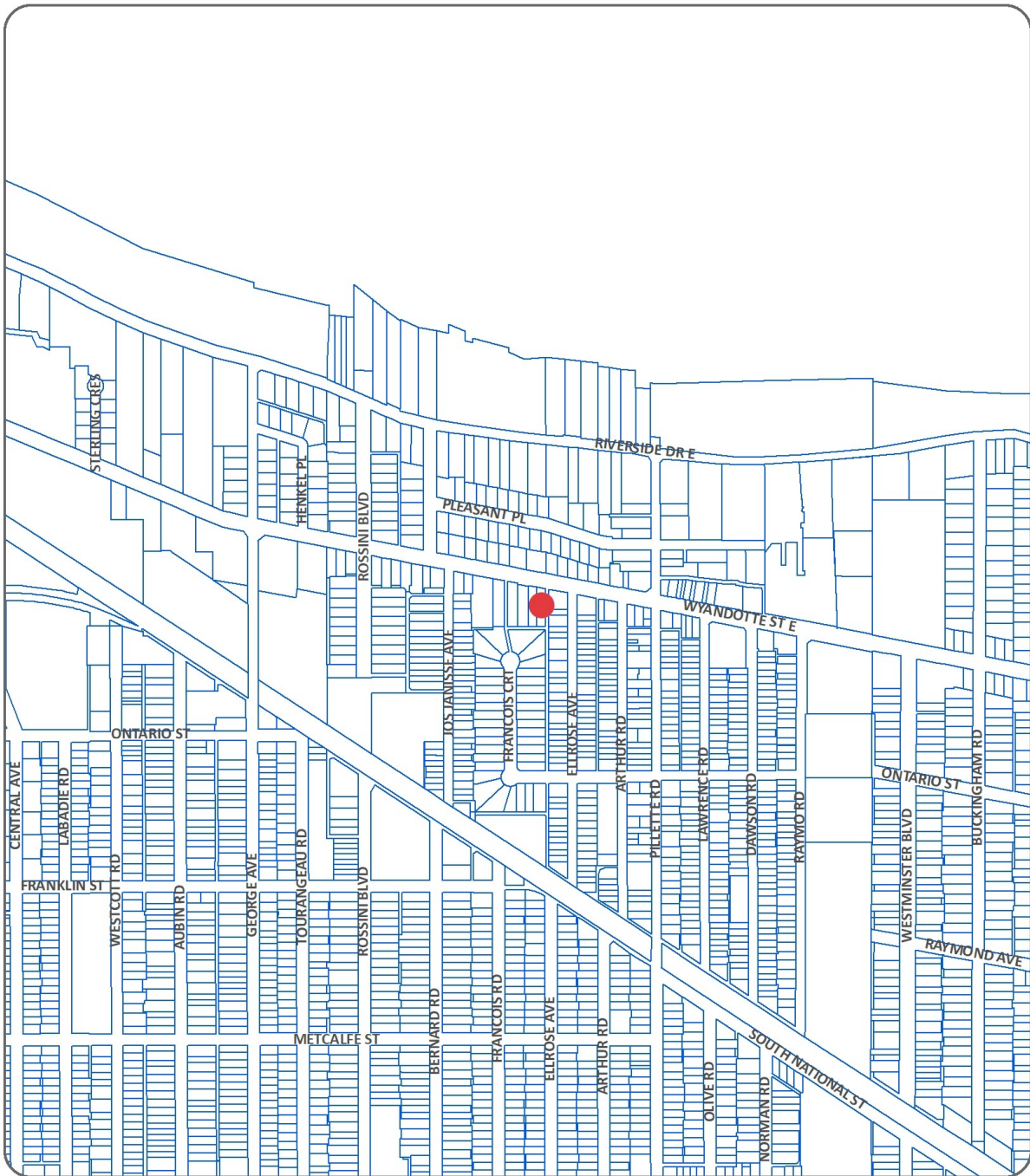
The applicant is requesting an amendment to Zoning By-law 8600 to change the zoning for the lands located on the south side of Wyandotte Street East between Jos Janisse Avenue and Ellrose Avenue, known municipally as 4461 Wyandotte Street East (the subject property), by adding a site-specific zoning provision to permit the construction of a Semi-Detached Dwelling with a minimum lot width of 13.7 metres and a maximum gross floor area for a main building of 851.6 m².

Submitted Information: Conceptual Plans (See Appendix A), Deed, Planning Rationale Report (See Appendix G), Stormwater Management Report (See Appendix H), Stormwater Management Submission Requirements (Rational Method), Topographic Survey, WUC Approval (See Appendix I) and Zoning By-law Amendment Application Form

Site Information:

Official Plan	Zoning	Current Use	Previous Use
Mixed-Use Corridor	Residential District 2.2 (RD2.2)	Single Unit Dwelling	Agricultural (prior to 1920)
Lot Width	Lot Depth	Lot Area	Lot Shape
13.7 m	65.7 m	953.0 m ²	Irregular
<i>All measurements are based on the Topographic Survey prepared by Verhaegen Land Surveyors, dated February 2, 2024, Reference No. 23-47-687-00</i>			

The subject property contains a circa 1920 one and three-quarter (1 ¾) storey Single Unit Dwelling. The remainder of the subject property is maintained as landscaped open space.



KEY MAP - Z-023/24, ZNG/7221



● SUBJECT LANDS



PART OF ZONING DISTRICT MAP 10

N.T.S.

REQUESTED ZONING AMENDMENT

Applicant: Rock Doire



SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT



DATE : JULY, 2024
FILE NO. : Z-023/24, ZNG/7221



NEIGHBOURHOOD MAP - Z-023/24, ZNG/7221



SUBJECT LANDS

Neighbourhood Characteristics:

The subject property is located on the eastern side of the East Windsor neighbourhood. The East Windsor neighbourhood constitutes the area north of Tecumseh Road East, east of the former Chesapeake & Ohio Railway rail corridor, south of the Detroit River and west of Raymo Road and Jefferson Boulevard (north and south of the Via Rail rail corridor respectively).

Surrounding Land Uses:

North:

- Low density residential
- Medical offices

East:

- Automobile repair garage
- Low density residential
- Mixed use (retail store and multiple dwelling)

South:

- Low density residential

West:

- Low density residential
- Medium density residential

Municipal Infrastructure:

- Wyandotte Street East is classified as a Class II Arterial Road, which has a four-lane cross section with median, bordered by curbs, gutters, sidewalks, and streetlights on both sides.
- Sanitary sewer, storm sewer and watermain are located within the Wyandotte Street East right-of-way.

Discussion:

The Provincial Policy Statement 2020 (PPS) provides direction on matters of provincial interest related to land use planning and development and sets the policy foundation for regulating the development and use of land in Ontario.

The following policies of the PPS are considered relevant in discussing provincial interests related to this amendment:

1.0 Building Strong Healthy Communities

Policy 1.1.1 states:

- *Healthy, liveable and safe communities are sustained by:*
 - *a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
 - This amendment will allow for a Semi-Detached Dwelling infill development that optimizes existing municipal services.
 - *b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
 - This amendment will allow for the construction of a Semi-Detached Dwelling, further diversifying the range and mix of residential types available in the East Windsor neighbourhood.
 - *c) avoiding development and land use patterns which may cause environmental or public health and safety concerns.*
 - This amendment will not cause any environmental or public health and safety concerns.
 - *e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;*
 - This amendment will allow for the redevelopment of the subject property through residential intensification, optimizing existing municipal infrastructure and public service facilities, and avoiding unnecessary land consumption.
 - The redevelopment of the subject property at a higher density, in conjunction with it being on two (2) bus routes and within walking distance of transit stops, also represents a transit-supportive development.
 - 400.0 metres is typically used as an acceptable walking distance to a transit stop.
 - This is reflected within Transit Windsor’s 2019 Transit Master Plan and the City of Windsor’s Active Transportation Master Plan.

- *f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society.*
 - Compliance with the Barrier-Free Design requirements of the *Ontario Building Code* and accessibility requirements under *Ontario Regulation 191/11 Integrated Accessibility Standards to the Accessibility for Ontarians with Disabilities Act, 2005* will be addressed through the Building Permit application process.
- *g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs.*
 - The subject property is serviced by municipal electrical, sanitary, storm and water services.
 - There is a community centre, public libraries and schools within proximity to the subject property.

Policy 1.1.3.1 states:

- *Settlement areas shall be the focus of growth and development.*
 - The subject property is located within a Settlement area.

One or more of the aforesaid responses to PPS Policy 1.1.1 also speak to the following relevant PPS Policies:

1.1.3 Settlement Areas	
Policy 1.1.3.2 (Land use patterns criteria)	Sub Policies a) (efficient use of land and resources), b) (efficient use of available services) & f) (transit-supportive)
1.4 Housing	
Policy 1.4.3 (appropriate range and mix of housing options and densities)	Sub Policies b)1 (housing options), b)2 (residential intensification), c) (servicing available) & d) (transit-supportive)
1.6.6 Sewage, Water and Stormwater	
Policy 1.6.6.2 (municipal services preferred form of servicing)	
1.6.7 Transportation Systems	
Policy 1.6.7.4 (transit-supportive development)	
1.7 Long-Term Economic Prosperity	
Policy 1.7.1 (supported by)	Sub Policies b) (housing) & c) (efficient use of land, infrastructure and public service facilities)

1.8 Energy Conservation, Air Quality and Climate Change	
Policy 1.8.1	Sub Policies e) (encourage transit-supportive development)

Official Plan

Relevant excerpts from Volume I of the Official Plan are attached as Appendix C. The following policies from these excerpts are considered relevant in discussing this amendment's conformity with the Official Plan. The basis for these excerpts and relevant policies therein is derived from information obtained from the supporting Schedules to Volume I (refer to Table 1 below).

Table 1 - Volume I Schedules

Schedule	Designation
Schedule A - Planning Districts & Policy Areas	East Windsor Planning District
Schedule A-1 - Special Policy Areas	N/A
Schedule B - Greenway System	Adjacent to a Proposed Recreationway (namely Wyandotte Street East)
Schedule C - Development Constraints Areas	Within 1,000.0 metres of a Rail Yard (namely George Avenue Rail Yard)
Schedule C-1 - Development Constraint Areas Archaeological Potential	Low Potential
Schedule D - Land Use	Mixed-Use Corridor
Schedule E - City Centre Planning District	N/A
Schedule F - Roads and Bikeways	Adjacent to a Class II Arterial Road
Schedule F-1 - Railways	N/A
Schedule G - Civic Image	Adjacent to a Mainstreet
Schedule H - Baseplan Development Phasing	N/A
Schedule J - Urban Structure Plan	Adjacent to a City Corridor (namely Wyandotte Street East) Within proximity to Neighbourhood Node

The land use designation of the subject property was changed from Mixed Use to Mixed-Use Corridor as part of Official Plan Amendment No. 159 (OPA 159). OPA 159 was initiated by the City to implement policies to encourage intensification within areas of the City where present and future residents will be in proximity to goods and services, public transportation, and employment areas while ensuring that the character of existing neighbourhoods is preserved. Council adopted OPA 159 on July 11, 2022.

The coinciding Zoning By-law Amendment [Z-019/21 (ZNG/6756)] did not include updates to the zoning districts to conform with the new land use designations.

The applicant is not required to bring the subject property's zoning district into conformity with the Mixed-Use Corridor land use designation through this amendment. However, the changes requested through this amendment are required to comply with the Mixed-Use Corridor policies.

Volume I

Chapter 3 - Development Strategy

This amendment complies with the following applicable key policy direction for managing growth consistent with the Vision of the City of Windsor Community Strategic Plan.

3.2 - Growth Concept

3.2.1 - Safe, Caring and Diverse Communities

Encouraging a range of housing types will ensure that people have an opportunity to live in their neighbourhoods as they pass through the various stages of their lives. Residents will have a voice in how this new housing fits within their neighbourhood. As the city grows, more housing opportunities will mean less sprawl onto agricultural and natural lands. (Policy 3.2.1.2)

3.3.2 - Corridors

City Corridors

..... There are higher density employment and residential opportunities, with a significant amount of retail to support both every day needs, but also needs beyond the day such as furniture and appliance stores, home improvement stores, and stores that carry specialty items. (Policy 3.3.2.1)

Chapter 6 - Land Use:

6.1 Goals

This amendment complies with the following applicable land use goals:

- *Safe, caring and diverse neighbourhoods. (Goal 6.1.1)*
- *Housing suited to the needs of Windsor's residents. (Goal 6.1.3)*
- *To direct residential intensification to those areas of the City where transportation, municipal services, community facilities and goods and services are readily available. (Goal 6.1.14)*

6.5 Commercial

6.5.1 Objectives

The following objectives and policies establish the framework for development decisions in all Commercial areas.

- *To promote residential intensification with Medium and High-Profile buildings to meet the housing needs of the City in appropriate areas in proximity to municipal services, transit and employment areas. plan (Objective 6.5.1.8)*

6.5.3 Mixed Use Corridor

Permitted Uses

Uses permitted in the Mixed-Use Corridor land use designation are primarily retail, wholesale store and service-oriented uses and, to a lesser extent, office uses.

Medium and High-Profile residential uses either as stand-alone buildings or part of a commercial-residential mixed-use buildings shall be throughout the Corridors. (Policy 6.5.3.1)

- The RD2.2 zoning permits Low-Profile residential uses, which includes a Semi-Detached Dwelling.

Street Presence

Council will encourage Mixed-Use Corridor development to provide a continuous street frontage and presence. Accordingly, development along a Mixed-Use Corridor shall be: (Policy 6.5.3.3)

- *(a) no more than four storeys in height, except on lands at an intersection of any combination of the following roads: Class I Arterial Road, Class II Arterial Road, Class I Collector Road, or Class II Collector Road. The height of buildings shall generally not exceed the width of the road right-of-way abutting the development site;*
 - The maximum main building height provision of 9.0 metres for all uses permitted under the RD2.2 zoning can only accommodate up to three (3) storeys.
 - Relief from the maximum main building height provision is not being sought.
- *(c) Encouraged to locate the buildings at the street frontage lot line with parking accommodated at the rear of the site.*
 - The minimum front yard depth provision for all uses permitted under the RD2.2 zoning is 6.0 metres.
 - Section 3.1.19. Above Ground Electrical Conductors of the *Ontario Building Code* requires a minimum building setback of 3.0 to 5.0 metres from the hydro lines running in front of the subject property.

- The properties within the 4300 to 4400 block of Wyandotte Street East all have a front yard depth over 6.0 metres.

Locational Criteria

Mixed Use Corridor development shall be located where: (Policy 6.5.3.6)

- *(a) there is access to Class I or Class II Arterial Roads or Class I Collector Roads;*
 - The subject property has access to Wyandotte Street East, a designated Class II Arterial Road.
- *(b) full municipal physical services can be provided; and*
 - Refer to the response provided to PPS Policy 1.1.1 g) herein.

Evaluation Criteria

At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed mixed use corridor development is: (Policy 6.5.3.7)

- *(a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses:*
 - *(iii) where traffic generation and distribution is a provincial or municipal concern; and*
 - The Transportation Planning Department did not identify any concerns with traffic generation and distribution.
- *(c) capable of being provided with full municipal physical services and emergency services;*
 - Refer to the response provided to PPS Policy 1.1.1 g) herein for details on the municipal physical services available to the subject property.
 - The subject property is served by Essex-Windsor EMS, Windsor Fire & Rescue Services (Fire Hall No. 2) and Windsor Police Service.
- *(d) provided with adequate off-street parking;*
 - The proposed development will accommodate the required number of parking spaces onsite.
- *(e) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and landscaped areas; and*
 - The requested relief from the minimum lot width and maximum gross floor area provisions of the RD2.2 zoning does not impact the proposed development's compatibility with the surrounding area.

- The proposed development will comply with the remaining provisions of the RD2.2 zoning.
- The subject property is a lot on a Registered Plan of Subdivision (Lot 27, Plan 1492).

Design Guidelines

This amendment will not impact the scale, massing, height, siting, orientation, setbacks, parking and landscaped areas achieved through the RD2.2 zoning.

Neighbourhood Involvement

Council will encourage the improvement of areas designated as Mixed-Use Corridor Commercial Corridor to be undertaken in consultation with the surrounding neighbourhood. (Policy 6.5.3.11)

- Pre-consultation for this amendment occurred prior to the Planning Department requiring applicants to host an open house for neighbouring property owners.

Chapter 7 - Infrastructure:

7.2 Transportation System

7.2.6 Road Network Policies

Gratuitous Conveyances

As a condition of development approval, council shall require gratuitous land conveyances to the Municipality where it has been determined that the existing right-of-way width is insufficient based on the requirements set out in Schedule 'X', or other provisions of this Official Plan. The size and dimension of each such conveyance shall be determined by what is identified in Schedule 'X', or other provisions of this Official Plan. Generally, equal widths of land will be taken from both sides of the road. (Policy 7.2.6.21)

- The Engineering - Development, Engineering - R.O.W. and Transportation Planning Departments have identified that the existing right-of-way width for Wyandotte Street East is insufficient.
- Schedule X: Right-of-Way Widths to Volume III of the Official Plan identifies a required right-of-way width of 28.0 metres for the subject portion of Wyandotte Street East.
- Therefore, the aforesaid Departments are requesting that the owner gratuitously convey to the Corporation, a 1.50-metre-wide strip of land along the Wyandotte Street East frontage of the subject property, thus being the owner's contribution towards achieving the required right-of-way width.
- The Planning Department is recommending that a site-specific holding provision be added to require the owner, prior to the issuance of a building permit, to gratuitously convey the requested lands for the Wyandotte Street East right-of-way.

Chapter 11 - Tools:

Land use compatibility throughout Windsor is an implementation goal to be achieved when administering a planning tool under this Chapter. Compatibility between land uses is also an objective of the Zoning By-law Amendment planning tool (Policy 11.6.1.2).

- Land use compatibility was considered as part of the evaluation of the applicable Official Plan and PPS policies referenced herein.

Policy 11.6.3.3 states:

- *When considering applications for Zoning By-law amendments, Council shall consider the policies of this Plan and will, without limiting the generality of the foregoing, consider such matters as the following:*
 - *(a) The relevant evaluation criteria contained in the Land Use Chapter of this Plan, Volume II: Secondary Plans & Special Policy Areas and other relevant standards and guidelines;*
 - *(b) Relevant support studies;*
 - *(c) The comments and recommendations from municipal staff and circularized agencies;*
 - *(d) Relevant provincial legislation, policies and appropriate guidelines; and*
 - *(e) The ramifications of the decision on the use of adjacent or similar lands.*
 - This amendment is not anticipated to have any ramifications on the use of adjacent or similar lands.

The aforesaid matters were considered as part of the evaluation of the applicable Official Plan and PPS policies referenced herein.

Zoning By-Law

Relevant excerpts from Zoning By-law 8600 are *attached* as Appendix D.

The subject property is within a RD2.2 zone of Zoning By-law 8600, which permits a Semi-Detached Dwelling use.

The applicant is requesting an amendment to Zoning By-law 8600 to add a site-specific provision to allow a Semi-Detached Dwelling with a minimum lot width of 13.7 metres and a maximum gross floor area for a main building of 851.6 m².

The applicant's request has been considered and is supported in this report in conjunction with the site-specific holding provision being recommended by the Planning Department herein. The holding provision will remain until such time that the conditions referenced herein have been fulfilled to the satisfaction of the designated approval authority.

The RD2.2 zoning requires a minimum lot width of 15.0 metres for a Semi-Detached Dwelling. The southeast corner of the subject property is not square because of the

sight triangle provided for the intersecting alleys (refer to Figure 1 below). This factor reduces the lot width from 14.4 metres to 13.7 metres, as it is based on average lot width when the side lot lines are not parallel.

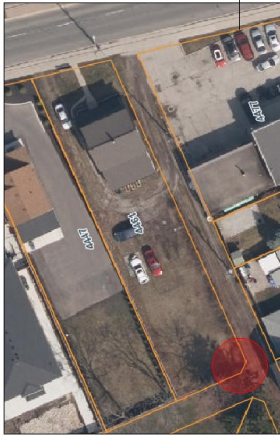


Figure 1 - Sight Triangle for Alleys

The RD2.2 zoning allows a maximum gross floor area of 400.0 m² for a Semi-Detached Dwelling. This provision was added by By-law 101-2022 on July 11, 2022, for the purpose of implementing the recommendations coming out of the [Multi-Residential Interim Control By-law Study Background Report](#) (the study).

The study was prepared as part of Interim Control By-law 103-2020 (ICBL). ICBL was passed to respond to ongoing intensification and redevelopment pressures around the City's post-secondary institutions, hospitals and City Centre. ICBL temporarily prohibited the use of land for dwellings with five or more dwelling units to allow the municipality to study and review the Official Plan and Zoning By-law 8600 concerning related land use policies and provisions respectively.

The main purpose of the study was to:

- Identify areas that can accommodate additional residential density;
- Establish policy framework to guide growth to those areas;
- Develop density targets for those areas; and,
- Ensure compatibility within the existing neighbourhood context.

This specific provision was added to address concerns that the size of recently constructed buildings and the density are not in character with the neighbourhoods surrounding the University of Windsor.

The subject property is not within one of the aforesaid neighbourhoods and has a Mixed-Use Corridor land use designation, the later of which permits Medium and High Profile Residential uses and higher density developments.

No other zoning deficiencies have been identified or supported.

A draft amending by-law is attached as Appendix G. Subsection 24 (1) of the *Planning Act*, R.S.O. 1990, c. P.13., prohibits a by-law from being passed that does not conform

with the Official Plan. As discussed through the Official Plan section herein, the proposed amendment conforms to the applicable policies of the Official Plan.

Risk Analysis:

N/A

Climate Change Risks

Climate Change Mitigation:

Residential intensification minimizes the impact on the community greenhouse gas emissions. Development within existing communities and neighbourhoods while using currently available infrastructure such as sewers, sidewalks, and public transit helps to mitigate development impact.

Climate Change Adaptation:

N/A

Financial Matters:

N/A

Consultations:

Comments received from City Departments, external agencies and members of the public on this application were taken into consideration when preparing this report. A record of the comments is included as Appendix E herein.

There are no objections to the proposed amendment.

Public Notice: Statutory notice was advertised in the Windsor Star, a local daily newspaper. A courtesy notice was mailed to property owners and residents within 200 metres of the subject property.

Conclusion:

The *Planning Act* requires that a decision of Council in respect of the exercise of any authority that affects a planning matter, “shall be consistent with” Provincial Policy Statement 2020. The recommended zoning amendment has been evaluated for consistency with the Provincial Policy Statement 2020 and conformity with the policies of the City of Windsor Official Plan.

The recommended Zoning By-law amendment is consistent with the PPS, conforms with the policy direction of the City of Windsor Official Plan, is compatible with existing and permitted uses in the surrounding neighbourhood and constitutes good planning.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

*Greg Atkinson, MCIP, RPP
Manager of Development*

*Neil Robertson, MCIP, RPP
City Planner*

I am not a Registered Professional Planner and have reviewed as a Corporate Team Leader

JP JM

Approvals:

Name	Title
Greg Atkinson	Manager of Development/Deputy City Planner
Neil Robertson	City Planner / Executive Director, Planning & Development Services
Aaron Farough	Senior Legal Counsel, Legal Services & Real Estate
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administration Officer

Notifications:

Name	Address	Email
Pillon Abbs Inc. (Tracey Pillon-Abbs)	23669 Prince Albert Road Chatham, Ontario N7M 5J7	tracey@pillonabbs.ca
Councillor Ed Sleiman (Ward 5)	350 City Hall Square West, Suite 530 Windsor, Ontario N9A 6S1	edsleiman@gmail.com

Abutting property owners, tenants/occupants within 200-meter (656 feet) radius of the subject property

Appendices:

- 1 Appendix A - Conceptual Plan
- 2 Appendix B - Site Images
- 3 Appendix C - Excerpts from Official Plan Volume I
- 4 Appendix D - Excerpts from Zoning By-law 8600
- 5 Appendix E - Consultations
- 6 Appendix F - Draft Amending By-law
- 7 Appendix G - Planning Rationale Report (Scoped)

- 8 Appendix H - Stormwater Management Report
- 9 Appendix H - Stormwater Management Report Appendix E
- 10 Appendix I - WUC Approval

UNIT 'A' / LOT 'A'	
SITE INFO	
LOT AREA	4643 SF
ALLOWABLE COVERAGE	2089 SF (45%)
PROPOSED COVERAGE	1754 SF (37.8%)
LOT COVERAGE	
PROPOSED BUILDING	1635 SF
BALCONY	50 SF
FRONT PORCH	69 SF
TOTAL LOT COVERAGE	1754 SF
BUILDING AREAS	
LOWER (ADU)	1635 SF
GRADE ENTRANCE (Uncovered)	78 SF
MAIN FLOOR	1634 SF
BALCONY	50 SF
UPPER FLOOR	1635 SF
BALCONY	50 SF
FRONT PORCH	69 SF
FRONT YARD	
TOTAL FRONT YARD AREA	1865 SF
HARD SURFACE (Driveway and sidewalks)	923 SF
LANDSCAPED AREA	942 SF (50.5%)
PARKING SPACES	2

SITE INFO	
ADDRESS	4461 WYANDOTTE E WINDSOR, ON
LOT NUMBER	PART 27
ZONING	RD2.2
ALLOWABLE COVERAGE	4231 SF (45%)
PROPOSED COVERAGE	3513 SF (37.3%)
LOT COVERAGE	
PROPOSED BUILDING	3269 SF
BALCONIES	119 SF
FRONT PORCH	125 SF
TOTAL LOT COVERAGE	3513 SF
GFA	
SECOND FLOOR	2849 SF
MAIN FLOOR (Includes hallways and stairs)	3269 SF
CELLAR	3048 SF
TOTAL GFA	9166 SF

SITE PLAN NOTES

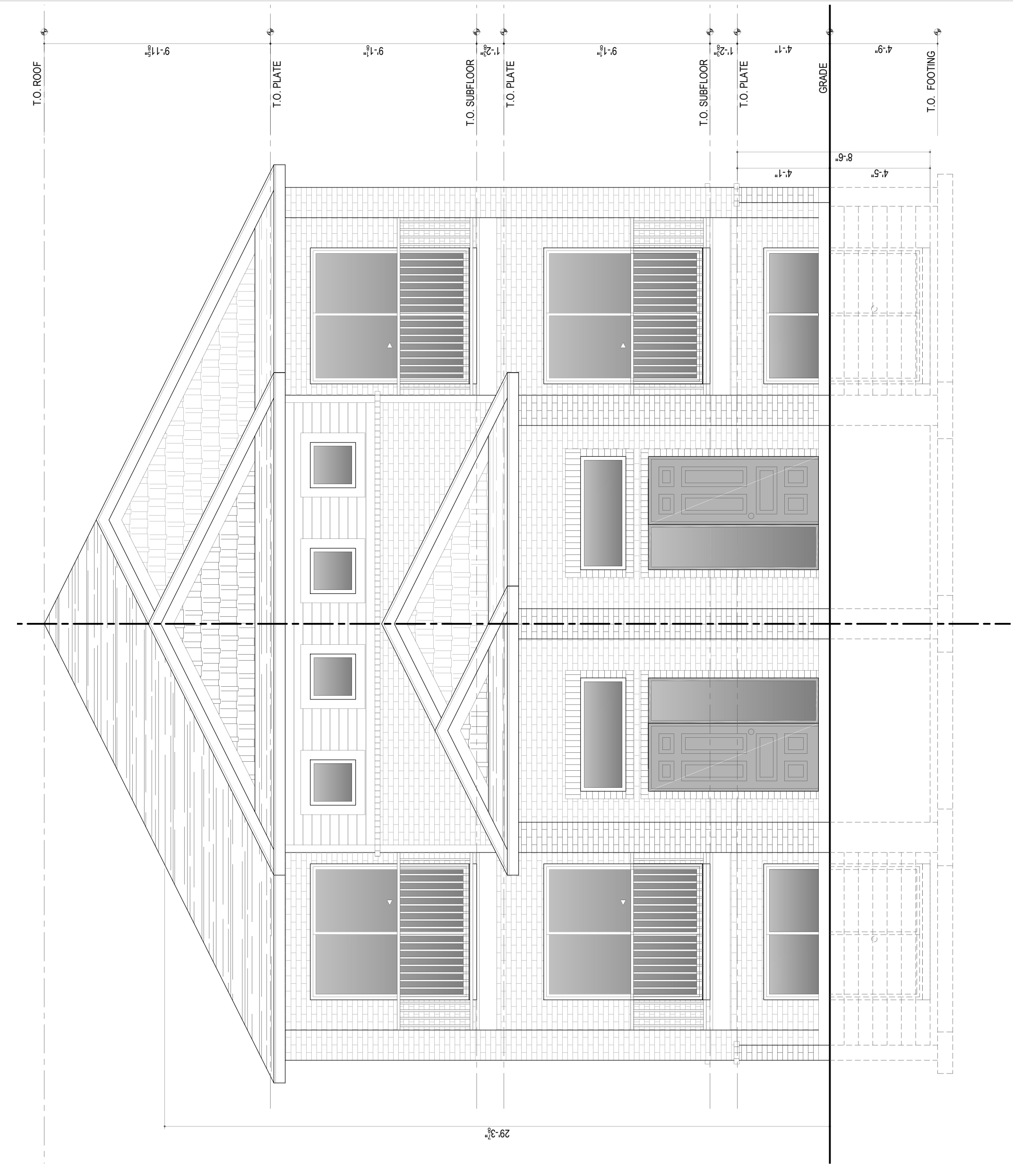
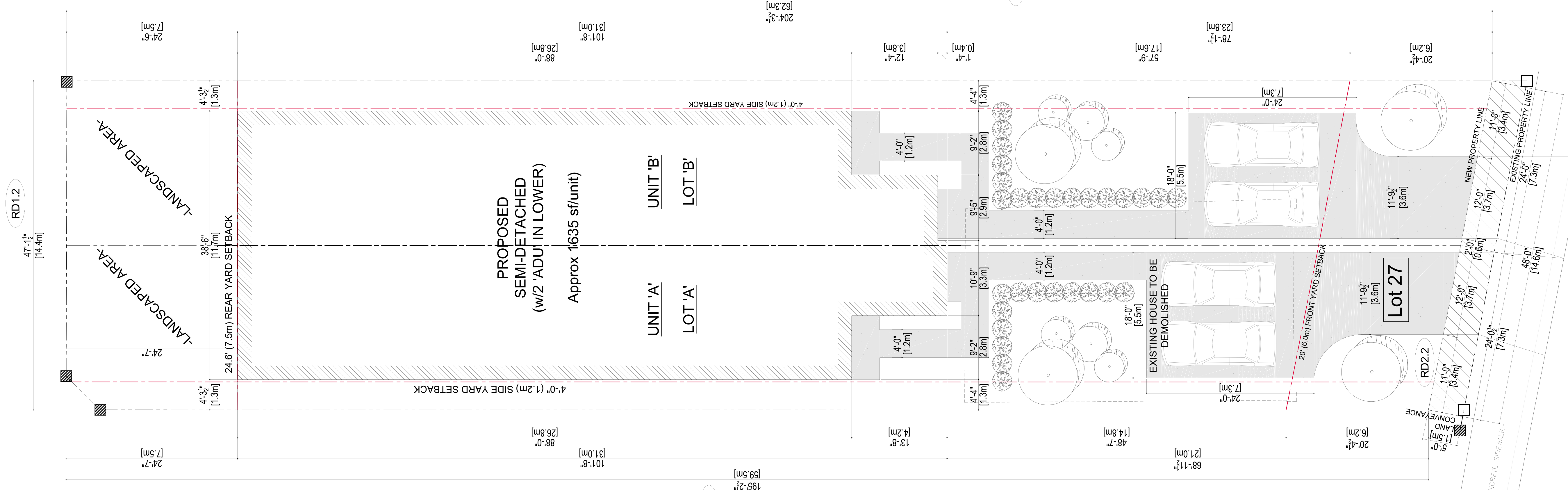
- THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.
- THIS PLAN IS NOT A LEGAL SURVEY. ALL DIMENSIONS SHOULD BE VERIFIED BY AN O.L.S. THIS SITE PLAN IS PROVIDED AS A GUIDE TO LOCATE THE BUILDING.

SITE PLAN LEGEND

SETBACKS: PROPOSED BUILD: HARD SURFACES:

UNIT 'B' / LOT 'B'	
SITE INFO	
LOT AREA	4760 SF
ALLOWABLE COVERAGE	2142 SF (45%)
PROPOSED COVERAGE	1761 SF (37.0%)
LOT COVERAGE	
PROPOSED BUILDING	1635 SF
BALCONY	69 SF
FRONT PORCH	57 SF
TOTAL LOT COVERAGE	1761 SF
BUILDING AREAS	
LOWER (ADU)	1635 SF
GRADE ENTRANCE (Uncovered)	60 SF
MAIN FLOOR	1635 SF
BALCONY	69 SF
UPPER FLOOR	1635 SF
BALCONY	69 SF
FRONT PORCH	57 SF
FRONT YARD	
TOTAL FRONT YARD AREA	1984 SF
HARD SURFACE (Driveway and sidewalks)	911 SF
LANDSCAPED AREA	1070 SF (53.9%)
PARKING SPACES	2

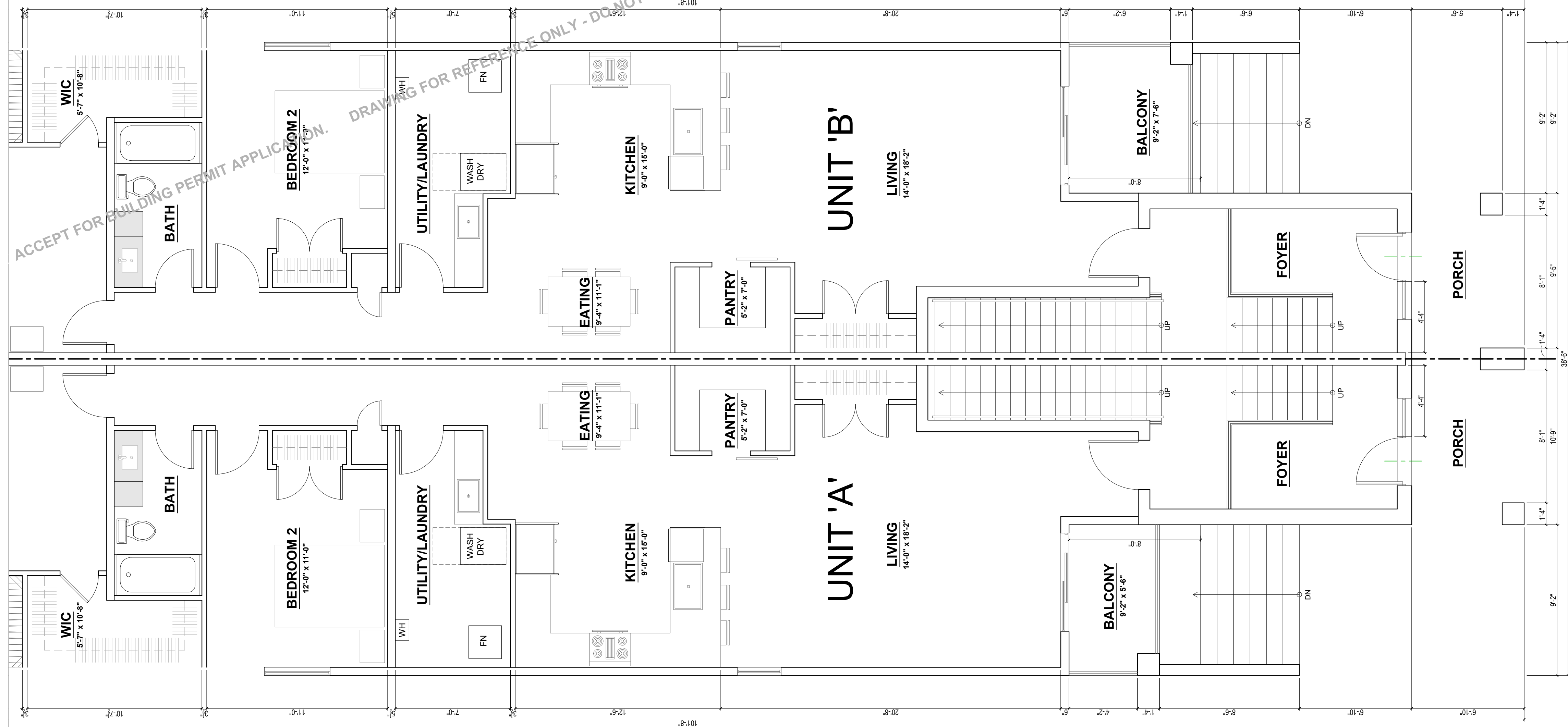
SITE PLAN NOTES	
SITE PLAN TAKEN FROM SURVEY PROVIDED BY OWNER	



1. PROPERTY PLAN
A00.1 / 1/8" = 1'

2. FRONT ELEVATION
A00.1 / 1/4" = 1'

ACCEPT FOR BUILDING PERMIT APPLICATION. DRAWING FOR REFERENCE ONLY - DO NOT ACCEPT FOR BUILDING PERMIT APPLICATION



1 MAIN FLOOR PLAN
 1/8" = 1'

APPENDIX "B"
Site Photos (Google Street View - November 2023)



Figure 1 - Looking south towards 4461 Wyandotte Street East



Figure 2 - Looking southeast towards 4461 Wyandotte Street East



Figure 3 - Looking southwest towards 4461 Wyandotte Street East

APPENDIX “C”
Excerpts from Official Plan Volume I

3. Development Strategy

3.2 Growth Concept

3.2.1 Safe, Caring and Diverse Community

*NEIGHBOURHOOD
HOUSING VARIETY*

3.2.1.2 Encouraging a range of housing types will ensure that people have an opportunity to live in their neighbourhoods as they pass through the various stages of their lives. Residents will have a voice in how this new housing fits within their neighbourhood. As the city grows, more housing opportunities will mean less sprawl onto agricultural and natural lands.

3.3.2 Corridors

*CITY
CORRIDORS*

3.3.2.1 City Corridors serve to connect the City Centre Growth Centre and Regional Commercial Centres. City corridors radiate from these Centres following numerous high frequency transit corridors. City corridors connect to Regional Commercial Centres along selected arterial roads but do not extend as far outward or as numerous as corridors connected to the City Centre. These corridors are intended to provide services for those living in close proximity to the area but also those who may arrive by transit, bicycle and by car.

There are higher density employment and residential opportunities, with a significant amount of retail to support both every day needs, but also needs beyond the day such as furniture and appliance stores, home improvement stores, and stores that carry specialty items.....

Residential development may include high profile (26 to 58 metres in height), medium profile (14 to 26 metres in height) and residential over retail at street, as well as row housing and lofts.

6. Land Use

6.1 Goals

In keeping with the Strategic Directions, Council’s land use goals are to achieve:

<i>NEIGHBOURHOODS</i>	6.1.1	Safe, caring and diverse neighbourhoods.
<i>RESIDENTIAL</i>	6.1.3	Housing suited to the needs of Windsor’s residents.
<i>RESIDENTIAL INTENSIFICATION</i>	6.1.14	To direct residential intensification to those areas of the City where transportation, municipal services, community and goods and services are readily available. (added by OPA #159 –AP PROVED July 11, 2022, B/L# 100-2022)

6.5 Commercial

6.5.1 Objectives

*RESIDENTIAL
INTENSIFICATION*

6.5.1.8

To promote residential intensification with Medium and High Profile buildings to meet the housing needs of the City in appropriate areas in proximity to municipal services, transit and employment areas. (Added by OPA #159 – APPROVED July 11, 2022, B/L# 100-2022)

6.5.3 Mixed Use Corridor

*PERMITTED
USES*

6.5.3.1

Uses permitted in the Mixed Use Corridor land use designation are primarily retail, wholesale store (added by OPA 58, 24 07 2006) and service oriented uses and, to a lesser extent, office uses.

Medium and High Profile residential uses either as stand-alone buildings or part of a commercial-residential mixed use buildings shall be throughout the Corridors. (Added by OPA #159 – APPROVED July 11, 2022 , B/L# 100-2022)

*STREET
PRESENCE*

6.5.3.3

Council will encourage Mixed-Use Corridor development to provide a continuous street frontage and presence. Accordingly, development along a Mixed-Use Corridor shall be:

- (a) no more than four storeys in height, except on lands at an intersection of any combination of the following roads: Class I Arterial Road, Class II Arterial Road, Class I Collector Road, or Class II Collector Road. The height of buildings shall generally not exceed the width of the roadright-of-way abutting the development site; and

- (c) Encouraged to locate the buildings at the street frontage lot line with parking accommodated at the rear of the site.
(Added by OPA #159 – APPROVED July 11, 2022 , B/L# 100-2022)

LOCATIONAL CRITERIA

6.5.3.6

Mixed Use Corridor development shall be located where:

- (a) there is access to Class I or Class II Arterial Roads or Class I Collector Roads;
- (b) full municipal physical services can be provided; and

EVALUATION CRITERIA

6.5.3.7

At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed mixed use corridor development is:

- (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses:

(iii) where traffic generation and distribution is a provincial or municipal concern; and

(c) capable of being provided with full municipal physical services and emergency services;

(d) provided with adequate off-street parking;

(e) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and landscaped areas; and

*DESIGN
GUIDELINES*

6.5.3.8

The following guidelines shall be considered when evaluating the proposed design of a Mixed Use Corridor development:

(a) the ability to achieve the associated policies as outlined in the Urban Design chapter of this Plan;

(b) the provision of appropriate landscaping or other buffers to enhance:

(i) all parking lots, and outdoor loading and service areas; and

(ii) the separation between the use and adjacent sensitive uses, where appropriate;

- (c) as a general rule, the height of buildings are consistent with the height of buildings which characterize the Mixed Use Corridor. Where Council deems it desirable that higher profile development be permitted in an existing Mixed Use Corridor Commercial Corridor, the development should be built at a human scale by utilizing one or both of the following measures:
 - (i) treatment of the lower floors of building(s) to provide continuity; and/or
 - (ii) setting back the upper floors of building(s) from the street to avoid overpowering effects at-grade;
- (d) where possible, parking is located in the rear of the property to encourage continuous building facades adjacent to the street; and
- (e) measures are taken in site design which provide for ease of access for pedestrians between the public sidewalk and building main entrances in a manner which is distinguishable from access provided for vehicles.
- (f) Council will adopt Design Guidelines that will assist in the design and review of development applications in a manner that will ensure implementation of these policies. **(Added by OPA #159 – APPROVED July 11, 2022, B/L# 100-2022)**

<i>NEIGHBOURHOOD INVOLVEMENT</i>	6.5.3.11	Council will encourage the improvement of areas designated as Mixed Use Corridor to be undertaken in consultation with the surrounding neighbourhood.
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7. Infrastructure

7.2 Transportation System

7.2.6 Road Network Policies

<i>GRATUITOUS CONVEYANCES</i>	7.2.6.21	As a condition of development approval, council shall require gratuitous land conveyances to the Municipality where it has been determined that the existing right-of-way width is insufficient based on the requirements set out in Schedule ‘X’, or other provisions of this Official Plan. The size and dimension of each such conveyance shall be determined by what is identified in Schedule ‘X’, or other provisions of this Official Plan. Generally, equal widths of land will be taken from both sides of the road.
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11. Tools

11.6 Zoning

11.6.1 Objectives

<i>COMPATIBLE USES</i>	11.6.1.2	To ensure compatibility between land uses.
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11.6.3 Zoning By-law Amendment Policies

*EVALUATION
CRITERIA*

11.6.3.3

When considering applications for Zoning By-law amendments, Council shall consider the policies of this Plan and will, without limiting the generality of the foregoing, consider such matters as the following:

- (a) The relevant evaluation criteria contained in the Land Use Chapter of this Plan, Volume II:
- (b) Relevant support studies;
- (c) The comments and recommendations from municipal staff and circularized agencies;
- (d) Relevant provincial legislation, policies and appropriate guidelines; and
- (e) The ramifications of the decision on the use of adjacent or similar lands.

APPENDIX “D”
Excerpts from Zoning By-law 8600

SECTION 11 - RESIDENTIAL DISTRICTS 2. (RD2.)

(B/L 10358 Jul 16/1990; B/L 11093 Jul 20/1992; B/L 12651 Approved by OMB Order R960323, Feb 25/1997
 B/L 169-2001 Jun 1/2001; B/L 33-2001 Oct 23/2001, OMB Decision/Order No. 1716 Case No. PL010233
 B/L 370-2001 Nov 15/2001; B/L 363-2002 Dec 31/2002; B/L 142-2006 Aug 24/2006; B/L 114-2016 Sep 19/2016)
 B/L 164-2017, Dec. 7/2017 [ZNG/5270]

11.2 RESIDENTIAL DISTRICT 2.2 (RD2.2)

11.2.1 PERMITTED USES

- One Double Duplex Dwelling*
- One Duplex Dwelling*
- One Multiple Dwelling containing a maximum of four dwelling units*
- One Semi-Detached Dwelling*
- One Single Unit Dwelling*
- Townhome Dwelling*
- Any use accessory to any of the preceding uses

11.2.5 PROVISIONS

- .1 Duplex Dwelling
 - .1 Lot Width – minimum 12.0 m
 - .2 Lot Area – minimum 360.0 m²
 - .3 Lot Coverage – maximum 45.0%
 - .4 Main Building Height – maximum 9.0 m
 - .5 Front Yard Depth – minimum 6.0 m
 - .6 Rear Yard Depth – minimum 7.50 m
 - .7 Side Yard Width – minimum 1.20 m
 - .10 Gross Floor Area – Main Building– maximum 400 m²
- .2 Semi-Detached Dwelling
 - .1 Lot Width – minimum 15.0 m
 - .2 Lot Area – minimum 450.0 m²
 - .3 Lot Coverage – maximum 45.0%
 - .4 Main Building Height – maximum 9.0 m
 - .5 Front Yard Depth – minimum 6.0 m
 - .6 Rear Yard Depth – minimum 7.50 m
 - .7 Side Yard Width – minimum 1.20 m
 - .10 Gross Floor Area – Main Building– maximum 400 m²
- .3 Single Unit Dwelling
 - .1 Lot Width – minimum 9.0 m
 - .2 Lot Area – minimum 270.0 m²
 - .3 Lot Coverage – maximum 45.0%

.4	Main Building Height – maximum	9.0 m
.5	Front Yard Depth – minimum	6.0 m
.6	Rear Yard Depth – minimum	7.50 m
.7	Side Yard Width – minimum	1.20 m
.10	Gross Floor Area – Main Building– maximum	400 m ²
.4 Double Duplex Dwelling or Multiple Dwelling		
.1	Lot Width – minimum	18.0 m
.2	Lot Area – minimum	540.0 m ²
.3	Lot Coverage – maximum	45.0%
.4	Main Building Height – maximum	9.0 m
.5	Front Yard Depth – minimum	6.0 m
.6	Rear Yard Depth – minimum	7.50 m
.7	Side Yard Width – minimum	1.80 m
.5 Townhome Dwelling		
.1	Lot Width – minimum	20.0 m
.2	Lot Area – per <i>dwelling unit</i> – minimum	200.0 m ²
.3	Lot Coverage – maximum	45.0%
.4	Main Building Height – maximum	9.0 m
.5	Front Yard Depth – minimum	6.0 m
.6	Rear Yard Depth – minimum	7.50 m
.7	Side Yard Width – minimum	1.50 m

(AMENDED by B/L 101-2022, July 11, 2022)

APPENDIX "E" Consultations

CALDWELL FIRST NATION COMMUNITY

No comments provided

ENGINEERING - DEVELOPMENT

July 8, 2024 (Comments to Revised Stormwater Management Report)

Please note that the report submitted has enough information for us to assess the feasibility and functionality of the proposed SWM system for the site, and it is deemed acceptable for the Rezoning application purpose. A revised report is required for the Building Permit stage.

If the property is severed, new connections to the storm and sanitary sewers will be necessary. Please reach out to Engineering ROW at engineeringdept@citywindsor.ca for more info. Stormwater Management requirements in accordance with the latest regional guide, including Quality requirements

https://www.essexregionconservation.ca/files/ugd/24e1b4_578198d4bf7441248100c019c612df5c.pdf

May 31, 2024 (Comments to Stage 2: Planning Consultation Application)

Site Servicing - The site may be serviced by a 250 mm sanitary sewer and a 450 mm storm sewer located within the Wyandotte Street right-of-way. If possible existing connections should be utilized. Any redundant connections shall be abandoned in accordance with the City of Windsor Engineering Best Practice B.P 1.3.3.

Stormwater Management - A Stormwater Management Report has been received; however, the report submission is incomplete.

The submission for a Storm Detention Scheme will include, at a minimum:

- a. Submission of stormwater management review fee, **(OUTSTANDING)**
- b. Stormwater management report stamped by a professional engineer
- c. Stormwater management check list (see link below)
- d. Site servicing drawings stamped by a professional engineer

The Stormwater Management Report dated March 28, 2024, by NAJM Engineering Inc., has been received and reviewed. While the report is acceptable as a functional submission to support the subject rezoning application, a revised report addressing the comments in Appendix A will be required before a Building Permit can be issued.

The applicant will be required to submit, **prior to the issuance of Building Permits**, a revised and complete stormwater management plan in accordance with Windsor Essex Region Stormwater Management Standards Manual.

Right-of-Way - Wyandotte Street East is designated as an Arterial Class 2 roadway according to the Official Plan, requiring a right-of-way width of 28 metres. The current right-of-way width is deficient, and a 1.5 metre land conveyance is required along the frontage of this property.

In summary we have no objection to the proposed development, subject to the following requirements:

Land Conveyance - Prior to the issuance of a construction permit, the owner(s) shall agree to gratuitously convey to the Corporation, 1.5 metres across the frontage of the subject property for the Wyandotte Street public right-of-way.

[Juan Paramo - Development Engineer]

ENGINEERING - R.O.W.

June 7, 2024 (Comments to Stage 2: Planning Consultation Application)

Revisions required to drawings:

1. **Driveway Approaches** - Do not conform to City of Windsor Standards, which must be constructed with straight flares and no raised curbs within the right-of-way.
 - a. Modify as per Standard Engineering Drawing AS-204.
 - b. Close all redundant curb cuts
2. **Sewer Connections** - The site is serviced by a 250 mm PVC sanitary sewer and a 450 mm RCP sewer located within the Wyandotte St E Street right-of-way. All existing and proposed storm, sanitary and water services must be identified on the drawings, as well as the associated mainline sewers/water mains.
 - a. Identify any redundant connections to be abandoned in accordance with Engineering Best Practice BP1.3.3.
3. **Land Conveyance** - Schedule X classifies Wyandotte St E as a Class 2 Collector Road, requiring a right-of-way width of 28 metres. The current submission does not include this conveyance.
 - a. Modify drawings to include land conveyance of 1.5 metres as specified above.

[Adam Pillon - Manager of Right-of-Way]

ENWIN UTILITIES LTD. - HYDRO ENGINEERING

October 11, 2023 (Comments to Stage 1: Planning Consultation Application)

No Objection.

Please be advised of the overhead 16kV power lines on the northern limit of the property along Wyandotte St E.

Please be advised of the overhead 16kV power lines and single-phase transformer on the eastern limit of the property along the alley.

Please be advised of the overhead 120/240V secondary conductor along the northern and eastern limit of the property.

Prior to working in these areas, we suggest notifying your contractor and referring to the *Occupational Health and Safety Act* and Regulations for Construction Projects to confirm clearance requirements during construction and demolition. Also, we suggest referring to the *Ontario Building Code* for required clearances for New Building Construction.

[Nillavon Balachandran - Hydro Engineering Technologist]

ENWIN UTILITIES LTD. - WATER ENGINEERING

October 11, 2023 (Comments to Stage 1: Planning Consultation Application)

Water Engineering has no objections. There is an existing 25 mm water service for this property that would need to be upgraded for the new proposed dwelling.

[Bruce Ogg - Water Project Review Officer]

PARKS DESIGN & DEVELOPMENT

October 10, 2023 (Comments to Stage 1: Planning Consultation Application)

No comments or concerns from Parks Design & Development, Natural Areas and Forestry.

[Sherif Barsom - Landscape Architect]

PLANNING DEPARTMENT - LANDSCAPE ARCHITECT

September 27, 2023 (Comments to Stage 1: Planning Consultation Application)

The proposed residential development falls below the residential threshold for site plan control. There are no additional studies required from a landscape architectural or urban design perspective related to the subject site. The applicant is to be aware that there are two large trees in the rear of the property which will provide shade in the summer and reduce energy (A/C) costs. As the plan indicates that this area is to provide some of the landscape open space required for such a development, it is strongly recommended that the owner preserve these trees to help offset the amount of hard surface paving that is being proposed, and to mitigate the heat islands effect that will be created from the development.

[Stefan Fediuk - Landscape Architect / Acting Senior Urban Designer]

PLANNING DEPARTMENT - SITE PLAN CONTROL**October 6, 2023 (Comments to Stage 1: Planning Consultation Application)**

Site Plan is not applicable for this proposed development pursuant to the Planning Act and City of Windsor By-law 1-2004.

[Jacqueline Cabral- Clerk Steno]

TRANSIT WINDSOR**September 29, 2023 (Comments to Stage 1: Planning Consultation Application)**

Transit Windsor has no objections to this development. The closest existing transit route to this property is with the Crosstown 2. The closest existing bus stop to this property is almost directly adjacent to this property on Wyandotte at Ellrose Southwest Corner providing direct transit access to this development. This will be maintained with our City Council approved Transit Master Plan.

[Jason Scott - Manager of Transit Planning]

TRANSPORTATION PLANNING**May 22, 2024 (Comments to Stage 2: Planning Consultation Application)**

The Official Plan classifies Wyandotte St E as a Class 2 Arterial Road with a required right-of-way width of 28 metres per Schedule X of the Official Plan. The current right-of-way is insufficient; therefore, a conveyance of 1.5 metres is required.

All parking must comply with ZBL 8600.

All accesses shall conform to the TAC Geometric Design Guide for Canadian Roads and the City of Windsor Standard Engineering Drawings.

Only one access is allowed unless severed.

All exterior paths of travel must meet the requirements of the Accessibility for Ontarians with Disabilities Act (AODA).

[Elara MehriLou - Transportation Planner I]

WALPOLE ISLAND FIRST NATION

No comments provided

WINDSOR POLICE SERVICE

No comments provided

**APPENDIX “F”
Draft Amending By-law**

B Y - L A W N U M B E R -2024

A BY-LAW TO FURTHER AMEND BY-LAW NUMBER 8600
CITED AS THE "CITY OF WINDSOR ZONING BY-LAW"

Passed the day of , 2024.

WHEREAS it is deemed expedient to further amend By-law Number 8600 of the Council of The Corporation of the City of Windsor, cited as the "City of Windsor Zoning By-law" passed the 31st day of March, 1986, as heretofore amended:

THEREFORE the Council of The Corporation of the City of Windsor enacts as follows:

1. That subsection 1 of Section 20, of said by-law, is amended by adding the following clause:

513. SOUTH SIDE OF WYANDOTTE STREET EAST BETWEEN JOS JANISSE AVENUE AND ELLROSE AVENUE

For the lands comprising of Lot 27, Plan 1492, PIN No. 01097-1316 LT, a *Semi-Detached Dwelling* shall be subject to the following additional provisions:

1. Notwithstanding Section 11.2.5.2.1, the minimum lot width shall be 13.7 metres.
2. Notwithstanding Section 11.2.5.2.10, the maximum gross floor area for a main building shall be 851.6 m².

[ZDM 10; ZNG/7221]

2. The said by-law is further amended by changing the Zoning District Maps or parts thereof referred to in Section 1, of said by-law and made part thereof, so that the lands described in Column 3 are delineated by a broken line and further identified by the zoning symbol shown in Column 5:

1. Item Number	2. Zoning District Map Part	3. Lands Affected	4. Zoning Symbol	5. New Zoning Symbol
1	10	Lot 27, Plan 1492 PIN No. 01097-1316 LT (located on the south side of Wyandotte Street East between Jos Janisse Avenue and Ellrose Avenue)	RD2.2	RD2.2 S.20(1)H513

3. THAT the holding (H) symbol **SHALL APPLY** to the lands located on the south side of Wyandotte Street East between Jos Janisse Avenue and Ellrose Avenue, described as Lot 27, Plan 1492, PIN No. 01097-1316 LT and that Zoning By-law 8600 **BE FURTHER AMENDED** by adding the following clause to Section 95.20:

- (11) a) Gratuitously convey to the Corporation of the City of Windsor, a 1.50-metre-wide strip of land along the Wyandotte Street East frontage of the subject lands to the satisfaction of the City Engineer.
- b) Submission of a Revised Stormwater Management Plan in accordance with the Windsor Essex Region Stormwater Management Standards Manual to the satisfaction of the City Engineer.

[ZDM 10; ZNG/7221]

DREW DILKENS, MAYOR

CLERK

First Reading - , 2024

Second Reading - , 2024

Third Reading - , 2024

SCHEDULE 2

1. By-law _____ has the following purpose and effect:

To amend the zoning of the lands located on the south side of Wyandotte Street East between Jos Janisse Avenue and Ellrose Avenue, legally described as Lot 27, Plan 1492 PIN No. 01097-1316 LT, to permit the development of a semi-detached dwelling on the subject land.

The amending by-law maintains the RD2.2 zoning on the subject land and adds a special zoning provision permitting a semi-detached dwelling on a lot with a reduced lot width and increased gross floor area for a main building.

2. Key map showing the location of the lands to which By-law _____ applies.



PART OF ZONING DISTRICT MAP 10

N.T.S.

SCHEDULE 2

Applicant: Rock Doire



SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT



DATE : JULY, 2024
FILE NO. : Z-023/24, ZNG/7221

PLANNING RATIONALE REPORT (SCOPED)

ZONING BY-LAW AMENDMENT PROPOSED RESIDENTIAL DEVELOPMENT

4461 Wyandotte Street East
City of Windsor, Ontario

July 9, 2024

Prepared by:



Tracey Pillon-Abbs, RPP
Principal Planner
Chatham, ON
226-340-1232
tracey@pillonabbs.ca
www.pillonabbs.ca

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1.0 INTRODUCTION

I have been retained by Keen Studio on behalf of Rock Doire (herein the "Applicant"), to provide a land use Scoped Planning Rationale Report (PRR) in support of a proposed development to be located at 4461 Wyandotte Street East (herein the "Site") in the City of Windsor, Province of Ontario.

The Site, in Ward 5 (East Windsor Planning District), is made up of one (1) interior parcel of land, which is currently being used for residential purposes with a single unit dwelling.

It is proposed to demolish the existing residential dwelling and construct a new two (2) storey semi-detached dwelling with two (2) Additional Dwelling Units (ADU) within each semi-detached dwelling.

A total of six (6) residential units are proposed.

On site parking for a total of four (4) spaces is proposed (2 on each proposed lot). Access will be from Wyandotte Street East onto private driveways.

The Site has access to full municipality services.

The tenure of each unit will be rentals.

A site-specific Zoning By-law Amendment (ZBA) is required in support of the proposed development.

Once the ZBA application has been approved, the Applicant will proceed with a building permit.

It is proposed to then sever the semi-detached dwelling along the common wall.

Pre-consultation (stage 1) was completed by the Applicant (City File #PC-022/23) as well as pre-submission (stage 2) (City File #PC-040/24).

The purpose of this report is to review the relevant land use documents, including the Provincial Policy Statement 2020 (PPS), the City of Windsor Official Plan (OP), and the City of Windsor Zoning By-law (ZBL).

This PRR will show that the proposed development is suitable development, is consistent with the PPS, conforms to the intent and purpose of the OP and ZBL, and represents good planning.

2.0 SITE AND SURROUNDING LAND USES

2.1 Legal Description and Ownership

The Site is made up of one (1) interior parcel of land located on the south side of Wyandotte Street East between Jos Janisse Avenue and Ellrose Avenue (see the area in red on Figure 1 – Site Location).

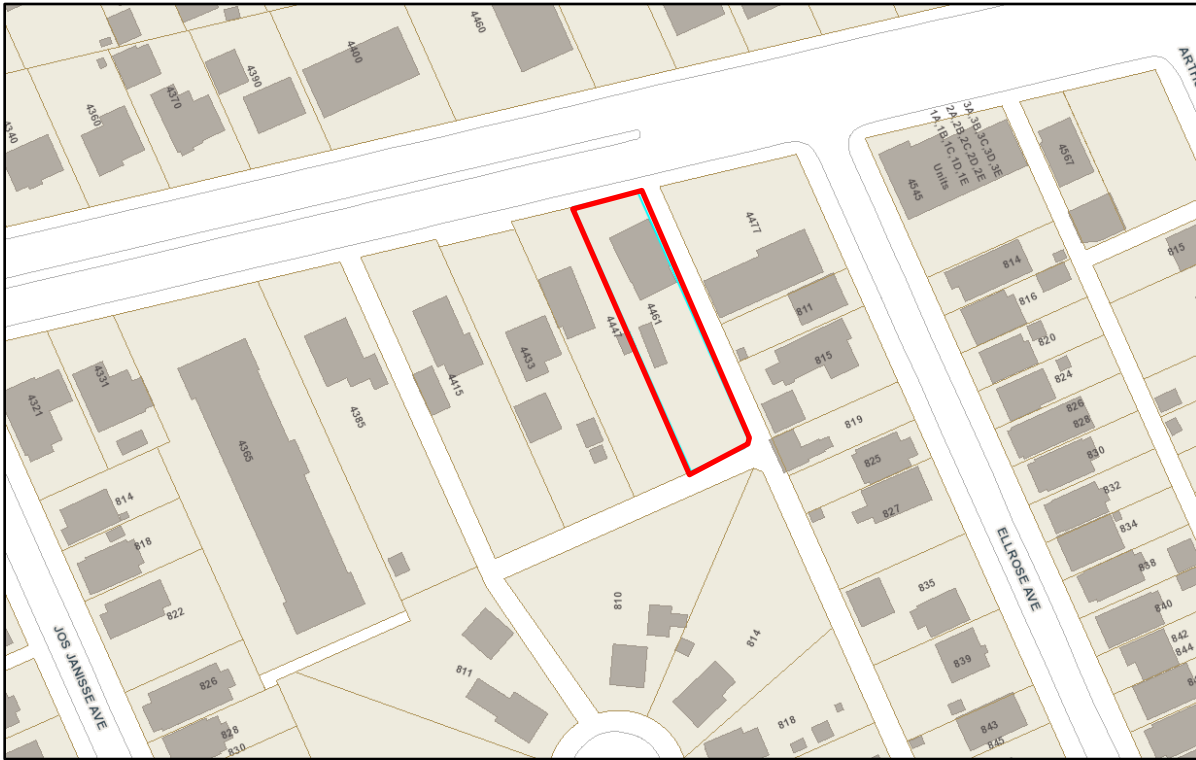


Figure 1 – Site Location (Source: Windsor GIS)

The Site is part of the East Windsor Planning District and is located in the City of Windsor Ward 5.

The Site is owned, locally known as and legally described as follows:

Address	Legal Description	PIN	ARN	Owner	Purchased Date
4461 Wyandotte Street East	Lot 27, Plan 1492; CITY OF WINDSOR	01097-1316 (LT)	3739-010-030-08900-0000	Rock Doire Cari Doire	2020/03/27

2.2 Physical Features of the Site

2.2.1 Size and Site Dimension

The Site, subject to the proposed development, consists of a total area of 873.57 m² (0.087 ha), with 13.7 m of width along Wyandotte Street East and an irregular depth of 59.5 m along the east side and 62.3 m along the west side.

A 1.5 m road widening land conveyance is required.

2.2.2 Existing Structures and Previous Use

The Site is currently being used for residential purposes with a single unit dwelling.

There are no known previous uses.

2.2.3 Vegetation

The property currently has a mown lawn and scattered trees.

2.2.4 Topography

The Site is generally level.

2.2.5 Other Physical Features

There are 2 existing driveway accesses from Wyandotte Street East.

Fencing is located along a portion of the Site owned by others.

There is an alley along the south and east sides of the Site.

2.2.6 Municipal Services

The property has access to municipal water, storm, and sanitary services.

There are streetlights and sidewalks located in the area.

The Site has access to transit.

The Site has access to major transportation corridors.

2.2.7 Nearby Amenities

There are many schools, parks and libraries in close proximity to the Site.

There is nearby shopping in the form of plazas and malls, as well as employment, places of worship, and local amenities.

2.3 Surrounding Land Uses

Overall, the Site is in an existing built up area with a mix of land uses, which includes commercial and residential uses.

A site visit was conducted, and photos were taken on December 12, 2023, by Pillon Abbs Inc.

The following is a summary of the abutting land uses:

Direction	Abutting Land Use
North	Commercial and residential
South	Residential
East	Commercial and residential
West	Residential

3.0 PROPOSAL AND CONSULTATION

3.1 Development Proposal

It is proposed that the Site be developed for residential purposes.

The existing residential dwelling is proposed to be demolished.

A new two (2) storey semi-detached dwelling with two (2) Additional Dwelling Units (ADU) within each semi-detached dwelling is proposed to be constructed.

A concept plan was prepared by Keen Design Studio, dated August 28, 2023, and further revised, dated July 2, 2024 (see Figure 2a –Concept Plan).

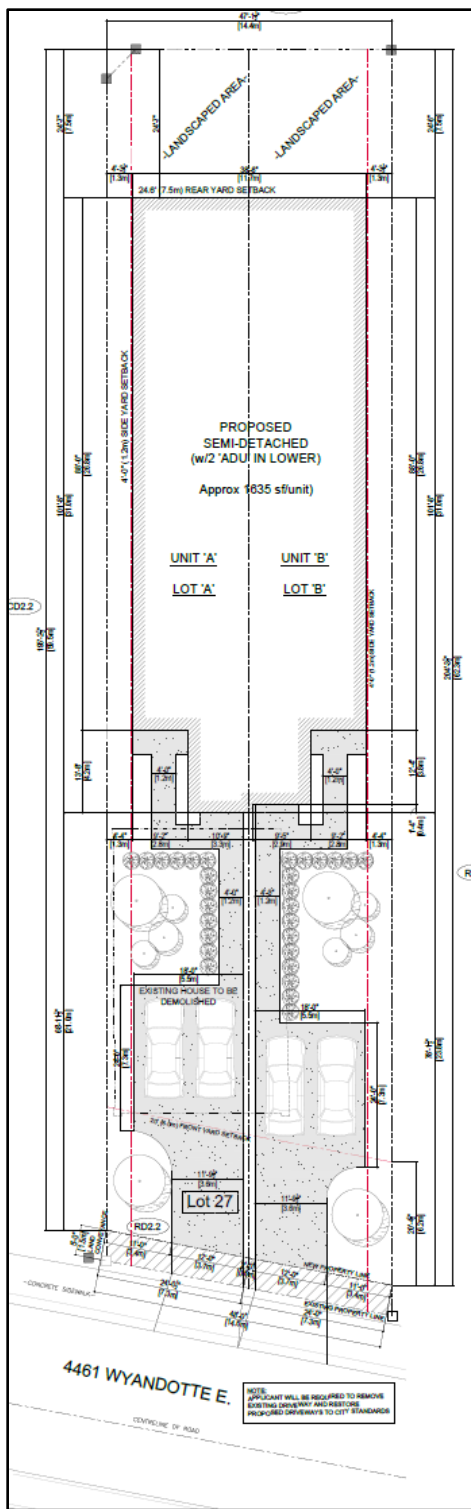


Figure 2a –Concept Plan

4461 Wyandotte St, Windsor, Ontario

The Concept Plan is preliminary in order to illustrate how the Site can be developed.

The building will occupy a total of 326.37 m² of the Site and will be a total of 8.94 m (2 storeys) in height.

The dwelling will be severed along the common wall, as shown as Unit 'A' and Unit 'B' on the concept plan.

A total of six (6) residential units are proposed (3 on each lot).

The building will include 1 and 2 bedroom units.

The tenure of each unit will be rental.

The proposed dwelling will face Wyandotte Street East.

Elevations of the proposed building have been prepared (see Figure 2b – Elevations).



Figure 2b – Elevation

The Elevation is preliminary in order to illustrate how the Site can be developed.

The main access to the building will be from the north side of the Site.

Outdoor seating area, landscaping and amenity space will be provided.

Vehicle access to the Site will be from 2 new driveways along Wyandotte Street East.

The parking area is proposed to be paved and located on the north side of the proposed building.

On site parking for a total of four (4) spaces is proposed (2 on each proposed lot).

Vehicle access will be from Wyandotte Street East onto private driveways.

The refuse (garbage and recycling) will be located in the individual units.

The site proposed to use existing municipal infrastructure.

A 1.5 m land conveyance is required along the frontage of this property and has been included in the concept plan.

3.2 Public Consultation Strategy

In addition to the statutory public meeting, the *Planning Act* requires that the Applicant submit a proposed strategy for public consultation with respect to an application as part of the complete application requirements.

At this time, as the application is considered minor, the required statutory public meeting is proposed.

No informal open house was held.

4.0 APPLICATION AND STUDIES

Pre-consultation (stage 1) was completed by the Applicant (City File #PC-022/23) as well as pre-submission (stage 2) (City File #PC-040/24).

Comments were received and have been incorporated into this PRR.

The proposed development requires an application for a Zoning By-law Amendment (ZBA).

The following explains the purpose of the application as well as a summary of the required support studies.

4.1 Zoning By-law Amendment

A site-specific Zoning By-law Amendment (ZBA) is required in support of the proposed development.

The current zoning of the Site, subject to development, is Residential District 2.2 (RD2.2) category as shown on Map 10 of the City of Windsor Zoning By-law #8600.

It is proposed to further amend the zoning to Residential District 2.2 (RD2.2 - S.20(1)(XXX)) category to permit a semi-detached dwelling with relief from certain regulations.

The ZBA is detailed, and the justification is set out in Section 5.1.3 of this PRR.

4.2 Other Application

Once the ZBA application has been approved, the Applicant will proceed with a building permit.

4.3 Supporting Studies

The following supporting studies have been prepared as part of the application.

4.3.1 Servicing

A Stormwater Management Report (SWM) was prepared by N.A.J.M Engineering Ltd, dated March 28, 2024.

The report provided a review of existing and proposed storm sewer servicing and conditions.

It was concluded that the stormwater management system will address the requirements of the City of Windsor.

The City has noted that a revised SWM report will be required as part of the building permit stage.

5.0 PLANNING ANALYSIS

5.1 Policy and Regulatory Overview

5.1.1 Provincial Policy Statement

The Provincial Policy Statement, 2020 (PPS) provides policy direction on matters of provincial interest related to land use planning and development providing for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environments.

The PPS is issued under Section 3 of the Planning Act and came into effect on May 1, 2020. It applies to all land use planning matters considered after this date.

The PPS supports improved land use planning and management, which contributes to a more effective and efficient land use planning system.

The Site is within a 'Settlement Area', as defined by the PPS.

The following provides a summary of the key policy considerations of the PPS as it relates to the proposed development.

PPS Policy #	Policy	Response
1.0Ontario's long-term prosperity, environmental health and social well-being depend on wisely managing change and promoting efficient land use and development patterns.....	The City has directed growth where the Site is located, which will contribute positively to promoting efficient land use and development patterns.
1.1.1	Healthy, liveable and safe communities are sustained by: a)promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term; b)accommodating an appropriate affordable and market-based range and mix	The proposed development is consistent with the policy to build strong, healthy, and livable communities as it provides for a new housing choice in an existing built up area. There are no environmental or public health and safety concerns as the area is established.

PPS Policy #	Policy	Response
	<p>of residential types, employment, institutional, recreation, park and open space, and other uses to meet long-term needs;</p> <p>c)avoiding development and land use patterns which may cause environmental or public health and safety concerns;</p> <p>d)avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;</p> <p>e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;</p> <p>f)improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;</p> <p>g)ensuring that necessary infrastructure and public service facilities are or will be</p>	<p>The development pattern does not require expansion of the settlement area.</p> <p>The Site has access to full municipal services.</p> <p>Accessibility of units will be addressed at the time of the building permit.</p> <p>Public service facilities are available, such as local schools.</p> <p>The development pattern is proposed to be an efficient development of land.</p>

PPS Policy #	Policy	Response
	<p>available to meet current and projected needs;</p> <p>h) promoting development and land use patterns that conserve biodiversity; and</p> <p>i) preparing for the regional and local impacts of a changing climate.</p>	
1.1.3.1	Settlement areas shall be the focus of growth and development.	The Site is within an existing settlement area.
1.1.3.2	<p>Land use patterns within settlement areas shall be based on densities and a mix of land uses which:</p> <p>a) efficiently use land and resources;</p> <p>b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;</p> <p>c) minimize negative impacts to air quality and climate change, and promote energy efficiency;</p> <p>d) prepare for the impacts of a changing climate;</p> <p>e) support active transportation;</p> <p>f) are transit-supportive, where transit is planned,</p>	<p>The Site offers an opportunity for intensification.</p> <p>The design and style of the proposed building will blend well with the scale and massing of the existing surrounding area.</p> <p>Residents will have immediate access to local amenities.</p> <p>Transit is available for the area.</p> <p>The Site is located close to major roadways.</p>

PPS Policy #	Policy	Response
	exists or may be developed; and g) are freight-supportive.	
1.1.3.3	Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.	The proposed development is located on a Site that is physically suitable. The Site is generally level, which is conducive to easy vehicular movements. The intensification can be accommodated for the proposed development as it is an appropriate development of the Site. Parking will be provided on-site.
1.1.3.4	Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.	The proposed building will be built with a high standard of construction. There will be no risks to the public.
1.1.3.6	New development taking place in designated growth areas should occur adjacent to the existing built-up area and should have a compact form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities.	The proposed development does have a compact built form. The proposed building size will allow for the efficient use of land, pedestrian and vehicle access, infrastructure, and public services.

PPS Policy #	Policy	Response
1.4.1- Housing	<p>To provide for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area, planning authorities shall:</p> <p>a) maintain at all times the ability to accommodate residential growth for a minimum of 15 years through residential intensification and redevelopment and, if necessary, lands which are designated and available for residential development; and</p> <p>b) maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned to facilitate residential intensification and redevelopment, and land in draft approved and registered plans.</p>	<p>The proposed development is consistent with the PPS in that it provides for a new housing choice.</p> <p>The proposed development will make efficient use of land, resources, existing infrastructure, and public service facilities by increasing the number of residential dwelling units within the settlement area.</p> <p>The proposed development encourages the utilization of existing transit stops located close to the Site to meet the health and well-being of future residents.</p> <p>The proposed development will provide for an infill and intensification opportunity in the existing built-up area.</p> <p>Municipal services are available.</p>
1.4.3	<p>Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area.</p>	<p>The proposed development provides for a new housing choice and utilizes the Site in an efficient manner.</p> <p>The development will allow a new building to be used for residential purposes. This will address the need for housing in the area.</p>

PPS Policy #	Policy	Response
		<p>The proposed density will have a positive impact on the area.</p> <p>The Site is close to nearby amenities.</p> <p>There is suitable infrastructure, including transit.</p>
1.6.1 - Infrastructure	Infrastructure and public service facilities shall be provided in an efficient manner that prepares for the impacts of a changing climate while accommodating projected needs.	The development can proceed on full municipal services.
1.6.6.2	Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. Within settlement areas with existing municipal sewage services and municipal water services, intensification and redevelopment shall be promoted wherever feasible to optimize the use of the services.	The proposed development will be serviced by municipal sewer, water and storm, which is the preferred form of servicing for settlement areas.
1.6.6.7	<p>Planning for stormwater management shall:</p> <p>a) be integrated with planning for sewage and water services and ensure that systems are optimized, feasible and</p>	There will be no negative impacts on the municipal system, and it will not add to the capacity in a significant way.

PPS Policy #	Policy	Response
	<p>financially viable over the long term;</p> <p>b) minimize, or, where possible, prevent increases in contaminant loads;</p> <p>c) minimize erosion and changes in water balance, and prepare for the impacts of a changing climate through the effective management of stormwater, including the use of green infrastructure;</p> <p>d) mitigate risks to human health, safety, property and the environment;</p> <p>e) maximize the extent and function of vegetative and pervious surfaces; and</p> <p>f) promote stormwater management best practices, including stormwater attenuation and re-use, water conservation and efficiency, and low impact development.</p>	<p>There will be no risk to health and safety.</p> <p>There are no natural heritage features located on the Site.</p>
1.6.7.1	<p>Transportation systems should be provided which are safe, energy efficient, facilitate the movement of people and goods, and are appropriate to address projected needs.</p>	<p>The Site is in close proximity to major roadways.</p>
1.6.7.2	<p>Efficient use should be made of existing and planned infrastructure, including through the use of transportation demand</p>	<p>The proposed development contributes to the City's requirements for development within a built-up area.</p>

PPS Policy #	Policy	Response
	management strategies, where feasible.	The area is serviced by transit.
1.6.7.4	A land use pattern, density and mix of uses should be promoted that minimize the length and number of vehicle trips and support current and future use of transit and active transportation.	The proposed development is near many local amenities, and residents would not have to travel far to access necessities.
2.2.1 - Water	Planning authorities shall protect, improve or restore the quality and quantity of water.	No water issues are anticipated.
3.0 – Healthy and Safety	Development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to public health or safety or of property damage, and not create new or aggravate existing hazards.	There are no natural or human-made hazards.

Therefore, the proposed development is consistent with the PPS and the Province's vision for long-term prosperity and social well-being.

5.1.2 Official Plan

The City of Windsor Official Plan (OP) was adopted by Council on October 25, 1999, approved in part by the Ministry of Municipal Affairs and Housing (MMAH) on March 28, 2000, and the remainder approved by the Ontario Municipal Board (OMB) on November 1, 2002. The office consolidation version is dated September 7, 2012.

The OP implements the PPS and establishes a policy framework to guide land use planning decisions related to development and the provision of infrastructure and community services throughout the City.

The Site is part of the East Windsor Planning Area, as shown on Schedule A: Planning Districts & Policy Areas.

The current land use designation of the Site, subject to development, is 'Mixed Use Corridor', as shown on Schedule D: Land Use Plan of the City of Windsor Official Plan (as amended by OPA 159) (see Figure 3 –OP).

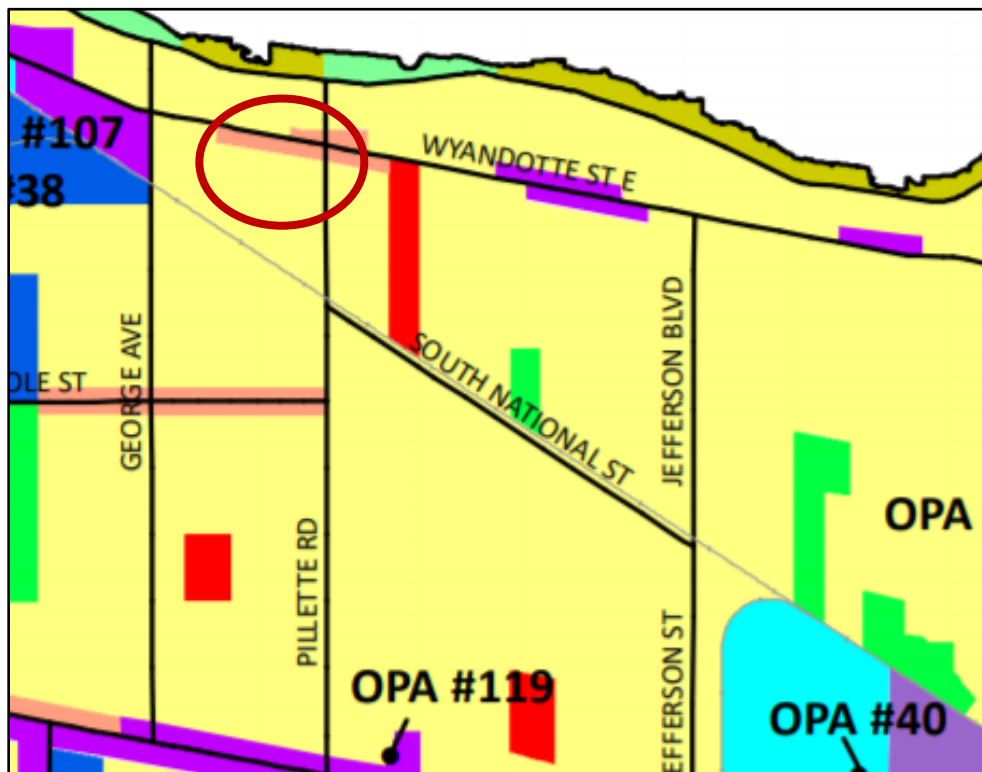


Figure 3 – OP

The Site is also subject to the following:

- adjacent to a Proposed Recreationway (namely Wyandotte Street East) on Schedule B: Greenway System,
- within 1,000.0 metres of a Rail Yard (namely George Avenue Rail Yard) on Schedule C - Development Constraints,
- adjacent to a Class II Arterial Road (namely Wyandotte Street East) on Schedule F: Roads and Bikeways,
- adjacent to a Mainstreet (namely Wyandotte Street East) on Schedule G - Civic Image, and
- within proximity to a Neighbourhood Node on Schedule J - Urban Structure Plan.

The following provides a summary of the key policy considerations of the OP as it relates to the proposed development.

OP Policy #	Policy	Response
3.2.1.2	Encouraging a range of housing types will ensure that people have an opportunity to live in their neighbourhoods as they pass through the various stages of their lives.	The proposed residential development supports one of the City's overall development strategies of providing for a range of housing types.
4.0 – Healthy Community	The implementing healthy community policies are interwoven throughout the remainder of the Plan, particularly within the Environment, Land Use, Infrastructure and Urban Design chapters, to ensure their consideration and application as a part of the planning process.	<p>The proposed development will support the City's goal of promoting a healthy community in order to live, work, and play.</p> <p>The proposed development is close to nearby transit, employment, shopping, local amenities, and parks.</p>
6.0 - Preamble	A healthy and livable city is one in which people can enjoy a vibrant economy and a sustainable healthy environment in safe, caring and diverse neighbourhoods. In order to ensure that Windsor is such a city, Council will manage development through an approach which balances environmental, social and economic considerations.	The proposed development supports the policy set out in the OP as it is suited for addressing the residential needs of the City.
6.1 - Goals	<p>In keeping with the Strategic Directions, Council's land use goals are to achieve:</p> <p>6.1.1 Safe, caring and diverse neighbourhoods.</p> <p>6.1.3 Housing suited to the needs of Windsor's residents.</p> <p>6.1.10 Pedestrian oriented clusters of residential, commercial, employment and institutional uses.</p>	<p>The proposed development supports the goals set out in the OP.</p> <p>The proposed residential use will provide a new housing choice in an existing built-up area.</p>

OP Policy #	Policy	Response
6.2.1.2 – General Policies, Types of Development Profile	<p>For the purpose of this Plan, Development Profile refers to the height of a building or structure. Accordingly, the following Development Profiles apply to all land use designations on Schedule D: Land Use unless specifically provided elsewhere in this Plan:</p> <p>(a) Low Profile developments are buildings or structures generally no greater than three (3) storeys in height;</p> <p>(b) Medium Profile developments are buildings or structures generally no greater than six (6) storeys in height; and</p> <p>(c) High Profile developments are buildings or structures generally no greater than fourteen (14) storeys in height.</p>	<p>The proposed development is considered a low profile development as it is proposed to have 2 storeys.</p>
6.5.3.1 – Mixed Use Corridor (previously Commercial Corridor, prior to OPA 159)	<p>Uses permitted in the Mixed Use Corridor land use designation are primarily retail, wholesale store and service oriented uses and, to a lesser extent, office uses.</p> <p>Medium and High Profile residential uses either as standalone buildings or part of a commercial-residential mixed use buildings shall be throughout the Corridors.</p>	<p>Low profile is proposed based on the size of the Site rather than the medium and high profile buildings.</p> <p>The proposed development is similar to a development located to the west of the Site.</p> <p>The proposed height and massing of the building is appropriate for the area.</p> <p>The development will be designed with a pedestrian orientation and foster a distinctive and attractive area identity.</p>

OP Policy #	Policy	Response
6.5.3.3 - Street Presence	<p>Council will encourage Mixed-Use Corridor development to provide a continuous street frontage and presence. Accordingly, development along a Mixed-Use Corridor shall be:</p> <p>a) no more than four storeys in height, except on lands at an intersection of any combination of the following roads: Class I Arterial Road, Class II Arterial Road, Class I Collector, or Class II Collector Road. The height of buildings shall generally not exceed the width of the road right-of-way abutting the development site; and b) Notwithstanding the identified maximum building height, the Council may consider additional height, where the Council is satisfied that the proposed height achieves compatible development, and where appropriate transitions to abutting lower scale development are established. Appropriate transitions may be achieved through the implementation of regulatory techniques including, but not limited to new height limitations, enhanced building setbacks and step backs, enhanced landscape buffers and planting requirements and/or the implementation of an angular plane. Permissions for taller buildings may be established through a site specific Zoning Bylaw Amendment. c) encouraged</p>	<p>The Site is adjacent to a Class II Arterial Road (namely Wyandotte Street East).</p> <p>The proposed height will be 2 storeys.</p> <p>Parking is to be located at the front of the proposed building, similar to the development located to the west of the Site.</p> <p>The design will address compatibility. It will take into consideration a transition between land uses using an appropriate amount of setbacks and buffering.</p>

OP Policy #	Policy	Response
	to locate the buildings at the street frontage lot line with parking accommodated at the rear of the Site.	
6.5.3.4 – Infill & Consolidations	Council shall promote the infilling and consolidation of existing Mixed Use Corridors.	The proposed building is a form of infill development. The current RD2.2 permits semi-detached dwellings with ADUs.
6.5.3.6 – Location Criteria	Mixed Use Corridor development shall be located where: (a) there is access to Class I or Class II Arterial Roads or Class I Collector Roads; (b) full municipal physical services can be provided; and (c) commercial related traffic can be directed away from residential areas.	Access will only be from Wyandotte Street East with 2 new driveways. Full municipal services are available, which is the preferred type of servicing.
6.5.3.7 – Evaluation Criteria	At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed commercial development is: (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses: (i) within or adjacent to any area identified on Schedule C: Development Constraint Areas and described in the Environment chapter of this Plan; (ii) within a site of potential or known contamination; (iii) where traffic generation and distribution is a provincial or municipal concern; and (iv) adjacent to sensitive land uses and/or heritage resources. (b) in keeping with the goals,	This PRR has addressed the provisions of the OP and provincial legislation. There are no development constraint areas. The required support studies have been provided to address services. There are no secondary plans that impact the Site. The proposed development will include pedestrian connections, landscaping, and amenity space. Amenity space is provided, including private balconies, and outdoor seating areas.

OP Policy #	Policy	Response
	<p>objectives and policies of any secondary plan or guideline plan affecting the surrounding area; (c) capable of being provided with full municipal physical services and emergency services; (d) provided with adequate off-street parking; (e) compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and landscaped areas; and (f) acceptable in terms of the proposal's market impacts on other commercial areas (see Procedures chapter).</p>	<p>The proposed scale and massing do not cause any negative impact on the enjoyment of abutting properties.</p> <p>The proposed building will provide an appropriate transition between uses, including an appropriate amount of setbacks.</p>
6.5.3.8 – Design Guidelines	<p>The following guidelines shall be considered when evaluating the proposed design of a Mixed Use Corridor development: (a) the ability to achieve the associated policies as outlined in the Urban Design chapter of this Plan; (b) the provision of appropriate landscaping or other buffers to enhance: (i) all parking lots, and outdoor loading and service areas; and (ii) the separation between the use and adjacent sensitive uses, where appropriate; (c) as a general rule, the height of buildings are consistent with the height of buildings which characterize the Mixed Use Corridor. Where Council deems it desirable that higher profile development be permitted in an existing Mixed Corridor, the development should be built at a human scale by utilizing one</p>	<p>The design and style of the proposed building will blend well with the scale and massing of the surrounding area.</p> <p>There is a similar building to the west of the Site.</p> <p>The Site will have pedestrian connections.</p> <p>The building will face Wyandotte Street East.</p> <p>Parking will be located at the rear of the Site. Parking cannot be provided at the rear of the Site.</p> <p>The proposed development will blend with the existing character of the surrounding area.</p>

OP Policy #	Policy	Response
	<p>or both of the following measures: (i) treatment of the lower floors of building(s) to provide continuity; and/or (ii) setting back the upper floors of building(s) from the street to avoid overpowering effects at-grade; (d) where possible, parking is located in the rear of the property to encourage continuous building facades adjacent to the street; (e) measures are taken in site design which provide for ease of access for pedestrians between the public sidewalk and building main entrances in a manner which is distinguishable from access provided for vehicles; and (f) Council will adopt Design Guidelines that will assist in the design and review of development applications in a manner that will ensure implementation of these policies.</p>	
7.0 - Infrastructure	<p>The provision of proper infrastructure provides a safe, healthy and efficient living environment. In order to accommodate transportation and physical service needs in Windsor, Council is committed to ensuring that infrastructure is provided in a sustainable, orderly and coordinated fashion.</p>	<p>The proposed development is close to nearby transit, off a major roadway, and has access to full municipal services.</p>
8.1 – Urban Design	<p>A memorable, attractive and liveable city is one where people feel comfortable and are inspired by their surroundings. The physical systems and built form of the</p>	<p>The final design of the proposed building will be addressed as part of Building Permit approval.</p>

OP Policy #	Policy	Response
	<p>city are also designed to protect, maintain and improve the quality of life for present and future generations by integrating the principles of sustainability and place making. In order for Windsor to be such a city, Council is committed to urban design principles that enhance the enjoyment and image of Windsor and its people.</p>	
<p>8.7.2.3 – Built Form, infill development</p>	<p>Council will ensure that proposed development within an established neighbourhood is designed to function as an integral and complementary part of that area's existing development pattern by having regard for:</p> <ul style="list-style-type: none"> (a) massing; (b) building height; (c) architectural proportion; (d) volumes of defined space; (e) lot size; (f) position relative to the road; (g) building area to site area ratios; (h) the pattern, scale and character of existing development; (i) exterior building appearance; and (j) Council adopted Design Guidelines that will assist in the design and review of applications for development in accordance with the policies noted above 	<p>The proposed development will be a natural integration of the established area.</p> <p>The proposed building will provide an appropriate transition.</p> <p>Massing – the proposed building will be limited to 2 storeys, which will blend well with the low profile scale and massing of the existing surrounding area.</p> <p>Building height – there are no impacts on privacy or shadowing on abutting properties based on the proposed building height.</p> <p>Architectural proportion – the proposed visual effect of the relationship of the proposed development will blend well with the immediate area.</p> <p>Volume of defined space – the proposed design and layout of the development includes appropriate setbacks and lot coverage.</p>

OP Policy #	Policy	Response
		<p>The parking area will be constructed according to City standards.</p> <p>Lot size – the existing parcel is appropriate for the development.</p> <p>Building area – appropriate lot coverage is proposed. The proposed building will not negatively impact the private use and enjoyment of area residents.</p> <p>Pattern, scale, and character – the style of development will blend well with the scale and massing of the existing low profile surrounding area.</p> <p>Exterior building appearance – the proposed building will be designed professionally and aesthetically pleasing.</p>

Therefore, the proposed development will conform with the purpose and intent of the City of Windsor OP.

5.1.3 Zoning By-law

The City of Windsor Zoning By-law (ZBL) #8600 was passed by Council on July 8, 2002, and then a further Ontario Municipal Board (OMB) decision was issued on January 14, 2003.

A ZBL implements the PPS and the City OP by regulating the specific use of property and provide for its day-to-day administration.

According to Map 10 attached to the ZBL the Site is currently zoned Residential District 2.2 (RD2.2) category (see Figures 4 – ZBL).

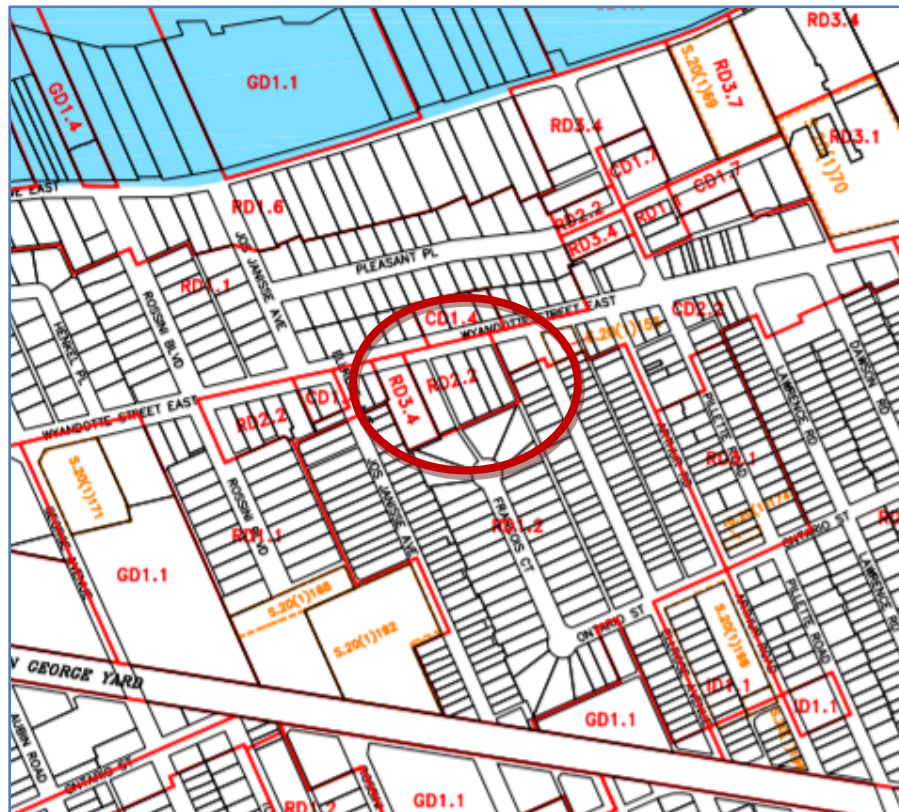


Figure 4 – ZBL

A site-specific ZBA is required for the proposed development to permit a semi-detached dwelling with relief.

SEMI-DETACHED DWELLING means one dwelling divided vertically into two dwelling units by a common interior wall having a minimum area above grade of 10.0 sq. m., and may include, where permitted by Section 5.99.80, up to two additional dwelling units.

An additional dwelling unit is a separate residential dwelling unit consisting of a separate access, kitchen, washroom, and living space that is located within a single detached, semi-detached, duplex dwelling, or rowhouse dwelling (i.e. the primary dwelling unit) or a building accessory to the primary dwelling unit located on the same lot (OP Policy 6.3.2.22).

It is proposed to further amend the zoning to Residential District 2.2 (RD2.2 - S.20(1)(XXX)) category to permit a semi-detached dwelling with relief.

A review of the RD2.2 zone provisions, as set out in Section 11.2 of the ZBL is as follows:

Zone Regulations	Required RD2.2 Zone	Proposed	Compliance and/or Relief Requested with Justification
Permitted Uses	One Double Duplex Dwelling One Duplex Dwelling One Multiple Dwelling containing a maximum of four dwelling units One Semi-Detached Dwelling One Single Unit Dwelling Townhome Dwelling Any use accessory to any of the preceding uses	Semi-detached dwelling	Complies
Additional Dwelling Units (Section 5.99.80.1)	For any zoning district that permits a single unit dwelling, semi-detached dwelling , duplex dwelling, or townhome dwelling, the following additional provisions shall apply: .1 Additional Permitted Uses a) Two additional dwelling units shall be permitted on a parcel of urban residential land. This may be either: i. Two additional dwelling units within the primary dwelling unit located in the main building, or ii. One additional dwelling unit in the primary dwelling unit located in the main building and one	2 ADUs within each semi detached dwelling	Complies

Zone Regulations	Required RD2.2 Zone	Proposed	Compliance and/or Relief Requested with Justification
	additional dwelling unit in a building accessory to said dwelling.		
Lot Width – minimum	15.0 m	<p>13.7 m</p> <p>12.9 metres + 14.4 metres = 27.3 metres / 2 = 13.7 metres</p>	<p>Relief required.</p> <p>Relief is considered minor.</p> <p>The Site is existing and does not change the lot pattern of the area.</p> <p>There is a variety of lot frontages/widths along Wyandotte St E.</p> <p>The Site is very long and narrow and can accommodate the proposed development adequately.</p> <p>No other relief is being requested, including lot coverage or setbacks.</p> <p><i>LOT WIDTH means the perpendicular distance in metres between the side lot lines. Where the side lot lines are not parallel, the lot width shall be the average distance in metres between the side lot lines.</i></p>
Lot Area – minimum	450.0 m ²	873.57 m ²	Complies
Lot Coverage – maximum	45.0%	37.3 %	Complies
Main Building Height - maximum	9.0 m	8.94 m (2 storeys)	Complies

Zone Regulations	Required RD2.2 Zone	Proposed	Compliance and/or Relief Requested with Justification
Front Yard Depth – minimum	6.0 m	21.0 m	Complies
Rear Yard Depth – minimum	7.50 m	7.50 m	Complies
Side Yard Width – minimum	1.20 m	1.3 m east side 1.3 m west side	Complies
Gross Floor Area – Main Building– maximum	400 m2	851.6 m2	<p>Relief required.</p> <p>The Site is very long and narrow and can accommodate the proposed GFA.</p> <p>GFA includes the main floor, second floor and cellar.</p> <p>The Site is located in the 'Mixed Use Corridor' designation of the OP which does support larger scale developments.</p> <p>No other relief is being requested, including lot coverage or setbacks.</p> <p><i>This provision was added to Zoning By-law 8600 by By-law 101-2022, on July 11, 2022. By-law 101-2022 amended Zoning By-law 8600 for the purpose of implementing the recommendations coming out of the Multi-Residential Interim Control By-law Study Background Report, dated April 20, 2022.</i></p>

Zone Regulations	Required RD2.2 Zone	Proposed	Compliance and/or Relief Requested with Justification
Dwelling – Semi-Detached & Townhomes - Additional Provisions (Section 5.23.1)	For a dwelling unit in a semi-detached dwelling or in a townhome dwelling, a door that opens to the rear yard shall be located a minimum of 1.20 m from the centreline of the common wall between the dwelling units.	N/A – no door that opens to the rear yard	Complies
Dwelling – Semi-Detached & Townhomes - Additional Provisions (Section 5.23.5)	When a lot on which a semi-detached dwelling or townhome dwelling has been erected and is subsequently severed by a common interior lot line that separates the dwelling units, for each dwelling unit the following additional provisions shall apply: 1 Lot Width – minimum – equal to the width of the dwelling unit plus any exterior side yard as existing at the time of the lot severance 2 Lot Area – minimum – as existing at the time of the lot severance	TBD	Complies

Zone Regulations	Required RD2.2 Zone	Proposed	Compliance and/or Relief Requested with Justification
	<p>3 Lot Coverage – Total – maximum – 50% of lot area</p> <p>7 An interior side yard shall not be required along the common interior lot line for that part of the dwelling unit lawfully existing at the time of the lot severance</p>		
<p>Parking Requirements - minimum 24.20.5.1</p>	<p>Semi-detached - 1 for each dwelling unit = 2</p> <p>ADU – 1 for the first dwelling unit and 1 for the second and 0 for the third = 2</p>	<p>4</p>	<p>Complies</p>

Therefore, the proposed development will comply with all zone provisions set out in the RD2.2 Zone except for the following, which requires site-specific relief:

1. *decrease the minimum lot width from 15.0 m to 13.7 m, and*
2. *increase the maximum gross floor area from 400 m2 to 851.6 m2.*

6.0 SUMMARY AND CONCLUSION

6.1 Context and Site Suitability Summary

6.1.1 Site Suitability

The Site is ideally suited for residential development for the following reasons:

- The land area is sufficient to accommodate the proposed development,
- The Site is generally level,
- The Site will be able to accommodate municipal water, storm and sewer systems,
- There are no anticipated traffic or parking concerns, and
- The location of the proposed development is appropriate.

6.1.2 Compatibility of Design

The proposed development will be limited to a 2 storey, low profile building, which is a compatible density for the Site and with the surrounding area.

The proposed residential use will provide a new housing choice in an existing built-up area.

The design of the proposed building will address compatibility.

The Site is capable of accommodating the proposed development in terms of scale, massing, height, and siting.

Parking, amenity areas, and landscaping will be provided.

6.1.3 Good Planning

The proposal represents good planning as it addresses the need for the development of a parcel of land, which contributes to affordability and intensification requirements.

Residential use on the Site represents an efficient development pattern that optimizes the use of land.

There is a similar building to the west of the Site.

6.1.4 Environment Impacts

The proposal does not have any negative impact on the natural environment.

6.1.5 Municipal Services Impacts

There will be no negative impacts on the municipal system as the proposed use will not add to the capacity in a significant way.

6.1.6 Social, Cultural, and Economic Conditions

The proposed development does not negatively affect the social environment as the Site is in close proximity to major transportation corridors and nearby amenities.

Infilling in an existing built-up area of the City contributes toward the goal of 'live, work and play' where citizens share a strong sense of belonging and a collective pride of place.

The proposed development promotes efficient development and land use patterns which sustains the financial well-being of the Municipality.

The proposal does not cause any public health and safety concerns.

The proposal represents a cost-effective development pattern that minimizes land consumption and servicing costs.

There will be no urban sprawl as the proposed development is within the existing settlement area and is an ideal infilling opportunity.

There are no cultural heritage resources that impact the Site.

6.2 Conclusion

In summary, it would be appropriate for the City of Windsor to approve the ZBA application to permit the proposed development on the Site.

This PRR has shown that the proposed development is consistent with the PPS, conforms with the intent and purpose of the OP and ZBL and represents good planning.

The report components for this PRR have set out the following, as required under the City of Windsor OP:

10.2.13.2 Where a Planning Rationale Report is required, such a study should:

- (a) Include a description of the proposal and the approvals required;*
- (b) Describe the Site's previous development approval history;*
- (c) Describe major physical features or attributes of the Site including current land uses(s) and surrounding land uses, built form and contextual considerations;*
- (d) Describe whether the proposal is consistent with the provincial policy statements issued under the Planning Act;*

- (e) Describe the way in which relevant Official Plan policies will be addressed, including both general policies and site-specific land use designations and policies;*
- (f) Describe whether the proposal addresses the Community Strategic Plan;*
- (g) Describe the Suitability of the Site and indicate reasons why the proposal is appropriate for this Site and will function well to meet the needs of the intended future users;*
- (h) Provide an analysis of the compatibility of the design and massing of the proposed developments and land use designations;*
- (i) Provide an analysis and opinion as to why the proposal represents good planning, including the details of any methods that are used to mitigate potential negative impacts;*
- (j) Describe the impact on the natural environment;*
- (k) Describe the impact on municipal services;*
- (l) Describe how the proposal will affect the social and/or economic conditions using demographic information and current trends; and,*
- (m) Describe areas of compliance and non-compliance with the Zoning By-law.*

Planner's Certificate:

I hereby certify that this report was prepared by Tracey Pillon-Abbs, a Registered Professional Planner, within the meaning of the Ontario Professional Planners Institute Act, 1994.


Tracey Pillon-Abbs, RPP
Principal Planner



**4461 Wyandotte St E
Windsor, Ontario**

Stormwater Management Report

March 28, 2024

Prepared for:

N.A.J.M ENGINEERING LTD

4461 Wyandotte St E

4461 Wyandotte St E Windsor, Ontario

Stormwater Management Report

Prepared For:

4461 Wyandotte St E

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N.A.J.M ENGINEERING LTD

PROJECT # 23196

March 28, 2024

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1.0 INTRODUCTION

N.A.J.M. Engineering Ltd. has been retained by the owner of 4461 Wyandotte St E to prepare a Stormwater Management (SWM) report in support of the application for the proposed development of residential building located at 4461 Wyandotte St E in the City of Windsor.

2.0 BACKGROUND

2.1 Existing Condition

The overall site area is 0.0895 hectares, and the site is bounded by existing residential buildings along Wyandotte St E to the North, existing residential developments to the West and South and existing auto repair development to the East. Refer Appendix A for Legal Survey.

The existing site consists of a residential building, which will be demolished. New residential building, infrastructure services, parking lots, driveways, and landscape regions to be constructed are discussed in detail in this report.

Refer to

Figure 2.1 for the subject site's location and aerial view of the existing condition.



Figure 2.1 – Site Location and Existing Aerial Plan

2.2 Soil

Soil information was obtained from Essex Region Conservation Authority Interactive Mapping. The site consists of - Brookston Clay Loam soil of Hydrologic soil group 'D'. Refer Appendix D for soil map.

2.3 Proposed development

The subject development area (0.0895ha) will consist of a new residential building. The proposed development will also have new driveway, parking lot and landscape areas. Refer Appendix E for site plan.

2.4 Background and Resource Information

In preparing this report, the following information was obtained and reviewed:

- City of Windsor - MappMyCity - online Interactive mapping.
- Consultation with the City of Windsor.
- The Windsor/Essex Region Stormwater Management Standards Manual, Version 1, Dec. 6/18. (WERSWM)
- ERCA Interactive mapping
- Topographic survey of Lot 27, Registered plan 1492 in the City of Windsor, County of Essex, Ontario by Verhaegen Land Surveyors – A division of J.D. Barnes Limited dated February 02,2024. (See Appendix A).

3.0 SERVICING INVESTIGATION

Information with respect to existing municipal services and utilities was determined from topographic survey and online interactive mapping.

3.1 Storm Servicing

3.1.1 Existing Storm Sewers and Servicing.

There is an existing 450mm municipal storm sewer in the Wyandotte St E Right of way adjacent to the site. Proposed Storm Connection

The proposed SWM system will be restricted to the 2-year storm event and the discharge to the sewer will be limited to the allowable rate as outlined in Section 4.2.2.

The storm outlet to the sewer will convey controlled runoff from the on-site SWM system which will be employed to meet the Windsor Essex Region Stormwater Management

Standards Manual and the City of Windsor discharge requirements outlined in section 4.1 of this report.

A storm sewer design calculation is provided in Appendix D.

4.0 STORMWATER MANAGEMENT PLAN

4.1 Storm Drainage Criteria

The following general SWM criteria would apply to the Proposed Development:

- Water Quality: Provide long-term average removal of 70% of Total Suspended Solids of fine particle size distribution on an annual loading basis from the post-development site.
- Water Quantity (Rate Control): Control flows from the site during all design storm events (2-year through 100-year storm) to a rate no greater than the peak run off rate that would be generated on the pre-developed site in a 2-year storm event.
- Run-off generated on the entire site, in all storm events, up to and including the 100-year event, shall be contained on-site; and
- Maintain existing drainage patterns, ensuring adjacent properties are not adversely affected.

4.2 Proposed Stormwater Management

4.2.1 Pre-Development Condition

The subject site consists of an existing residential building and concrete and grassed areas. The subject site is assessed to the 450mm municipal storm sewer along Wyandotte St E.

The pre-development flow calculations were performed based on the existing conditions of the site ($C=0.45$) and the allowable release rate will be calculated using the 2-year storm event.

4.2.2 Allowable Release Rate

The stormwater management for this site has been prepared in accordance with the Windsor/Essex Region Stormwater Management Standards Manual, Version 1, Dec. 6/18 (WERSWM) and the City of Windsor guidelines.

As discussed in section 4.2.1, the site is assessed to the 450mm municipal storm sewer; and the allowable release rate shall be restricted to the 2-year flow. The Stormwater calculations was carried out using rational method.

Following rainfall parameters from Windsor/Essex Region Stormwater Management Standards Manual were used to determine the allowable release rate using rational method.

$a = 854; b = 7.0; c = 0.818$

The allowable peak discharge rate from the site can be calculated using the rational method:

Allowable release rate $Q = 2.78 CiA$

Q = Discharge in L/s

C = Runoff Coefficient

I = Rainfall Intensity

A = Area in hectares

Allowable release rate $Q = 7 L/s$

Refer to **Appendix B** for calculations design sheet.

4.2.3 Post Development Conditions

The Stormwater analysis for post development condition was carried out using the rational method. The post-development flows from the proposed development up to the 100-year storm event shall be restricted to the allowable release rate of $0.007m^3/s$. On-site quantity control is to be provided for storm events leading up to the 100-yr storm event while maintaining the allowable release rate.

The Stormwater quantity analysis was carried out using the IDF Curve Parameters from WERSWM Standards Manual. Runoff coefficient of $C=0.69$ was used for the post development condition of the site during the 2-year and 5-year storm events. The runoff coefficient was increased by 25% for the 100-year storm event ($C=0.86$). Calculations and details of catchment area and their parameters are provided in Appendix B.

Table 4.1 – Post development SWM Calculation - Results

Storm Event	Allowable Discharge Rate (m ³ /s)	Storage Volume Provided (m ³)	Storage Volume Required (m ³)	High Water Level (m)
2-Yr Storm	0.007	31.50	4.50	179.043
5-Yr Storm	0.007	31.50	7.40	180.555
100-Yr Storm	0.007	31.50	24.80	180.704

- 5.12 m³ of underground pipe storage and 26.4 m³ of surface storage has been provided in the stormwater management design.
- The required storage during the 2-year storm event is **4.50 m³** and the provided underground pipe storage (**5.12m³**) is greater. Hence, no ponding is observed during the 2-year and the 32mm storm events.
- The lowest rim elevation of Catch basin is **180.450m** in the parking lot.
- The Maximum storage provided within the site up to the elevation of **180.750m** is **31.50m³**.
- The maximum storage required during the 100-year storm event is **24.80 m³** and the HWL is **180.704m**. Hence, the HWL within the site contained within the site.
- The maximum surface ponding depth during the 100-year storm event is 0.26m, which satisfies the requirement of WERSWM Standards Manual.
- The minimum finished elevation of the proposed residential building will be **181.100m**, thus providing 0.39m freeboard during the 100-year storm event.
- The overflow from site will be directed towards Wyandotte St E.

4.2.4 Quantity Control

The site will be connected to the existing 450mm storm sewer along Wyandotte St E through the proposed 150mm service connection. To ensure the maximum discharge rate from the SWM system is restricted at or below 7 L/s (0.007m³/s) up to the 100-year storm event, a tempest Inlet control device (LMF) will be installed at the outlet of MH#02.

By providing an underground PIPE storage system with a volume of 5.12m³ and surface storage of 24.80m³ in the parking lot/ landscape areas, the post-developed site will achieve controlled discharge equivalent to the allowable release rate of 7 L/s from the 2-year up to 1:100-year storm events.

4.2.5 Quality Control

Storm runoff from the proposed parking lot will require water quality control. Runoff from the parking lot will be directed towards CBMH#01. To achieve the quality control target - 70% TSS removal, ADS Flexstorm pure inlet filter will be installed at CBMH#01 to provide the adequate quality control required for the development. (Refer Appendix D for details).

4.3 Maintenance

The stormwater management and drainage system for the site does require regular maintenance to ensure that it functions as intended and continues to meet the by-law requirements of the Municipality. Key components of the system and applicable maintenance issues are as follows:

Parking Lot: The CB sump should be inspected regularly and cleaned out when sediment accumulates at the bottom.

Roof Drains: Area drains, and roof drains should be inspected and maintained semi-annually to ensure that they are free of debris that may clog them.

Water Quality Filter: The Water Quality filter should be inspected regularly and maintained per manufacturer's guidelines to ensure optimum operation of the structure.

5.0 EROSION AND SEDIMENT CONTROL

Measures are to be taken during construction to ensure that erosion and/or transportation of sediments off-site is controlled. Mitigation measures include:

- Erection of sediment control fence prior to construction, and maintenance throughout construction activities.
- Construction of a clear-stone "mud-mat" at construction site exists to control the tracking of sediments off-site from the tires of vehicles.
- Use of watering for dust control.

6.0 CONCLUSION

With respect to the proposed development at 4461 Wyandotte St E, the stormwater management system will address the requirements of the City of Windsor, such that:

Storm Servicing

- Proposed development flows will be discharged to the proposed 150mm storm service connection and connected to the existing 450mm municipal storm sewer along Wyandotte St E.
- The total post-development allowable storm discharge rate up to 100-year storm event from the site is 7 L/s (0.007m³/s), based on the 2-year storm event to the Municipal storm sewer.

Stormwater Management

- Rooftop runoff will be captured by roof drains and will be connected to the proposed storm sewer system. The parking lot will drain to catch basin CBMH#01.
- For the proposed development, the flows leaving the site will be restricted to 7 L/s up to the 100-year storm event, by the Tempest Inlet Control device (LMF) installed at the outlet of MH#02.
- 2-year storm event is stored within the storm sewer pipes and surface ponding during the 100-year storm event meets the WERSWM Standards criteria.
- Water quality treatment unit is required for the proposed asphalt parking lot. The total runoff from the parking lot will be treated by the ADS Flexstorm Pure Inlet Filters installed in CBMH#01.

We trust that this report satisfies the requirements of the City of Windsor with respect to the subject development. Should you have any questions, please do not hesitate to contact the undersigned.

N.A.J.M Engineering Ltd

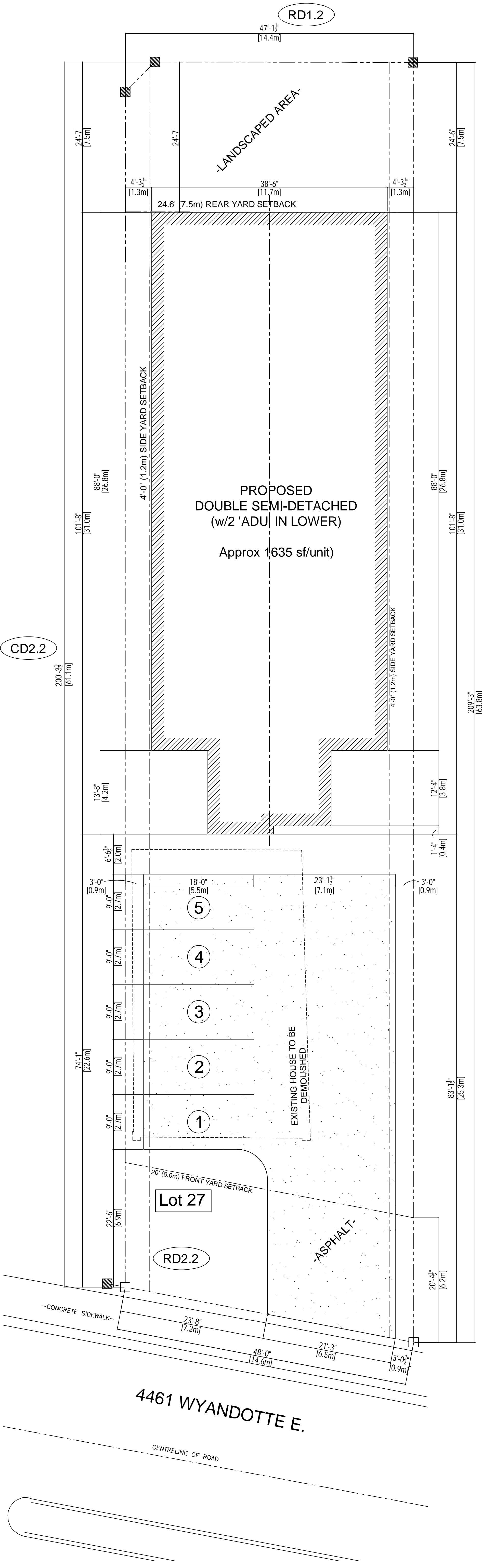


Nadim Mrad, P. Eng.

Project Manager

APPENDIX A

ARCHITECTURAL PLAN



ADDRESS: LOT 27
4461 WYANDOTTE E.
WINDSOR, ON

ZONE: RD2.2
SITE AREA: 9640 sf

COVERAGE ALLOWANCE: 45% (4338 sf)
PROPOSED COVERAGE: 38% (3651) sf
SETBACKS: as shown

AREA:
UNIT 'A': LOWER (ADU): 1634 sf
Grade Ent: 128 sf
MAIN: 1634 sf
BALCONY: 50 sf
UPPER: 1634 sf
BALCONY: 50 sf
FRONT PORCH: 69 sf

UNIT 'B': LOWER (ADU): 1634 sf
Grade Ent: 128 sf
MAIN: 1634 sf
BALCONY: 69 sf
UPPER: 1634 sf
BALCONY: 69 sf
FRONT PORCH: 55 sf

GFA:
ALLOWABLE: (400 m²) 4305 sf
REQUIRED: (607 m²) 6536 sf

HARD SURFACE:
PARKING LOT & DRIVEWAY: (178 m²) 1916 sf
PERCENTAGE OF LOT COVERAGE: 19.84 %

TOTAL UNITS: 6
PARKING SPACES: 5

4461 Wyandotte E.
A00 - Site
.1 - Property Plan, Front Elevation
.2 - Main Floor Plan

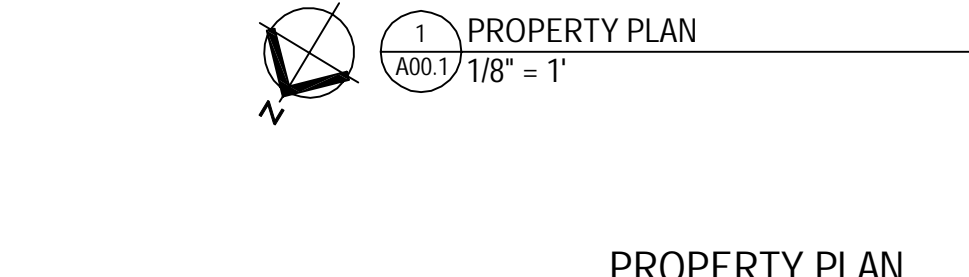
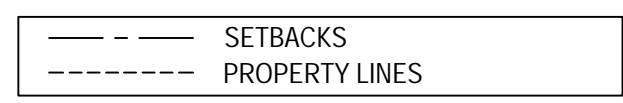
NOTE:
THESE PRINTS ARE THE PROPERTY AND DESIGN OF DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REPRODUCE THE SAME HOUSE AT NO BENEFIT TO THE PURCHASER OF THIS HOME.

NOTE:
THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.

NOTE:
SITE INFORMATION BASED ON SITE PLAN INFORMATION ON mappmcity.com

NOTE:
THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.

THIS PLAN IS NOT A LEGAL SURVEY. ALL DIMENSIONS SHOULD BE VERIFIED BY AN O.L.S. THIS SITE PLAN IS PROVIDED AS A GUIDE TO LOCATE THE BUILDING



PROPERTY PLAN

APPENDIX B

**STORMWATER MANAGEMENT
CALCULATIONS**

N.A.J.M ENGINEERING LTD

PROJECT NAME:	4461 Wyandotte E , Windsor
PROJECT NO	23196
DATE	3/21/2024

MUNICIPALITY OF CHATHAM KENT IDF

Return Period	A	B	C
(Year)			
2	854	7	0.818
5	1259	8.8	0.838
100	2375	11	0.861

I = A /((T+B)^C)
I= Intensity
T= Duration of Rainfall
A,B.C = Coefflicients

PRE-DEVELOPMENT FLOW CALCULATIONS

Storm event =	2 year
A =	854
B =	7
C =	0.818

Intensity I =	$A/(T+B)^C$	mm/hr
Discharge / Flow Q =	$2.78 \cdot A \cdot C$	L/s

SITE / CATCHMENT PARAMETERS

CATCHMENT ID =	EXISTING	
Runoff Coefficient 'C' =	0.45	
Area A =	0.0895	ha

Time of Concentration Calculation

Flow Length L	62	m
Runoff Coefficient C =	0.45	
Slope S =	0.5	%
Time of Concentration T =	21	min.

Time (t) (min.)	INTENSITY (I) (mm/hr)	A x C (ha)	Q (pre) (L/s)
5	112	0.0403	13
10	84	0.0403	9
19	59	0.0403	7
20	58	0.0403	6

Pre-development Release Rate = **7 L/s**

POST-DEVELOPMENT FLOW CALCULATIONS

Storm event =	2 year
A =	854
B =	7
C =	0.818

Intensity I =	$A/(T+B)^C$	mm/hr
Discharge / Flow Q =	$2.78 \cdot A^C$	L/s

SITE / CATCHMENT PARAMETERS

CATCHMENT ID =	PROPOSED	
Runoff Coefficient 'C' =	0.69	
Area A =	0.0895	ha

Time (t) (min.)	INTENSITY (I) (mm/hr)	A x C (ha)	Q (post) (L/s)	STORM VOL. (L)	RELEASE RATE (L/s)	RELEASE VOL. (L)	REQUIRED STORAGE (L)	REQUIRED STORAGE m ³
1	156	0.062	27	1605.5	7.00	420	1185.5	1.2
2	142	0.062	24	2916.0	7.00	840	2076.0	2.1
3	130	0.062	22	4012.8	7.00	1260	2752.8	2.8
4	120	0.062	21	4949.1	7.00	1680	3269.1	3.3
5	112	0.062	19	5761.4	7.00	2100	3661.4	3.7
6	105	0.062	18	6475.5	7.00	2520	3955.5	4.0
7	99	0.062	17	7110.4	7.00	2940	4170.4	4.2
8	93	0.062	16	7680.2	7.00	3360	4320.2	4.3
9	88	0.062	15	8195.9	7.00	3780	4415.9	4.4
10	84	0.062	14	8666.0	7.00	4200	4466.0	4.5
11	80	0.062	14	9097.2	7.00	4620	4477.2	4.5
12	77	0.062	13	9494.8	7.00	5040	4454.8	4.5
13	74	0.062	13	9863.4	7.00	5460	4403.4	4.4
14	71	0.062	12	10206.5	7.00	5880	4326.5	4.3
15	68	0.062	12	10527.3	7.00	6300	4227.3	4.2
20	58	0.062	10	11871.4	7.00	8400	3471.4	3.5

TOTAL ALLOWABLE RELEASE RATE

7 L/s

TOTAL STORAGE REQUIRED - 2YR

4.5 cu.m

POST-DEVELOPMENT FLOW CALCULATIONS

Storm event =	5 year
A =	1259
B =	8.8
C =	0.838

Intensity I =	$A/(T+B)^C$	mm/hr
Discharge / Flow Q =	$2.78 \cdot A^C$	L/s

SITE / CATCHMENT PARAMETERS

CATCHMENT ID =	PROPOSED	
Runoff Coefficient 'C' =	0.69	
Area A =	0.0895	ha

Time (t) (min.)	INTENSITY (I) (mm/hr)	A x C (ha)	Q (post) (L/s)	STORM VOL. (L)	RELEASE RATE (L/s)	RELEASE VOL. (L)	REQUIRED STORAGE (L)	REQUIRED STORAGE m ³
1	186	0.062	32	1915.3	7.00	420	1495.3	1.5
2	171	0.062	29	3531.1	7.00	840	2691.1	2.7
3	159	0.062	27	4917.9	7.00	1260	3657.9	3.7
4	149	0.062	26	6125.1	7.00	1680	4445.1	4.4
5	140	0.062	24	7188.6	7.00	2100	5088.6	5.1
6	132	0.062	23	8135.2	7.00	2520	5615.2	5.6
7	125	0.062	21	8985.0	7.00	2940	6045.0	6.0
8	118	0.062	20	9753.8	7.00	3360	6393.8	6.4
9	113	0.062	19	10454.0	7.00	3780	6674.0	6.7
10	108	0.062	18	11095.6	7.00	4200	6895.6	6.9
11	103	0.062	18	11686.4	7.00	4620	7066.4	7.1
12	99	0.062	17	12233.1	7.00	5040	7193.1	7.2
13	95	0.062	16	12741.2	7.00	5460	7281.2	7.3
14	92	0.062	16	13215.2	7.00	5880	7335.2	7.3
15	88	0.062	15	13658.8	7.00	6300	7358.8	7.4
16	85	0.062	15	14075.5	7.00	6720	7355.5	7.4
17	83	0.062	14	14467.9	7.00	7140	7327.9	7.3
18	80	0.062	14	14838.5	7.00	7560	7278.5	7.3
19	78	0.062	13	15189.3	7.00	7980	7209.3	7.2
20	75	0.062	13	15522.2	7.00	8400	7122.2	7.1

TOTAL ALLOWABLE RELEASE RATE

7 L/s

TOTAL STORAGE REQUIRED - 5 YR

7.4 cu.m

POST-DEVELOPMENT FLOW CALCULATIONS

Storm event =	100 year
A =	2375
B =	11
C =	0.861

Intensity I =	$A/(T+B)*C$	mm/hr
Discharge / Flow Q =	$2.78*A*C$	L/s

SITE / CATCHMENT PARAMETERS

CATCHMENT ID =	PROPOSED	
Runoff Coefficient 'C' =	0.86	(Increased by 25%)
Area A =	0.0895	ha

Time (t) (min.)	INTENSITY (I) (mm/hr)	A x C (ha)	Q (post) (L/s)	STORM VOL. (L)	RELEASE RATE (L/s)	RELEASE VOL. (L)	REQUIRED STORAGE (L)	REQUIRED STORAGE m ³
5	218	0.077	47	14008.9	7.00	2100	11908.9	11.9
10	173	0.077	37	22169.2	7.00	4200	17969.2	18.0
20	123	0.077	26	31706.5	7.00	8400	23306.5	23.3
30	97	0.077	21	37384.8	7.00	12600	24784.8	24.8
40	80	0.077	17	41307.0	7.00	16800	24507.0	24.5
50	69	0.077	15	44257.0	7.00	21000	23257.0	23.3
60	60	0.077	13	46601.4	7.00	25200	21401.4	21.4
70	54	0.077	12	48537.1	7.00	29400	19137.1	19.1

TOTAL ALLOWABLE RELEASE RATE

7 L/s

TOTAL STORAGE REQUIRED - 2YR

24.8 cu.m

STORM WATER MANAGEMENT FACILITY CALCULATIONS

Storm sewer Storage		
200mm Pipe		
Length L =	50.3 m	
Pipe Diameter =	0.2 m	
Volume V =	1.58 m ³	
600mm Pipe		
Length L =	12.52 m	
Pipe Diameter =	0.6 m	
Volume V =	3.54 m ³	
Underground Storage in Storm Pipes =	5.12 m³	(Storage provided is greater than storage required for 2-year storm)

Surface Storage Calculation				
Vol = frustum of pyramid	h =	Depth	m	
Vol = $h/3(A1 + A2 + (A1A2)^{0.5})$	A1 =	Bottom Contour Area	m ²	
Storage Vol = m ³	A2 =	Top Contour Area	m ²	

CBMH#1					
Elevation	Depth (m)	Contour Area A1 (sq.m)	Contour Area A2 (sq.m)	Storage Volume (cu.m)	
180.450	0.00	0.36	0.36	0.0	
180.550	0.10	0.36	47	1.7	
180.650	0.20	0.36	158	11.1	
180.700	0.25	0.36	180	15.7	
180.750	0.30	0.36	190	19.9	
RCB					
Elevation	Depth (m)	Contour Area A1 (sq.m)	Contour Area A2 (sq.m)	Storage Volume (cu.m)	
180.500	0.00	0.36	0.36	0.0	
180.550	0.05	0.36	3	0.1	
180.650	0.15	0.36	26	1.5	
180.700	0.20	0.36	47	3.4	
180.750	0.25	0.36	73	6.5	

Total Surface Storage (Including Storage in Underground Pipes)		
Elevation	Storage Volume (cu.m)	
178.690	0	
179.090	5.1	
180.450	5.1	
180.550	6.9	
180.650	17.6	
180.700	24.2	
180.750	31.5	

2 YR VOL= 4.5cu.m;	HWL - 179.043 m
5 YR VOL= 7.4 cu.m;	HWL - 180.555 m
100 YR VOL = 24.8 cu.m ;	HWL - 180.704 m

Total Storage Provided within the Site for SWM =	31.5 m³	(Storage provided is greater storage required for 100-year storm)
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APPENDIX C

LEGAL SURVEY

LEGEND

- MHH DENOTES HYDRO MANHOLE
- MHS DENOTES SEWER MANHOLE
- MHT DENOTES TELEPHONE MANHOLE
- MHTR DENOTES TRAFFIC MANHOLE
- MHW DENOTES WATER MANHOLE
- CB DENOTES CATCH BASIN
- DCB DENOTES DOUBLE CATCH BASIN
- LSc DENOTES LIGHT STANDARD CONCRETE
- LSt DENOTES LIGHT STANDARD STEEL
- LSw DENOTES LIGHT STANDARD WOOD
- UPc DENOTES UTILITY POLE CONCRETE
- UPs DENOTES UTILITY POLE STEEL
- UPw DENOTES UTILITY POLE WOOD
- GP DENOTES GUY POLE
- GW DENOTES GUY WIRE
- Bol DENOTES BOLLARD
- PM DENOTES PARKING METER
- 70c DENOTES TOP OF CURB
- 80c DENOTES BOTTOM OF CURB
- ◆ FH DENOTES FIRE HYDRANT
- ◆ WM DENOTES WATER METER
- ◆ WVS DENOTES WATER VALVE (Service)
- ◆ WVM DENOTES WATER VALVE (Main)
- ◆ GM DENOTES GAS METER
- ◆ GV DENOTES GAS VALVE
- HM DENOTES HYDRO METER
- PedT DENOTES TELEPHONE PEDESTAL
- PedCTV DENOTES CABLE TV PEDESTAL
- TRs DENOTES TRAFFIC SIGN
- TRsg DENOTES TRAFFIC SIGNAL
- TRsb DENOTES TRAFFIC SIGNAL BOX
- TH DENOTES TESTHOLE
- BM DENOTES BENCH MARK
- △ HCP DENOTES HORIZONTAL CONTROL POINT
- VCP DENOTES VERTICAL CONTROL POINT
- SHERUB DENOTES SHERUB
- SC DENOTES SEWER CLEANOUT
- INV DENOTES INVERT

DECIDUOUS AND CONIFEROUS TREES ARE DENOTED BY DT AND CT RESPECTIVELY. A PREFIX TO THE DESCRIPTION DESIGNATES THE NUMBER OF TREE TRUNKS WHEN TREES ARE CLUMPED TOGETHER AND A SUFFIX DENOTES THE TREE DIAMETER OR (NTS) NOT TO SCALE.

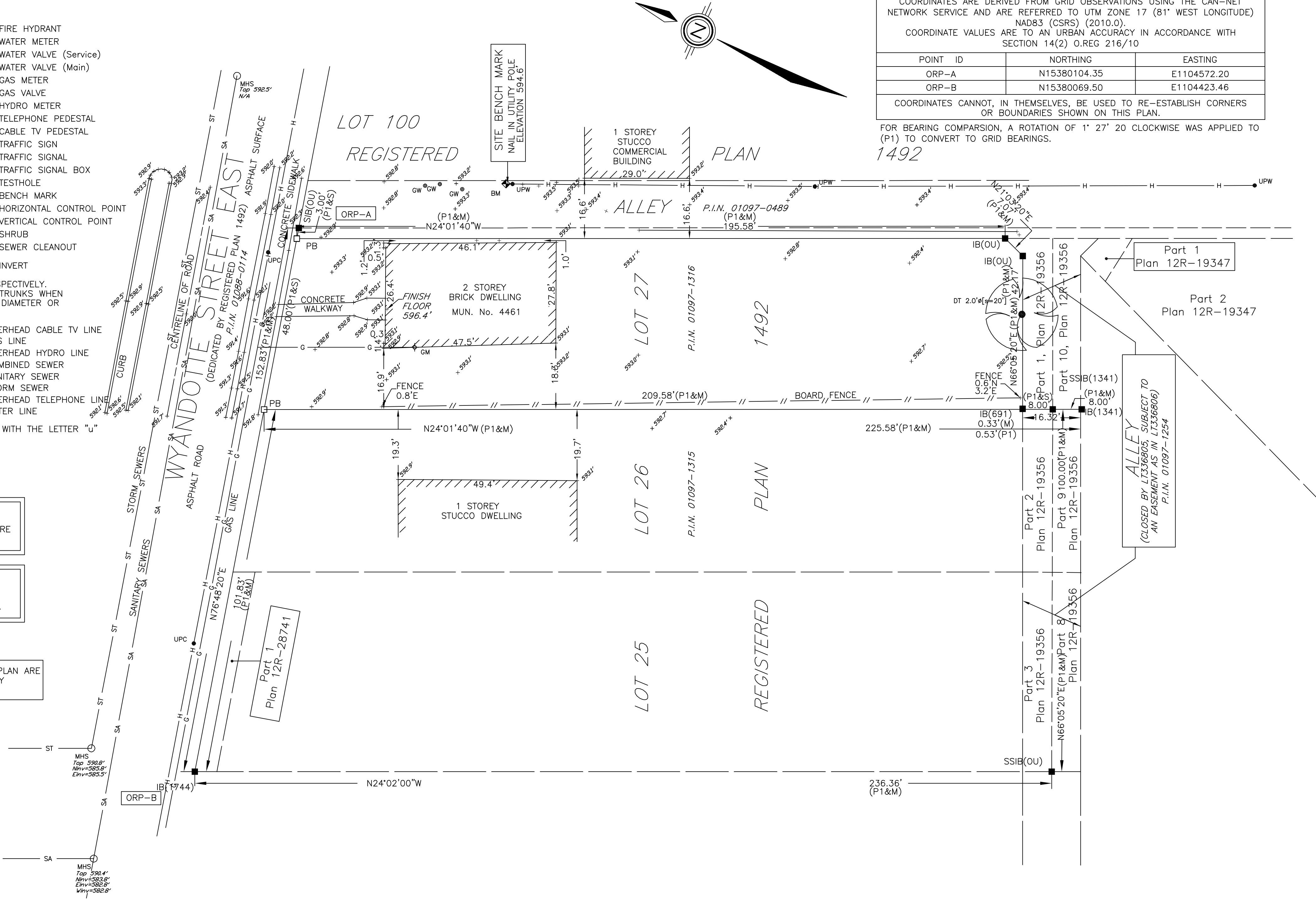
- C — C — C — DENOTES OVERHEAD CABLE TV LINE
- G — (pipe size) — G — DENOTES GAS LINE
- H — H — H — DENOTES OVERHEAD HYDRO LINE
- CS — (pipe size) — CS — DENOTES COMBINED SEWER
- SA — (pipe size) — SA — DENOTES SANITARY SEWER
- ST — (pipe size) — ST — DENOTES STORM SEWER
- T — T — T — DENOTES OVERHEAD TELEPHONE LINE
- W — (pipe size) — W — DENOTES WATER LINE

UNDERGROUND CABLE, HYDRO OR TELEPHONE LINES ARE PREFIXED WITH THE LETTER "U" (CABLE = uC HYDRO = uH TELEPHONE = uT)

CAUTION
UNDERGROUND UTILITIES AND SERVICES SHOWN ON THIS PLAN ARE APPROXIMATE AND MUST BE VERIFIED BEFORE CONSTRUCTION

INVERTS
INVERTS ARE DERIVED FROM CITY OF WINDSOR SEWER ATLAS (PLATE M3) AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.

"IMPERIAL" DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048



INTEGRATION DATA

COORDINATES ARE DERIVED FROM GRID OBSERVATIONS USING THE CAN-NET NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0). COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) O.REG 216/10

POINT ID	NORTHING	EASTING
ORP-A	N15380104.35	E1104572.20
ORP-B	N15380069.50	E1104423.46

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

FOR BEARING COMPARISON, A ROTATION OF 1° 27' 20" CLOCKWISE WAS APPLIED TO (P1) TO CONVERT TO GRID BEARINGS.

TOPOGRAPHIC SURVEY

OF LOT 27, REGISTERED PLAN 1492 IN THE CITY OF WINDSOR COUNTY OF ESSEX, ONTARIO

© VERHAEGEN LAND SURVEYORS – A DIVISION OF J. D. BARNES LIMITED.

SCALE : 1"=20'



LEGEND AND NOTES

BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS 'A' AND 'B' BY REAL TIME NETWORK OBSERVATIONS AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999905

ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SSIB DENOTES STANDARD IRON BAR
- IB DENOTES SHORT STANDARD IRON BAR
- IB(OU) DENOTES IRON BAR
- PB DENOTES PLASTIC BAR
- WIT DENOTES WITNESS
- M DENOTES MEASURED
- S DENOTES SET
- J DENOTES PERPENDICULAR
- D DENOTES DEED
- ORP DENOTES OBSERVED REFERENCE POINT
- (P) DENOTES REGISTERED PLAN 1492
- (P1) DENOTES PLAN 12R-19356
- (JOB) DENOTES J.D. BARNES LIMITED, O.L.S.
- (1744) DENOTES VERHAEGEN LAND SURVEYORS, O.L.S.
- (691) DENOTES HOWARD B. HEAD, O.L.S.
- (1341) DENOTES RICHARD W. MURRAY, O.L.S.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THIS SURVEY WAS COMPLETED ON THE 5th DAY OF JANUARY, 2024.

DATE FEBRUARY 2, 2024
ALEC S. MANTHA
ONTARIO LAND SURVEYOR

VERHAEGEN SURVEYING MAPPING GIS
LAND SURVEYORS
A DIVISION OF J.D. BARNES LTD.

944 OTTAWA STREET, WINDSOR, ON, N8X 2E1
T: (519) 258-1772 F: (519) 258-1791 www.jdbarnes.com

DRAWN BY: A.J.M.	CHECKED BY: K.H./A.M.	REFERENCE NO.: 23-47-687-00
FILE: 23-47-687-00.dwg	E-1492-2	CAD Date: January 11th, 2024 CAD File: 23-47-687-00.dwg

APPENDIX D

**SUPPLEMENTARY REPORTS AND
INFORMATION**

STORM SEWER DESIGN CALCULATIONS FOR 4461 WYANDOTTE, WINDSOR

Project No.	23196
Date:	3/28/2024
Design by	G.S.
Reviewed by	N.M.

$Q = 2.78 \text{ peak flow (l/s)}$
 $A = \text{Area in hectares (ha)}$
 $I = \text{Rainfall intensity (mm/hr)}$
 $R = \text{Runoff Co-efficient}$
 $T = \text{Time of Concentration in minutes}$

$I = a / (T+b)^c$
 $a = 1259$
 $b = 8.8$
 $c = 0.838$

Catchment ID	Location		AREAS (ha)	Composite Runoff Coefficient C=	CxA	Indiv. 2.78AR	Accum. 2.78AR	Time of Conc. (T)	Rainfall Intensity (I) (mm/hr)	Peak Flow Q(i) (L/s)	Proposed Sewer						Capacity Full (%)	Ground Elev	UpStream Inv	DnStream Inv	Cover to Top	Cover to springline	
	from	to									Length (m)	Pipe Size (mm)	Type of Pipe	Grade %	Capacity (L/s) n=0.013	Full Flow Velocity (m/s)							Time of Flow (min)
A1	RCB	CBMH#01	0.0299	0.59	0.018	0.05	0.05	15.00	88.40	4.34	50.3	200	PVC	0.60	25.41	0.81	1.037	17.06	180.500	179.090	178.790	1.2	1.3
A2	CBMH#01	MH#02	0.0596	0.74	0.044	0.12	0.17	16.04	85.30	14.64	12.52	600	HDPE	0.30	336.31	1.19	0.175	4.35	180.450	178.730	178.550	1.1	1.4
TEMPEST INLET CONTROL DEVICE (LMF) INSTALLED AT THE OUTLET OF MH #02 LIMITS FLOW TO 7 L/s																							
	MH#02	OUTLET				-	-			7.00	9.37	150	PVC	1.50	18.65	1.06	0.148	37.53	180.529	178.690	178.400	1.7	1.8

Volume III: TEMPEST INLET CONTROL DEVICES

Municipal Technical
Manual Series



SECOND EDITION

LMF (Low to Medium Flow) ICD

HF (High Flow) ICD

MHF (Medium to High Flow) ICD



IPEX
by aliaxis

IPEX Tempest™ Inlet Control Devices

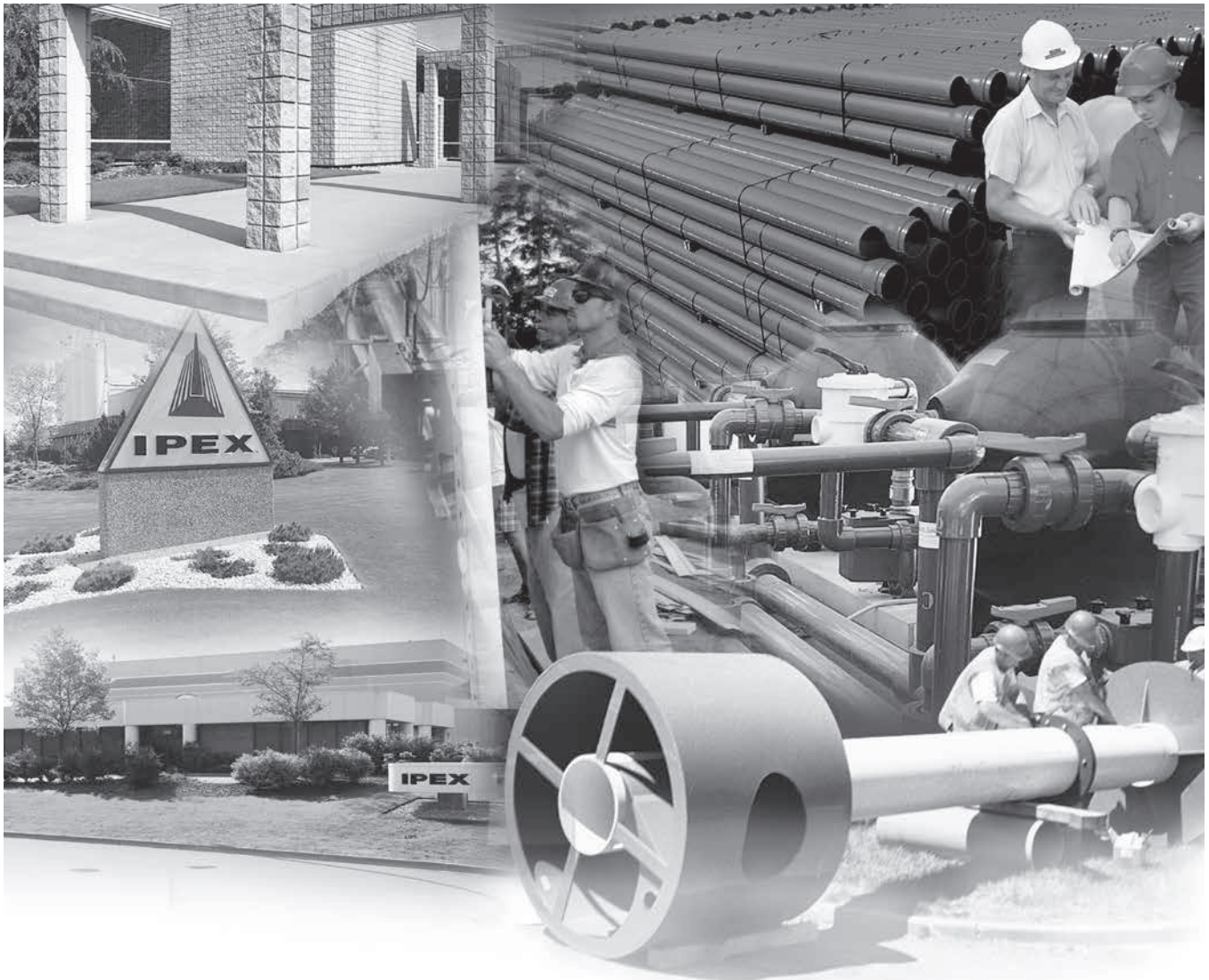
Municipal Technical Manual Series

Vol. I, 2nd Edition

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For information contact: IPEX, Marketing,
1425 North Service Road East, Oakville, Ontario, Canada, L6H 1A7

The information contained here within is based on current information and product design at the time of publication and is subject to change without notification. IPEX does not guarantee or warranty the accuracy, suitability for particular applications, or results to be obtained therefrom.



ABOUT IPEX

At IPEX, we have been manufacturing non-metallic pipe and fittings since 1951. We formulate our own compounds and maintain strict quality control during production. Our products are made available for customers thanks to a network of regional stocking locations throughout North America. We offer a wide variety of systems including complete lines of piping, fittings, valves and custom-fabricated items.

More importantly, we are committed to meeting our customers' needs. As a leader in the plastic piping industry, IPEX continually develops new products, modernizes manufacturing facilities and acquires innovative process technology. In addition, our staff take pride in their work, making available to customers their extensive thermoplastic knowledge and field experience. IPEX personnel are committed to improving the safety, reliability and performance of thermoplastic materials. We are involved in several standards committees and are members of and/or comply with the organizations listed on this page.

For specific details about any IPEX product, contact our customer service department.

CONTENTS

TEMPEST INLET CONTROL DEVICES Technical Manual

About IPEX

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PRODUCT INFORMATION: TEMPEST LOW, MEDIUM FLOW (LMF) ICD

Purpose

To control the amount of storm water runoff entering a sewer system by allowing a specified flow volume out of a catch basin or manhole at a specified head. This approach conserves pipe capacity so that catch basins downstream do not become uncontrollably surcharged, which can lead to basement floods, flash floods and combined sewer overflows.

Product Description

Our LMF ICD is designed to accommodate catch basins or manholes with sewer outlet pipes 6" in diameter and larger. Any storm sewer larger than 12" may require custom modification. However, IPEX can custom build a TEMPEST device to accommodate virtually any storm sewer size.

Available in 14 preset flow curves, the LMF ICD has the ability to provide flow rates: 2lps – 17lps (31gpm – 270gpm)

Product Function

The LMF ICD vortex flow action allows the LMF ICD to provide a narrower flow curve using a larger orifice than a conventional orifice plate ICD, making it less likely to clog. When comparing flows at the same head level, the LMF ICD has the ability to restrict more flow than a conventional ICD during a rain event, preserving greater sewer capacity.

Product Construction

Constructed from durable PVC, the LMF ICD is light weight 8.9 Kg (19.7 lbs).

Product Applications

Will accommodate both square and round applications:

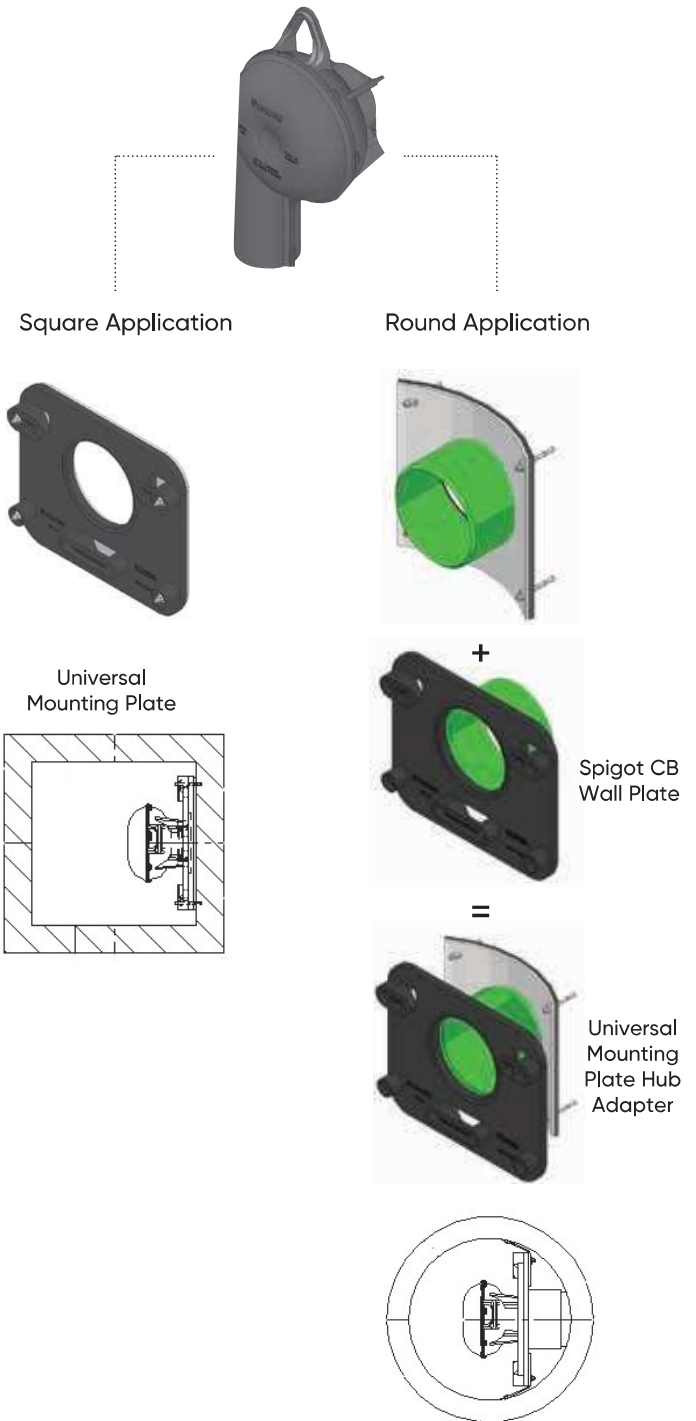


Chart 1: LMF 14 Preset Flow Curves

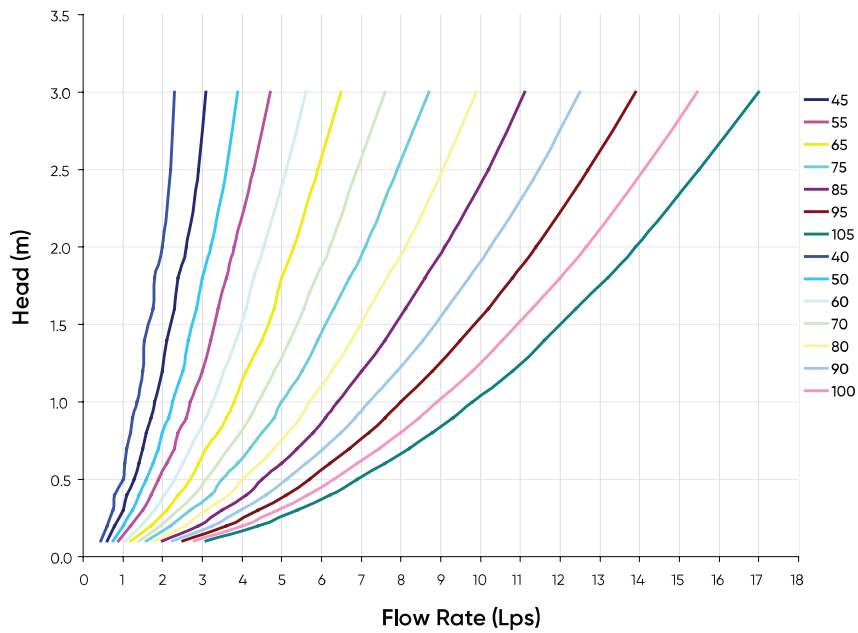
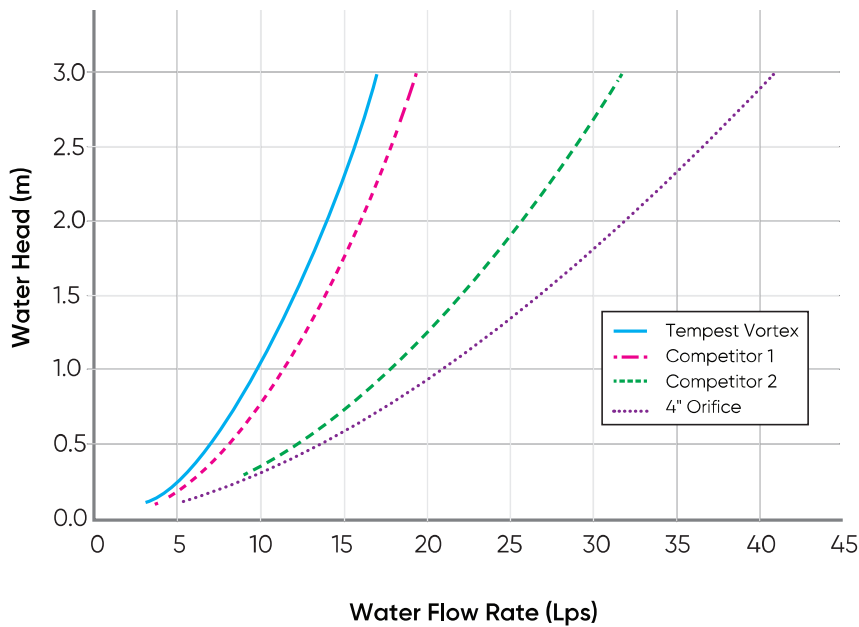


Chart 2: LMF Flow vs. ICD Alternatives



PRODUCT INSTALLATION

Instructions to assemble a TEMPEST LMF ICD into a Square Catch Basin:

STEPS:

1. Materials and tooling verification:
 - Tooling: impact drill, 3/8" concrete bit, torque wrench for 9/16" nut, hand hammer, level, and marker.
 - Material: (4) concrete anchor 3/8 x 3-1/2, (4) washers, (4) nuts, universal mounting plate, ICD device.
2. Use the mounting wall plate to locate and mark the hole (4) pattern on the catch basin wall. You should use a level to ensure that the plate is at the horizontal.
3. Use an impact drill with a 3/8" concrete bit to make the four holes at a minimum of 1-1/2" depth up to 2-1/2". Clean the concrete dust from the holes.
4. Install the anchors (4) in the holes by using a hammer. Thread the nuts on the top of the anchors to protect the threads when you hit the anchors with the hammer. Remove the nuts from the ends of the anchors.
5. Install the universal mounting plate on the anchors and screw the 4 nuts in place with a maximum torque of 40 N.m (30 lbf-ft). There should be no gap between the wall mounting plate and the catch basin wall.
6. From the ground above using a reach bar, lower the ICD device by hooking the end of the reach bar to the handle of the ICD device. Align the triangular plate portion into the mounting wall plate. Push down the device to be sure it has centered in to the universal mounting plate and has created a seal.

 **WARNING**

- Verify that the outlet pipe doesn't protrude into the catch basin. If it does, cut down the pipe flush to the catch basin wall.
- Call your IPEX representative for more information or if you have any questions about our products.

Instructions to assemble a TEMPEST LMF ICD into a Round Catch Basin:

STEPS:

1. Materials and tooling verification.
 - Tooling: impact drill, 3/8" concrete bit, torque wrench for 9/16" nut, hand hammer, level and marker.
 - Material: (4) concrete anchor 3/8 x 3-1/2, (4) washers and (4) nuts, spigot CB wall plate, universal mounting plate hub adapter, ICD device.
2. Use the spigot catch basin wall plate to locate and mark the hole (4) pattern on the catch basin wall. You should use a level to ensure that the plate is at the horizontal.
3. Use an impact drill with a 3/8" concrete bit to make the four holes at a depth between 1-1/2" to 2-1/2". Clean the concrete dust from the holes.
4. Install the anchors (4) in the holes by using a hammer. Thread the nuts on the top of the anchors to protect the threads when you hit the anchors with the hammer. Remove the nuts from the ends of the anchors.
5. Install the CB spigot wall plate on the anchors and screw the 4 nuts in place with a maximum torque of 40 N.m (30 lbf-ft). There should be no gap between the spigot wall plate and the catch basin wall.
6. Apply solvent cement on the hub of the universal mounting plate, hub adapter and the spigot of the CB wall plate, then slide the hub over the spigot. Make sure the universal mounting plate is at the horizontal and its hub is completely inserted onto the spigot. Normally, the corners of the universal mounting plate hub adapter should touch the catch basin wall.
7. From ground above using a reach bar, lower the ICD device by hooking the end of the reach bar to the handle of the ICD device. Align the triangular plate portion into the mounting wall plate. Push down the device to be sure it has centered in to the mounting plate and has created a seal.

 **WARNING**

- Verify that the outlet pipe doesn't protrude into the catch basin. If it does, cut back the pipe flush to the catch basin wall.
- The solvent cement which is used in this installation is to be approved for PVC.
- The solvent cement should not be used below 0°C (32°F) or in a high humidity environment. Refer to the IPEX solvent cement guide to confirm the required curing time or visit the IPEX Online Solvent Cement Training Course available at ipexna.com.
- Call your IPEX representative for more information or if you have any questions about our products.

PRODUCT TECHNICAL SPECIFICATION

General

Inlet control devices (ICD's) are designed to provide flow control at a specified rate for a given water head level and also provide odour and floatable control. All ICD's will be IPEX Tempest or approved equal.

All devices shall be removable from a universal mounting plate. An operator from street level using only a T-bar with a hook will be able to retrieve the device while leaving the universal mounting plate secured to the catch basin wall face. The removal of the TEMPEST devices listed above must not require any unbolting or special manipulation or any special tools.

High Flow (HF) Sump devices will consist of a removable threaded cap which can be accessible from street level with out entry into the catchbasin (CB). The removal of the threaded cap shall not require any special tools other than the operator's hand.

ICD's shall have no moving parts.

Materials

ICD's are to be manufactured from Polyvinyl Chloride (PVC) or Polyurethane material, designed to be durable enough to withstand multiple freeze-thaw cycles and exposure to harsh elements.

The inner ring seal will be manufactured using a Buna or Nitrile material with hardness between Duro 50 and Duro 70.

The wall seal is to be comprised of a 3/8" thick Neoprene Closed Cell Sponge gasket which is attached to the back of the wall plate.

All hardware will be made from 304 stainless steel.

Dimensioning

The Low Medium Flow (LMF), High Flow (HF) and the High Flow (HF) Sump shall allow for a minimum outlet pipe diameter of 200mm with a 600mm deep Catch Basin sump.

Installation

Contractor shall be responsible for securing, supporting and connecting the ICD's to the existing influent pipe and catchbasin/manhole structure as specified and designed by the Engineer.

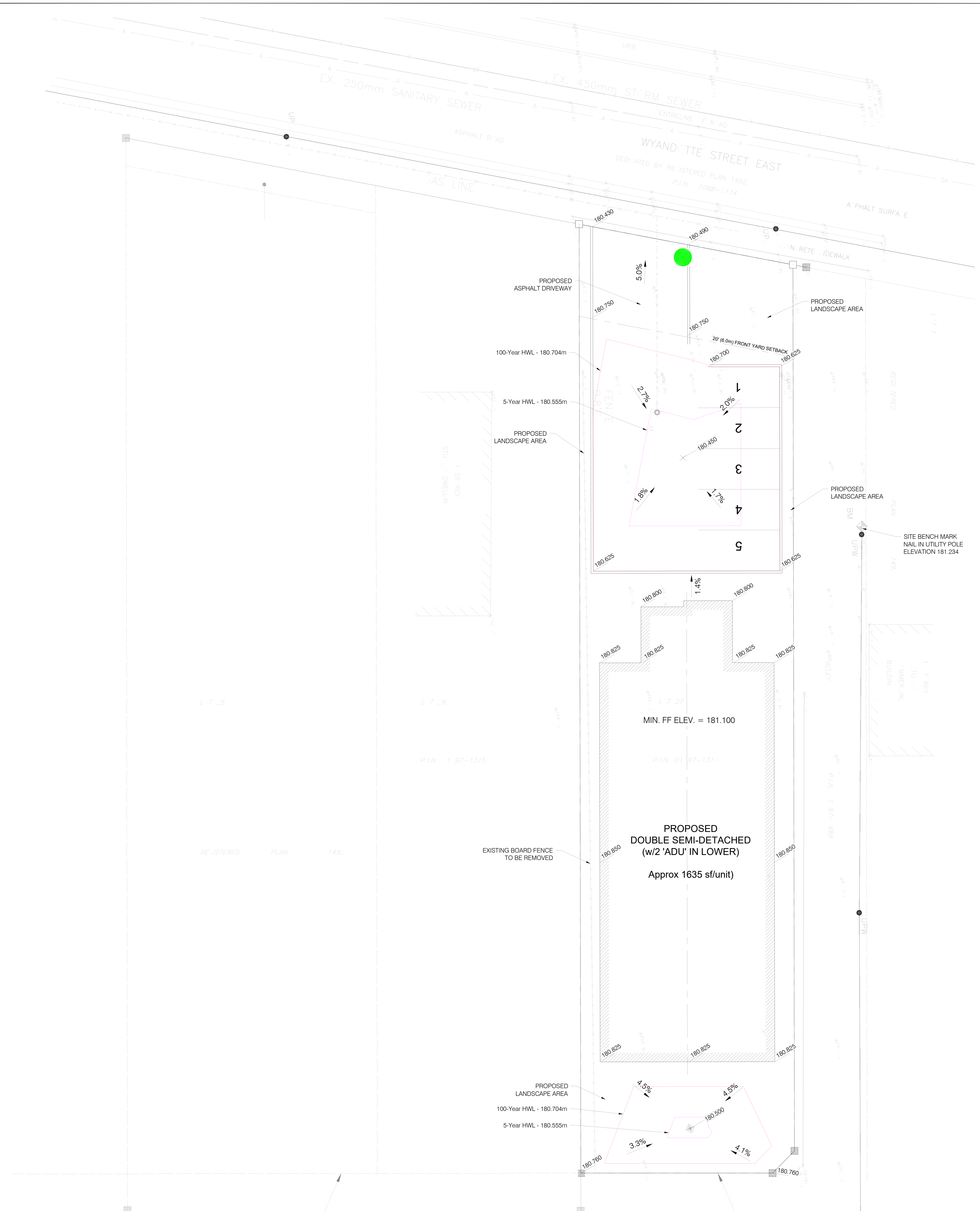
APPENDIX E

CIVIL DRAWINGS

461 WYANDOTTE ST E, WINDSOR, ON

INDEX	
No.	SHEET DESCRIPTION
01	GRADING PLAN
02	SERVICING PLAN
03	STORM DRAINAGE AREA PLAN
04	DETAILS

BENCHMARK
NAIL IN UTILITY POLE (EAST OF SUBJECT PROPERTY) - 181.234m



SCALE = N.T.S.

LEGEND:

	EX. ELEVATION
	PROP. ELEVATION
	PROP. TOP OF CB/CBMH
	PROP. STORM SEWER
	PROP. STORM MANHOLE
	PROP. CATCH BASIN MANHOLE
	PROP. REAR YARD CB
	PROP. STORM CATCHMENT AREA
	EX. WATER SERVICE
	EX. SANITARY SERVICE
	EX. STORM SEWER
	EX. SANITARY SEWER
	4.8% PROP. SLOPE ELEVATION
	EX. FIRE HYDRANT
	EX. GAS LINE
	EX. OVERHEAD LINE
	PROPOSED PROPERTY LINE
	5 - Year HWL - 180.550 m
	100 - Year HWL - 180.704m

REVISIONS

No.	DATE	DESCRIPTION
01	MAR 28, 2024	ISSUED FOR SPA

STAMP:

ENGINEER:
N.A.J.M. ENGINEERING LTD.
 9 LUTHER DRIVE, UNIT 4
 WILLOWDALE, ON M9L 1P3 | +1 519 317-1715

PROJECT:
 4461 WYANDOTTE ST E

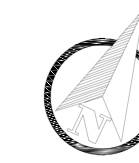
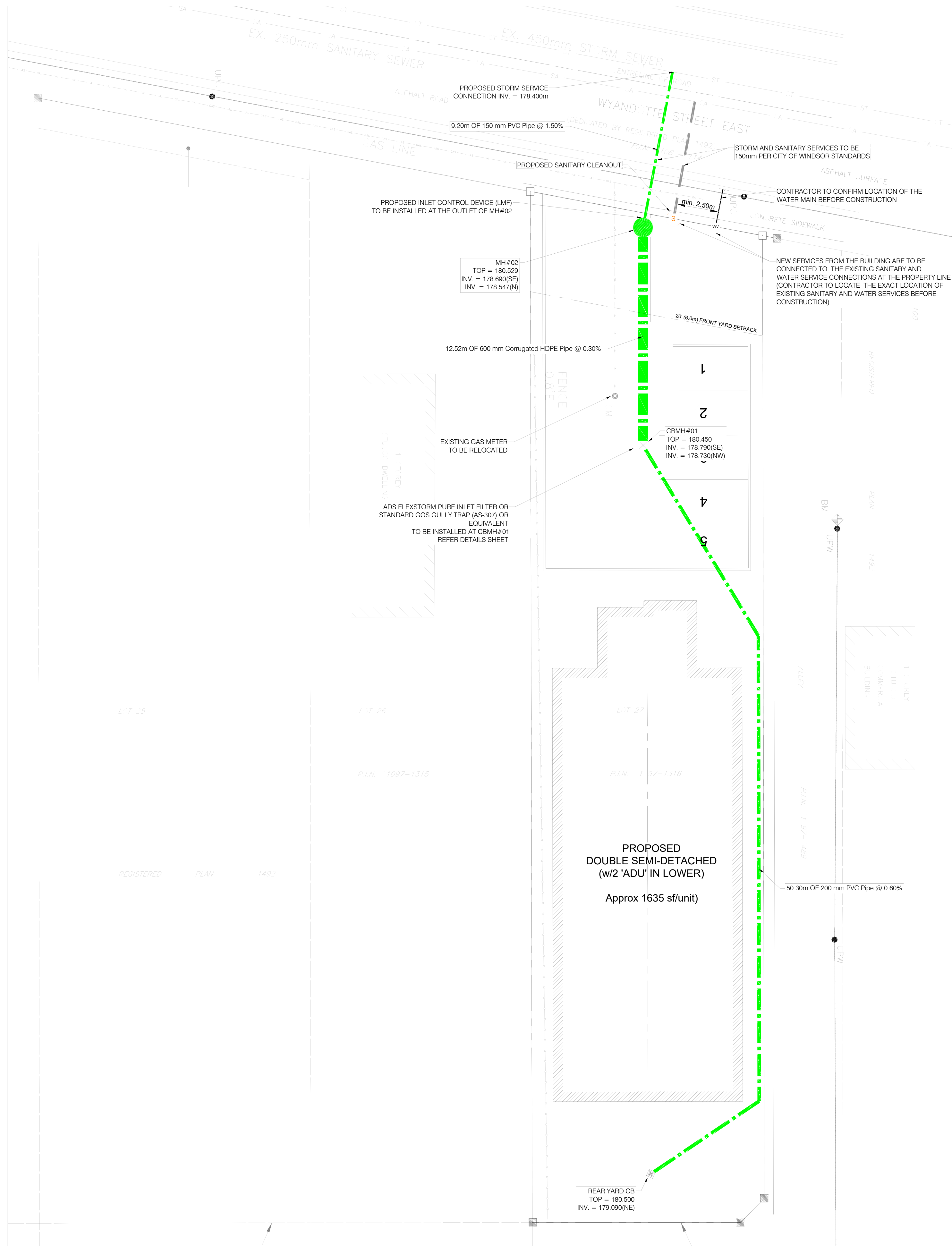
CLIENT:

SHEET TITLE:
GRADING PLAN

ADDRESS: 4461 WYANDOTTE ST E, WINDSOR, ON

DRAWN BY:	G.S.	SCALE:	1:150
DESIGNED BY:	G.S.	DATE:	MAR-28-2024
CHECKED BY:	N.M.	JOB #:	23196
APPROVED BY:	N.M.	DRAWING #:	01

DISCLAIMER:
 1. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE ACCURACY OF THE SURVEY AND UTILITIES IN THE SITE AND MUST INFORM NAJIM ENGINEERING LTD IN THE EVENT OF ANY DISCREPANCY.
 2. THE DRAWING IS NOT TO BE SCALED.
 3. CONTRACTOR IS RESPONSIBLE TO PERFORM ALL CONSTRUCTION PER APPROPRIATE STANDARDS OF THE CITY OF WINDSOR/ OPSD.



SERVICING NOTES:

- IF THE EXISTING SERVICES ARE IN BAD CONDITION, NEW SERVICES ARE TO BE INSTALLED PER CITY OF WINDSOR STANDARDS.

KEY PLAN:



SCALE= N.T.S

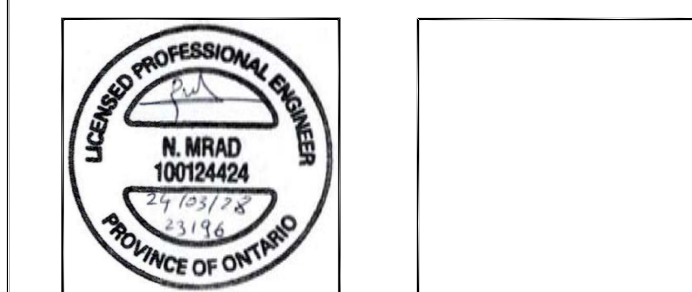
LEGEND:

- EX. ELEVATION
- PROP. ELEVATION
- PROP. TOP OF CB/CBMH
- PROP. STORM SEWER
- PROP. STORM MANHOLE
- PROP. CATCH BASIN MANHOLE
- PROP. REAR YARD CB
- PROP. STORM CATCHMENT AREA
- EX. WATER SERVICE
- EX. SANITARY SERVICE
- EX. STORM SEWER
- EX. SANITARY SEWER
- PROP. SLOPE ELEVATION
- EX. FIRE HYDRANT
- EX. GAS LINE
- EX. OVERHEAD LINE
- PROPOSED PROPERTY LINE
- 5 - Year HWL - 180.550 m
- 100 - Year HWL - 180.704m

REVISIONS

No.	DATE	DESCRIPTION
01	MAR 28, 2024	ISSUED FOR SPA

STAMP:



ENGINEER:

N.A.J.M. ENGINEERING LTD.
 9 LUTER DRIVE, UNIT 4
 WILLOWDALE, ON M9L 1P3 | +1 519 317-1715

PROJECT:

4461 WYANDOTTE ST E

CLIENT:

SHEET TITLE:

SERVICING PLAN

ADDRESS: 4461 WYANDOTTE ST E, WINDSOR, ON

DRAWN BY: G.S. SCALE: 1:150

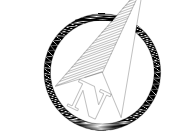
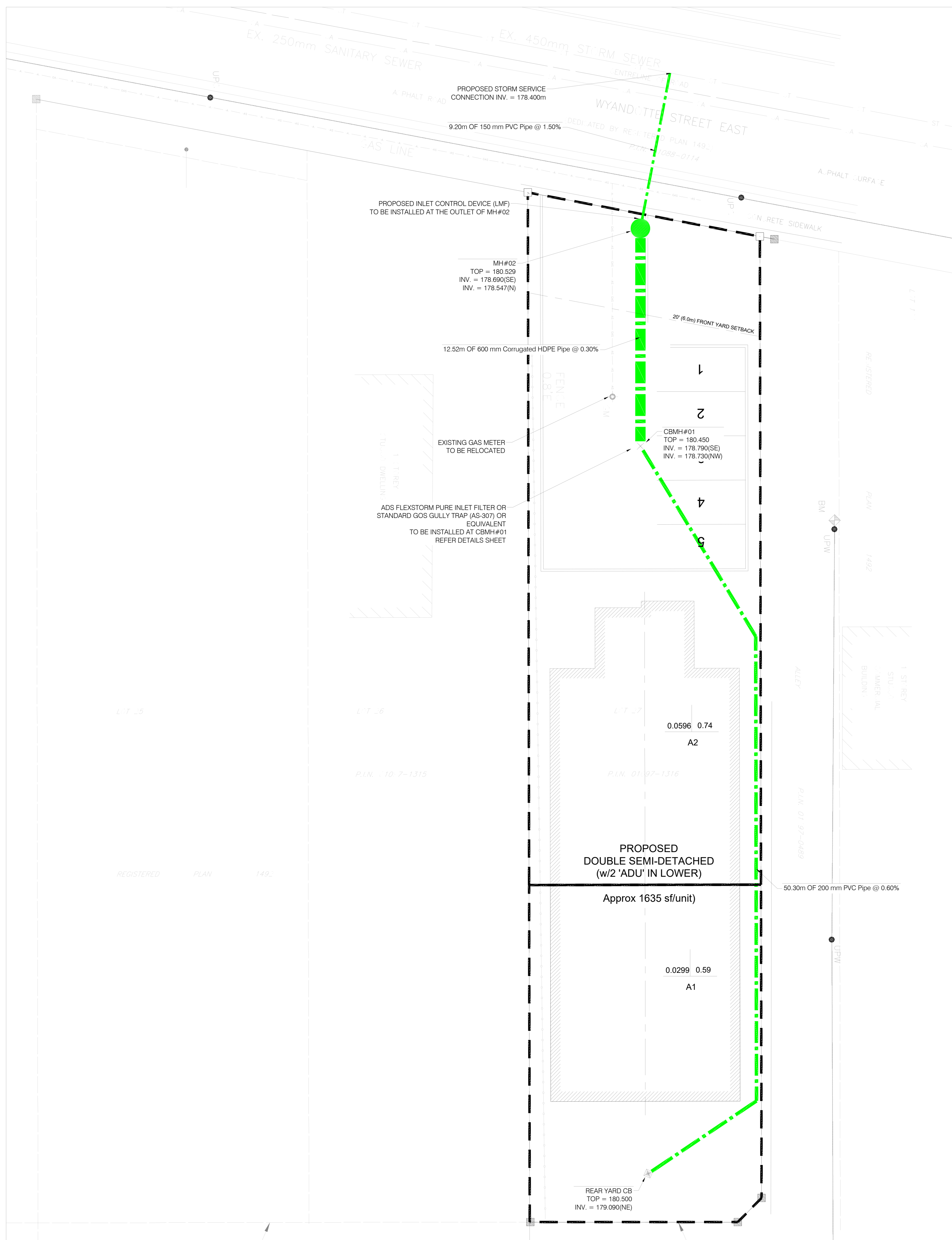
DESIGNED BY: G.S. DATE: MAR-28-2024

CHECKED BY: N.M. JOB #: 23196

APPROVED BY: N.M. DRAWING #: 02

DISCLAIMER:

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KEY PLAN:

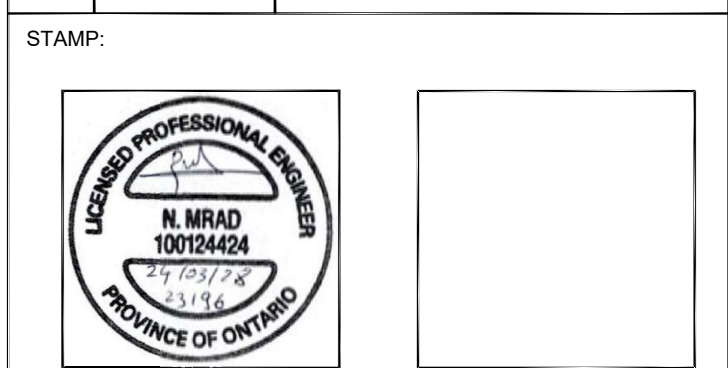
SCALE = N.T.S.

LEGEND:

- 176.28 EX. ELEVATION
- 176.176 PROP. ELEVATION
- 176.176 PROP. TOP OF CB/CBMH
- PROP. STORM SEWER
- PROP. STORM MANHOLE
- PROP. CATCH BASIN MANHOLE
- PROP. REAR YARD CB
- PROP. STORM CATCHMENT AREA
- EX. WATER SERVICE
- EX. SANITARY SERVICE
- EX. STORM SEWER
- EX. SANITARY SEWER
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- PROPOSED PROPERTY LINE
- 5 - Year HWL - 180.550 m
- 100 - Year HWL - 180.704m

REVISIONS

No.	DATE	DESCRIPTION
01	MAR 28, 2024	ISSUED FOR SPA



ENGINEER:
N.A.J.M. ENGINEERING LTD.
 9 LUTER DRIVE, UNIT 4
 WILLOWDALE, ON M9L 1P3 | +1 519 317-1755

PROJECT:
4461 WYANDOTTE ST E

CLIENT:

SHEET TITLE:
STORM DRAINAGE AREA PLAN

ADDRESS: 4461 WYANDOTTE ST E, WINDSOR, ON

DRAWN BY: G.S. SCALE: 1:150

DESIGNED BY: G.S. DATE: MAR-28-2024

CHECKED BY: N.M. JOB #: 23196

APPROVED BY: N.M. DRAWING #: 03

N.A.J.M Engineering Ltd

STORM SEWER DESIGN CALCULATIONS FOR 4461 WYANDOTTE, WINDSOR

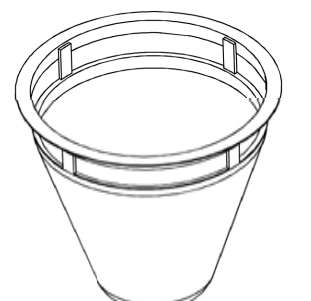
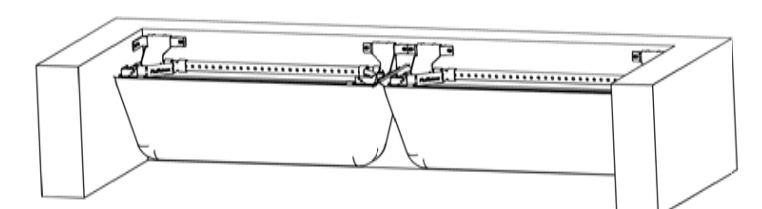
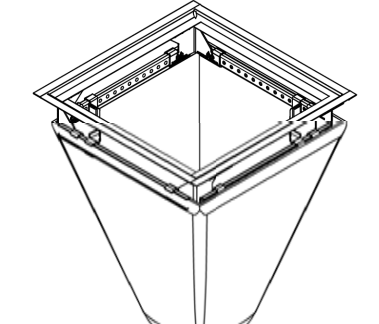
Q = 2.78 peak flow (l/s) I = a/(T+b)^c
 A = Area in hectares (ha) a = 1259
 I = Rainfall intensity (mm/hr) b = 8.8
 R = Runoff Co-efficient c = 0.838
 T = Time of Concentration in minutes

Catchment ID	Location		AREAS (ha)	Composite Runoff Coefficient C _s	CxA	Indiv. 2.78AR	Accum. 2.78AR	Time of Conc. (T)	Rainfall Intensity (I) (mm/hr)	Peak Flow Q(I) (L/s)	Proposed Sewer																
	from	to									Length (m)	Pipe Size (mm)	Type of Pipe	Grade %	Capacity (L/s) n=0.013	Full Flow Velocity (m/s)	Time of Flow (min)	Capacity Full (%)	Ground Elev	UpStream Inv	DnStream Inv	Cover to Top	Cover to springline				
A1	RCB	CBMH#01	0.0299	0.59	0.018	0.05	0.05	15.00	88.40	4.34	50.3	200	PVC	0.60	25.41	0.81	1.037	17.06	180.500	179.090	178.790	1.2	1.3				
A2	CBMH#01	MH#02	0.0596	0.74	0.044	0.12	0.17	16.04	85.30	14.64	12.52	600	HDPE	0.30	336.31	1.19	0.175	4.35	180.450	178.730	178.550	1.1	1.4				
TEMPST INLET CONTROL DEVICE (LMF) INSTALLED AT THE OUTLET OF MH#02 LIMITS FLOW TO 7 L/s																											
	MH#02	OUTLET				-	-			7.00	9.37	150	PVC	1.50	18.65	1.06	0.148	37.53	180.529	178.690	178.400	1.7	1.8				

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- THE DRAWING IS NOT TO BE SCALED.
- CONTRACTOR IS RESPONSIBLE TO PERFORM ALL CONSTRUCTION PER APPROPRIATE STANDARDS OF THE CITY OF WINDSOR/ OPSD.

ADS FLEXSTORM PURE INLET FILTERS

ROUND INLET FILTER		
Clear Opening Size	Style P/N	Minimum Bypass Flow Rate (CFS)
Small: 10" - 16" Dia.	62SHDR	1.6
Medium: 17" - 24" Dia.	62MHDR	2.7
Large: 25" - 36" Dia.	62LHDR	3.8

CUBIC OPEN THROAT INLET FILTER		
Basin Width Size	Style P/N	Minimum Bypass Flow Rate (CFS)
Up to 4" Width (1 Piece Set)	62HDM1	2.4
4" - 8" Width (2 Piece Set)	62HDM2	3.5
8" - 12" Width (3 Piece Set)	62HDM3	5.0
12" - 16" Width (4 Piece Set)	62LDM4	7.2

SQUARE/RECTANGULAR INLET FILTER		
Clear Opening Size	Style P/N	Minimum Bypass Flow Rate (CFS)
Small: Up to 64" Perimeter	62SHD	2.4
Medium: 65" - 96" Perimeter	62MHD	3.5
Large: 97" - 120" Perimeter	62LHD	5.0
Extra-Large: 121" or Greater Perimeter	62XLHD	7.2

SPECIFICATIONS BY NOMINAL SIZE RANGE (MIN. VALUES)			
Nominal Bag Size	Solids Storage (Cuft)	Flow Rate (CFS)*	Oil Retention (Qt)**
Small	1.6	1.2	0.8
Medium	2.1	1.7	1.2
Large	3.8	2.7	1.8
Extra Large	4.2	3.6	2.4

INSTALLATION INSTRUCTIONS:

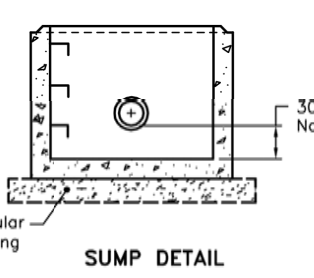
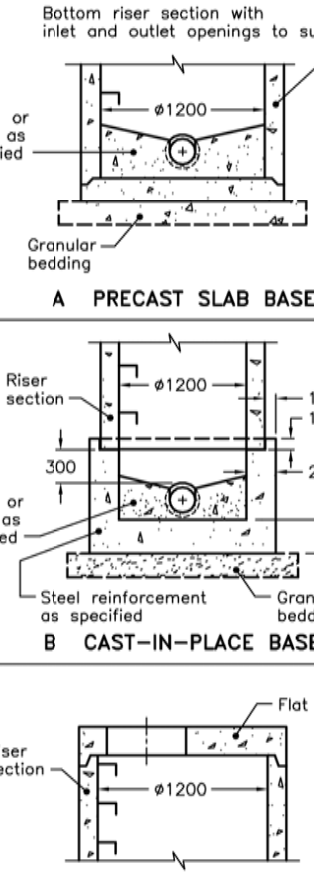
- REMOVE GRATE
- CLEAN GRATE LEDGE
- SET INLET FILTER ON LOAD BEARING LEDGE OF STRUCTURE
- REPLACE GRATE

NOTES:

- ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL.
- TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZE DRAINAGE STRUCTURE. ADS DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE.
- UPON ORDERING, CONFIRMATION OF THE INLET SPECIFICATION, PRECAST/FOUNDRY CASTING MAKE OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE AN INLET FILTER.
- ALL FILTERS MEET ASTM D8057 SPECIFICATIONS.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.ADSPIPE.COM.

ALL PRODUCTS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS
WWW.ADSPIPE.COM
PH. 1-800-821-6710

PRECAST CONCRETE MAINTENANCE HOLE 1200mm DIAMETER

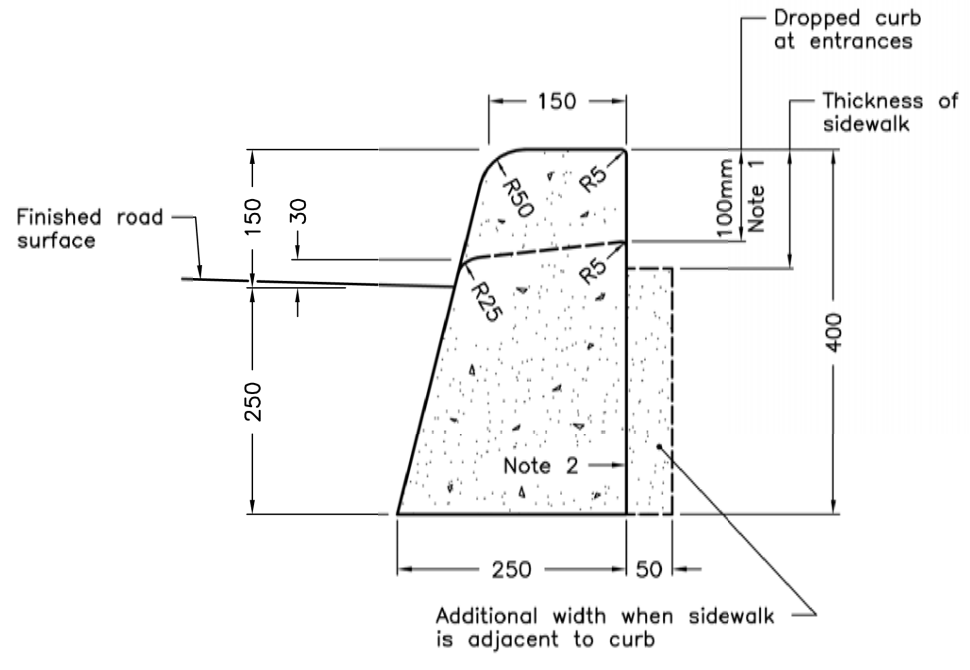



NOTES:

- The sump is measured from the lowest invert.
- Granular backfill shall be placed to a minimum thickness of 300mm all around the maintenance hole.
- Precast concrete components shall be according to OPSD 701.030, 701.031, or 701.032.
- Structure exceeding 5.0m in depth shall include safety platform according to OPSD 404.020.
- Pipe support according to OPSD 708.020.
- For benching and pipe opening details, see OPSD 701.021.
- For adjustment unit and frame installation, see OPSD 704.010.
- All dimensions are in millimetres unless otherwise shown.
- H All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING
Nov 2014 Rev 5
OPSD 701.010

CONCRETE BARRIER CURB




NOTES:

- When sidewalk is continuously adjacent, the dropped curb at entrances shall be reduced to 75mm.
- For slipforming procedure a 5% batter is acceptable.

A Treatment at entrances shall be according to OPSD 351.010.
B Outlet treatment shall be according to the OPSD 610 Series.
C The transition from one curb type to another shall be a minimum length of 3.0m, except in conjunction with guide rail where it shall be according to the OPSD 900 Series.
D All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING
Nov 2012 Rev 2
OPSD 600.110

KEY PLAN:



SCALE= N.T.S.

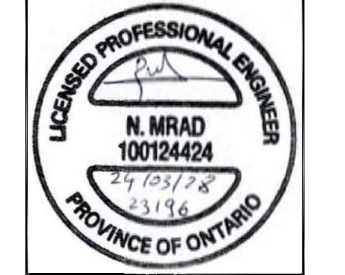
LEGEND:

- EX. ELEVATION
- PROP. ELEVATION
- PROP. TOP OF CB/CBMH
- PROP. STORM SEWER
- PROP. STORM MANHOLE
- PROP. CATCH BASIN MANHOLE
- PROP. REAR YARD CB
- PROP. STORM CATCHMENT AREA
- EX. WATER SERVICE
- EX. SANITARY SERVICE
- EX. STORM SEWER
- EX. SANITARY SEWER
- PROP. SLOPE ELEVATION
- EX. FIRE HYDRANT
- EX. GAS LINE
- EX. OVERHEAD LINE
- PROPOSED PROPERTY LINE
- 5 - Year HWL - 180.550 m
- 100 - Year HWL - 180.704m

REVISIONS

No.	DATE	DESCRIPTION
01	MAR 28, 2024	ISSUED FOR SPA

STAMP:



ENGINEER:
N.A.J.M. ENGINEERING LTD.
9 LUTER DRIVE, UNIT 4
LD A/TLE, FN N9S 1J3 +1-519-321-1715

PROJECT:
4461 WYANDOTTE ST E

CLIENT:

SHEET TITLE:
DETAILS

ADDRESS: 4461 WYANDOTTE ST E, WINDSOR, ON

DRAWN BY: G.S. SCALE:

DESIGNED BY: G.S. DATE: MAR-28-2024

CHECKED BY: N.M. JOB #: 23196

APPROVED BY: N.M. DRAWING #: 04

PRODUCT INFORMATION: TEMPEST LOW, MEDIUM FLOW (LMF) ICD

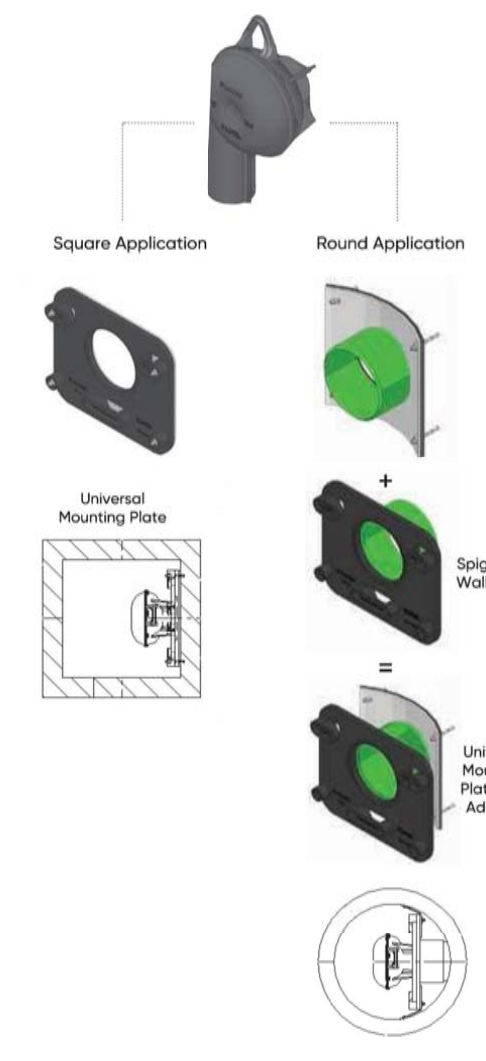
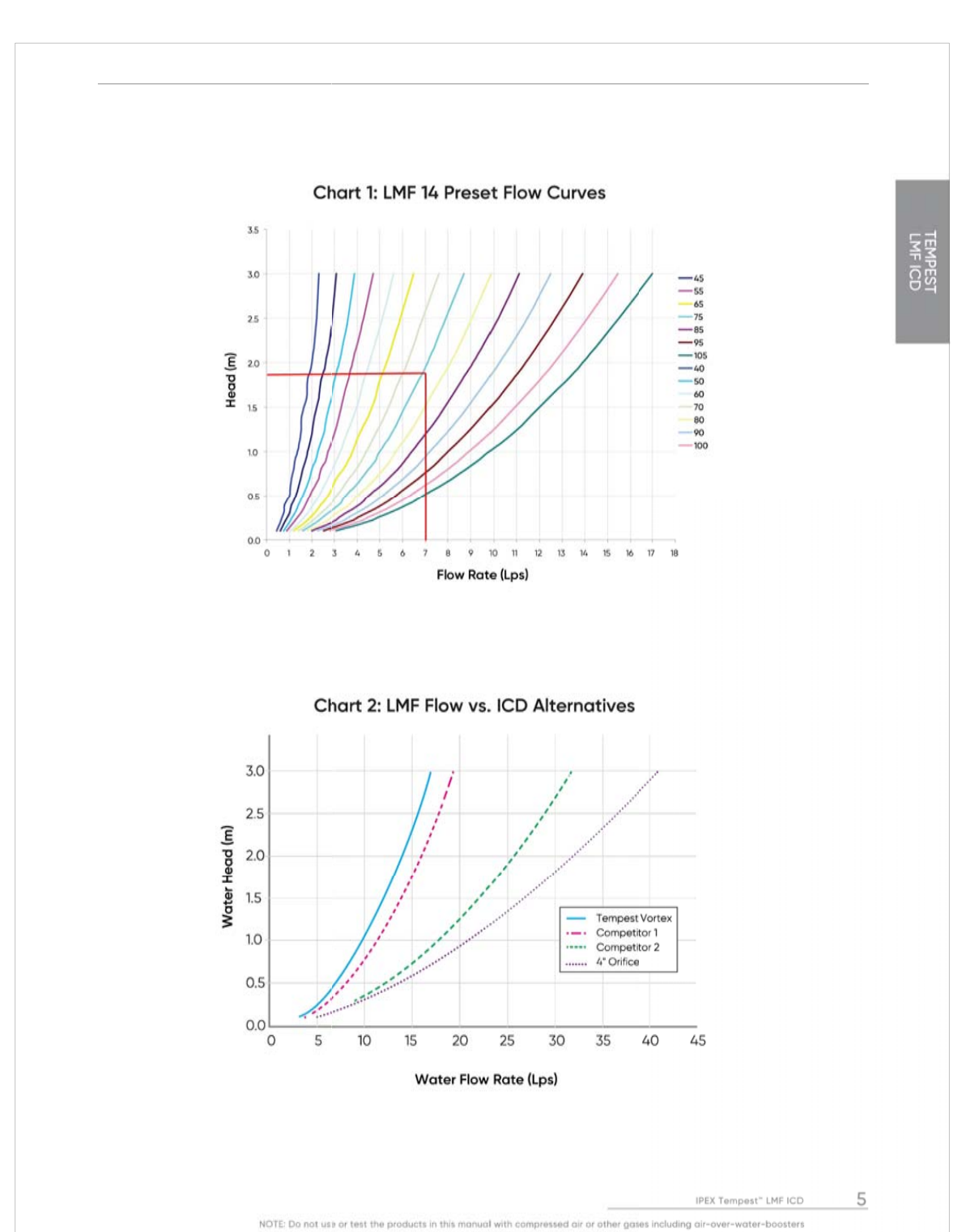
Purpose
To control the amount of storm water runoff entering a sewer system by allowing a specified flow volume out of a catch basin or manhole at a specified head. This approach conserves pipe capacity so that catch basins downstream do not become uncontrollably surcharged, which can lead to basement floods, roof floods and combined sewer overflows.

Product Description
Our LMF ICD is designed to accommodate catch basins or manholes with sewer outlet pipes of a diameter and larger. Any storm sewer larger than 12" may require custom modification. However, IPEX can custom build a TEMPEST device to accommodate virtually any storm sewer size. Available in 14 preset flow curves, the LMF ICD has the ability to provide flow rates 2lps - 17lps (13gpm - 270gpm).

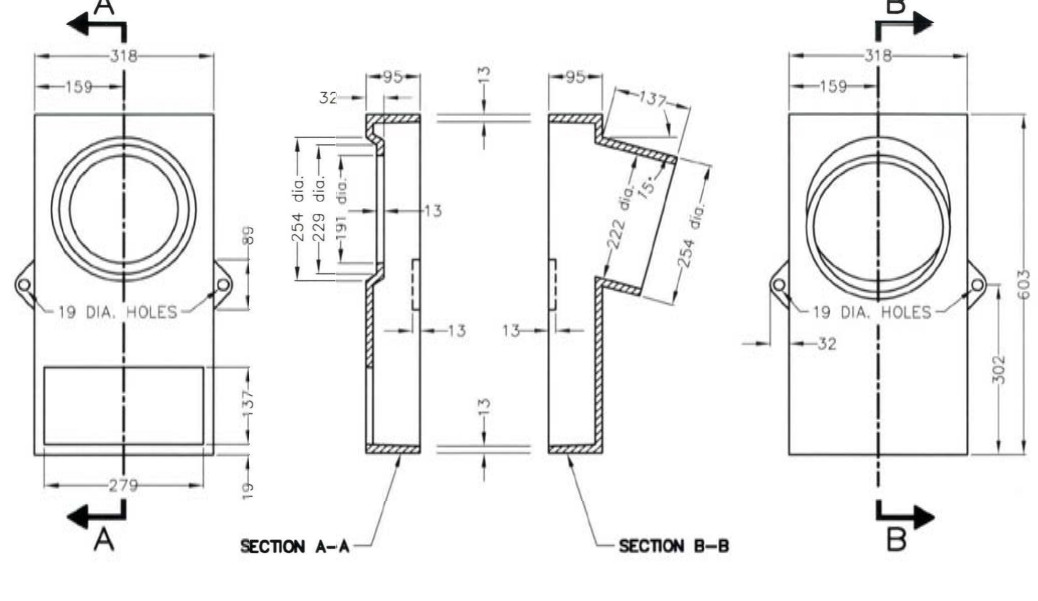
Product Function
The LMF ICD series flow action allows the LMF ICD to provide a narrower flow curve using a larger orifice than a conventional orifice plate ICD, making it less likely to clog. When comparing flows at the same head level, the LMF ICD has the ability to restrict more flow than a conventional ICD during a rain event, preserving greater sewer capacity.

Product Construction
Constructed from durable PVC, the LMF ICD is light weight (8.9 Kg/19.7 lbs).

Product Applications
Will accommodate both square and round applications.

STANDARD GOSS GULLY TRAP



NOTES:

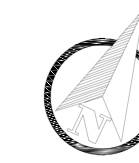
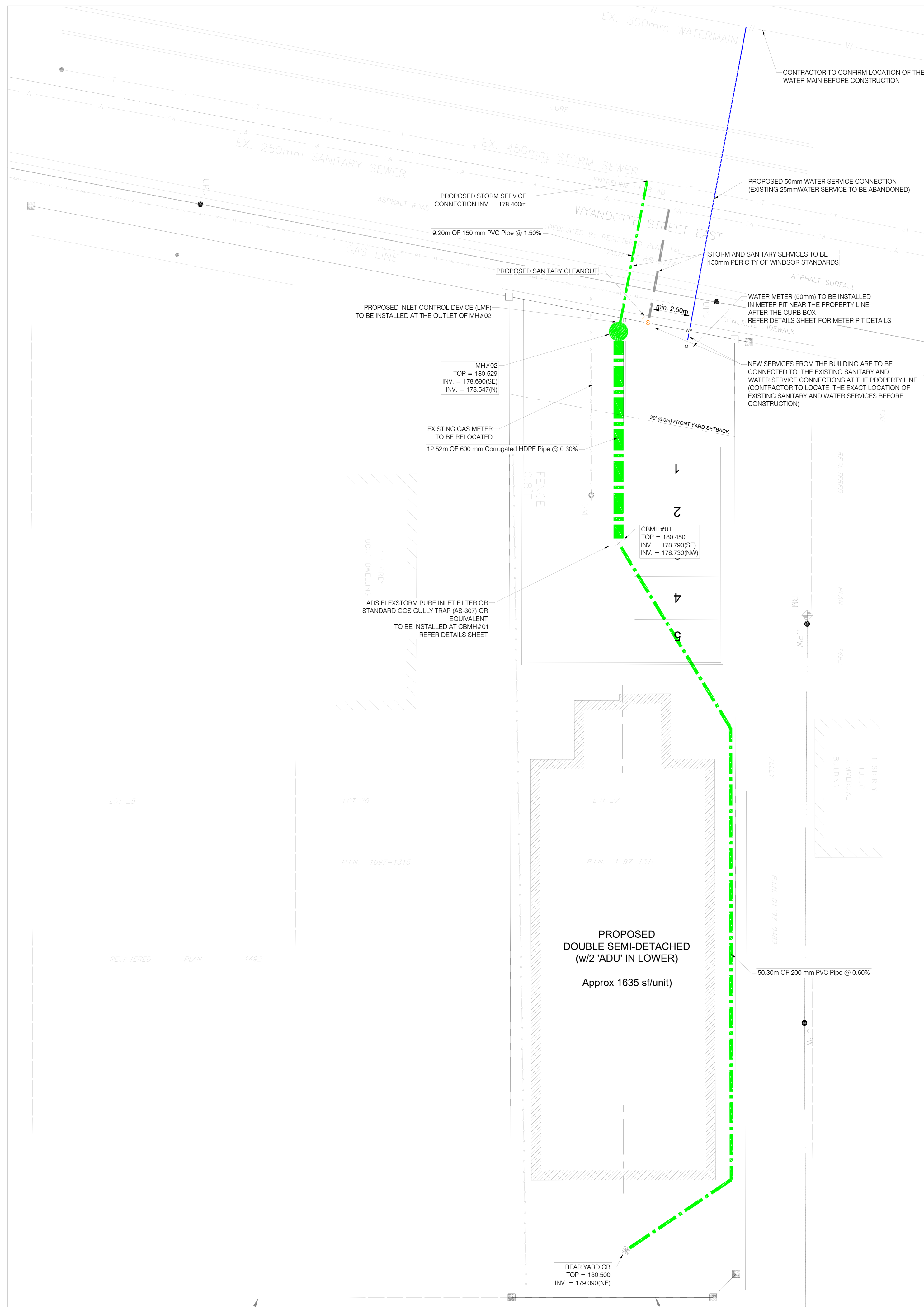
- GOSS GULLY TRAP MAY BE MANUFACTURED IN CAST IRON OR PLASTIC.
- GOSS GULLY TRAP TO BE IN ALL CATCH BASIN INSTALLS WHERE OUTLET IS TO A COMBINED SEWER.
- ALL DIMENSIONS ARE NOMINAL.
- ALL DIMENSIONS IN MILLIMETERS.

CITY OF WINDSOR
ENGINEERING DEPARTMENT

STANDARD GOSS GULLY TRAP

DRN BY: M.F. DATE: AUGUST, 2014
REVISION: CHKD BY: A.L.
CHKD BY: P.J.U. PASSED BY:

N.A.J.M. ENGINEERING
AS-307



SERVICING NOTES:
 1. IF THE EXISTING SERVICES ARE IN BAD CONDITION, NEW SERVICES ARE TO BE INSTALLED PER CITY OF WINDSOR STANDARDS.



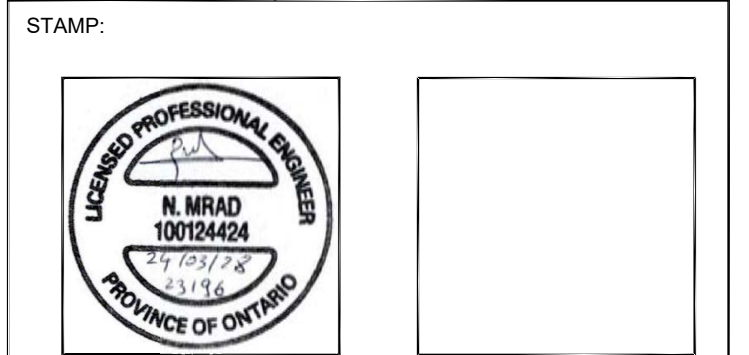
SCALE = N.T.S.

LEGEND:

	EX. ELEVATION
	PROP. ELEVATION
	PROP. TOP OF CB/CBMH
	PROP. STORM SEWER
	PROP. STORM MANHOLE
	PROP. CATCH BASIN MANHOLE
	PROP. REAR YARD CB
	PROP. STORM CATCHMENT AREA
	PROP. WATER SERVICE
	EX. SANITARY SERVICE
	EX. STORM SEWER
	EX. SANITARY SEWER
	EX. WATERMAIN
	PROP. SLOPE ELEVATION
	EX. FIRE HYDRANT
	EX. GAS LINE
	EX. OVERHEAD LINE
	PROPOSED PROPERTY LINE
	5 - Year HWL - 180.550 m
	100 - Year HWL - 180.704m

REVISIONS

No.	DATE	DESCRIPTION
01	MAR 28, 2024	ISSUED FOR SPA



ENGINEER:
 N.A.J.M. ENGINEERING LTD.
 9 LUTER DRIVE, UNIT 4
 WILLOWDALE, ON M9L 1P3 | +1 519 337-1715

PROJECT:
 4461 WYANDOTTE ST E

CLIENT:

SHEET TITLE:
SERVICING PLAN

ADDRESS:	4461 WYANDOTTE ST E, WINDSOR, ON		
DRAWN BY:	G.S.	SCALE:	1:150
DESIGNED BY:	G.S.	DATE:	MAR-28-2024
CHECKED BY:	N.M.	JOB #:	23196
APPROVED BY:	N.M.	DRAWING #:	02

DISCLAIMER:
 1. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE ACCURACY OF THE SURVEY AND UTILITIES IN THE SITE AND MUST INFORM NAJUM ENGINEERING LTD IN THE EVENT OF ANY DISCREPANCY.
 2. THE DRAWING IS NOT TO BE SCALED.
 3. CONTRACTOR IS RESPONSIBLE TO PERFORM ALL CONSTRUCTION PER APPROPRIATE STANDARDS OF THE CITY OF WINDSOR/ OPSD.

ADS FLEXSTORM PURE INLET FILTERS

ROUND INLET FILTER			
Clear Opening Size	Style P/N	Minimum Bypass Flow Rate (CFS)	
Small: 10" - 16" Dia.	62HDHR	1.6	
Medium: 17" - 24" Dia.	62HDHR	2.7	
Large: 25" - 36" Dia.	62LHDR	3.8	

CURVED OPEN THROAT INLET FILTER			
Basin Width Size	Style P/N	Minimum Bypass Flow Rate (CFS)	
Up to 4' Width (1 Piece Set)	62HDWM1	2.4	
4' - 8' Width (2 Piece Set)	62HDWM2	3.5	
8' - 12' Width (3 Piece Set)	62HDWM3	5.0	
12' - 16' Width (4 Piece Set)	62HDWM4	7.2	

SQUARE/RECTANGULAR INLET FILTER			
Clear Opening Size	Style P/N	Minimum Bypass Flow Rate (CFS)	
Small: Up to 64" Perimeter	62SHD	2.4	
Medium: 65" - 96" Perimeter	62SHD	3.5	
Large: 97" - 120" Perimeter	62LHD	5.0	
Extra-Large: 121" or Greater Perimeter	62XLHD	7.2	

SPECIFICATIONS BY NOMINAL SIZE RANGE (MIN. VALUES)				
Nominal Bag Size	Solids Storage (CuFt)	Flow Rate (CFS)*	Oil Retention (Oz)**	
Small	1.6	1.2	89	168
Medium	2.1	1.7	89	204
Large	3.8	2.7	89	262
Extra Large	4.2	3.6	178	319

INSTALLATION INSTRUCTIONS:

- REMOVE GRATE
- CLEAN GRATE LEDGE
- SET INLET FILTER ON LOAD BEARING EDGE OF STRUCTURE
- REPLACE GRATE

NOTES:

- ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL.
- TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZE DRAINAGE STRUCTURE. ADS DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE.
- UPON ORDERING, CONFIRMATION OF THE INLET SPECIFICATION, PRECAST/FOUNDRY CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE AN INLET FILTER.
- ALL FILTERS MEET ASTM D8057 SPECIFICATIONS.
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WWW.ADSPipe.COM
PH: 1-800-821-6710

ONTARIO PROVINCIAL STANDARD DRAWING
Nov 2014 Rev 5
OPSD 701.010

PRECAST CONCRETE MAINTENANCE HOLE 1200mm DIAMETER

ALTERNATIVES

A PRECAST SLAB BASE

B CAST-IN-PLACE BASE

C PRECAST FLAT CAP

NOTES:

- The sump is measured from the lowest invert.
- Granular backfill shall be placed to a minimum thickness of 300mm all around the maintenance hole.
- Structure exceeding 5.0m in depth shall include safety platform according to OPSD 404.020.
- Pipe support according to OPSD 708.020.
- For benching and pipe opening details, see OPSD 701.021.
- For adjustment unit and frame installation, see OPSD 704.010.
- All dimensions are nominal.
- H All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING
Nov 2014 Rev 5
OPSD 701.010

CONCRETE BARRIER CURB

NOTES:

- When sidewalk is continuously adjacent, the dropped curb at entrances shall be reduced to 75mm.
- For slipforming procedure a 5% batter is acceptable.

A Treatment at entrances shall be according to OPSD 351.010.
B Outlet treatment shall be according to the OPSD 610 Series.
C The transition from one curb type to another shall be a minimum length of 3.0m, except in conjunction with guide rail where it shall be according to the OPSD 900 Series.
D All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING
Nov 2012 Rev 2
OPSD 600.110

STANDARD GOSS GULLY TRAP

NOTES:

- GOSS GULLY TRAP MAY BE MANUFACTURED IN CAST IRON OR PLASTIC
- GOSS GULLY TRAP TO BE IN ALL CATCH BASIN INSTALLATIONS WHERE OUTLET IS TO A COVERED SEWER
- ALL DIMENSIONS ARE NOMINAL
- ALL DIMENSIONS IN MILLIMETERS

CITY OF WINDSOR
ENGINEERING DEPARTMENT
DEFN BY: M.F. DATE: AUGUST, 2014
REVISION: CHKD BY: A.L.
CHKD BY: J.U. PASSED BY: [Signature]
AS-307

KEY PLAN:

SCALE: N.T.S.

LEGEND:

- EX. ELEVATION
- PROP. ELEVATION
- PROP. TOP OF CB/CBMH
- PROP. STORM SEWER
- PROP. STORM MANHOLE
- PROP. CATCH BASIN MANHOLE
- PROP. REAR YARD CB
- PROP. STORM CATCHMENT AREA
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- EX. SANITARY SERVICE
- EX STORM SEWER
- EX SANITARY SEWER
- EX WATERMAIN
- PROP. SLOPE ELEVATION
- EX FIRE HYDRANT
- EX GAS LINE
- EX OVERHEAD LINE
- PROPOSED PROPERTY LINE
- 5 - Year HWL - 180.550 m
- 100 - Year HWL - 180.704m

REVISIONS

No.	DATE	DESCRIPTION
01	MAR 28, 2024	ISSUED FOR SPA

STAMP: [Professional Engineer Seal]

ENGINEER: N.A.J.M. ENGINEERING LTD.
9 - UTTER DRIVE, UNIT 4
LD A-TLE, CN N9S 1J3 +1-519-371-1715

PROJECT: 4461 WYANDOTTE ST E

CLIENT:

SHEET TITLE: DETAILS

ADDRESS: 4461 WYANDOTTE ST E, WINDSOR, ON

DRAWN BY: G.S. SCALE:

DESIGNED BY: G.S. DATE: MAR-28-2024

CHECKED BY: N.M. JOB #: 23196

APPROVED BY: N.M. DRAWING #: 04

TEMPER™ LMF ICD

PRODUCT INFORMATION: TEMPER™ LOW, MEDIUM FLOW (LMF) ICD

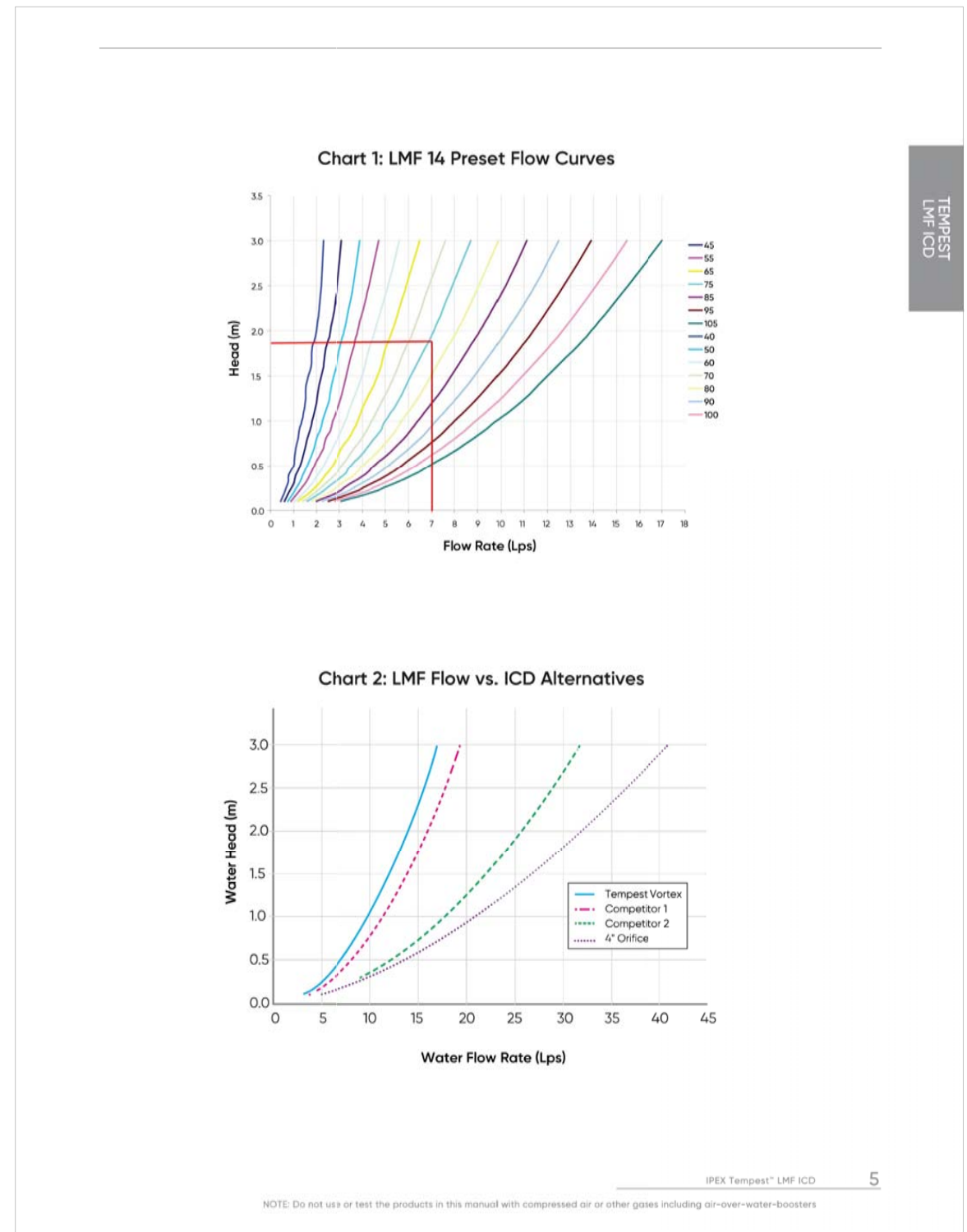
Purpose
To control the amount of storm water runoff entering a sewer system by allowing a specified flow volume out of a catch basin or manhole at a specified head. This approach conserves pipe capacity so that catch basins downstream do not become uncontrollably surcharged, which can lead to basement floods, roof floods and combined sewer overflows.

Product Description
Our LMF ICD is designed to accommodate catch basins or manholes with sewer outlet pipes of a diameter and larger. Any storm sewer larger than 12" may require custom modification. However, ICD can custom build a TEMPER™ device to accommodate virtually any storm sewer size. Available in 14 preset flow curves, the LMF ICD has the ability to provide flow rates 2ips - 17ips (33gpm - 270gpm).

Product Function
The LMF ICD series flow action allows the LMF ICD to provide a narrower flow curve using a larger orifice than a conventional orifice plate ICD, making it less likely to clog. When comparing flows at the same head level, the LMF ICD has the ability to restrict more flow than a conventional ICD during a rain event, preserving greater sewer capacity.

Product Construction
Constructed from durable PVC, the LMF ICD is light weight (8.9 Kg/19.5 lbs).

Product Applications
Will accommodate both square and round applications.



PLASTIC METER PIT AND SETTERS FOR 37mm AND 50mm IN GRASS AREAS

NOTE:

- OWNER WILL BE RESPONSIBLE TO KEEP THE METER AND METER PIT IN GOOD WORKING CONDITIONS AT ALL TIMES AND CLEAR FROM DEBRIS.
- NO BYPASSES ALLOWED.

WINDSOR UTILITIES COMMISSION
DRAWN BY: B.J.O. CHECKED BY: S.J. APPROVED BY: C.M. PREVISION DATE: NOV. 2023 DWS. NO.: 50.08.04

SINGLE WATER METER ARRANGEMENT FOR SINGLE OR MULTI SINGLE RESIDENTIAL BUILDINGS

NOTE 1: METERS SHALL BE IN PITS ONLY FOR ALL RESIDENTIAL PROPERTIES.
NOTE 2: METERING OPTIONS TO BE DECIDED BY WATER ENGINEERING ON A CASE BY CASE BASIS.

WINDSOR UTILITIES COMMISSION
DRAWN BY: B.J.O. CHECKED BY: S.J. APPROVED BY: C.M. REVISION DATE: NOV. 2023 DWS. NO.: 50.09.05



Committee Matters: SCM 306/2024

**Subject: Zoning By-Law Amendment Z001-24 (ZNG/7164) - Alta Nota
Construction – 0 Windsor Ave & 1140 Goyeau St, Ward 3**

Moved by: Councillor Kieran McKenzie
Seconded by: Councillor Mark McKenzie

Decision Number: **DHSC 659**

- I. THAT Zoning By-law 8600 **BE AMENDED** by changing the zoning of Lots 46 to 51, Plan 447 (identified as Lot 1A on Appendix A to Report S 131/2024 and known municipally as 0 Windsor Avenue) from Commercial District 1.5 (CD1.5) to Commercial District 1.7 (CD1.7).
- II. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by changing the zoning of Lot 183 and Part of Lot 182, Plan 1303 (identified as Lot 1B on Appendix A to Report S 131/2024 and known municipally as 1140 Goyeau Street) from Commercial District 1.5 (CD1.5) to Residential District 3.3 (RD3.3).
- III. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by deleting and replacing Section 20(1)52 as follows:

**52. EAST SIDE OF GOYEAU STREET AND WEST SIDE OF WINDSOR AVENUE,
NORTH OF GILES BOULEVARD EAST**

- A. For the lands comprising of LOT 46 TO LOT 51, PLAN 447 for an existing parking area, the following additional provisions shall apply:
 - 1) Section 25.5.10.3 shall not apply.
 - 2) Section 25.5.20 shall not apply.
 - 3) Section 25.5.40.6 and 25.5.40.7 shall not apply.
 - 4) Notwithstanding Section 25.5.50, the minimum *parking aisle* width shall be as existing.

B. For the lands comprising of LOT 183 & PT LOT 182, PLAN 1303, the following additional provisions shall apply:

- 1) Lot Area – minimum 1,728 m²
- 2) Lot Coverage – maximum 43.5%
- 3) Main Building height – maximum 24.0 m
- 4) Landscaped Open Space Yard – minimum 28%
- 5) Section 12.3.5.13 shall not apply
- 6) All required *parking spaces* (excluding accessible parking spaces and *loading spaces*) shall be located entirely on LOT 46 TO LOT 51, PLAN 447.
- 7) Notwithstanding Section 25.5.20.1.6, where a *building* is located on the same *lot* as the *parking area*, for that portion of a *building* wall not containing a *habitable room window* within 4.0 m of the *ground*, the minimum parking area separation from that portion of the *building* wall shall be 3.1 m.

(ZDM 7)

IV. THAT, when Site Plan Control is applicable:

- A. Prior to the submission of an application for site plan approval, at the discretion of the City Planner, Deputy City Planner, or Site Plan Approval Officer:
 - 1) Those documents submitted in support of the application for amendment to the Zoning By-law 8600 **BE UPDATED** to reflect the site plan for which approval is being sought, and any comments from municipal departments and external agencies included in Appendix E to Report S 131/2024.
- B. The Site Plan Approval Officer **BE DIRECTED** to incorporate the following, subject to any updated information, into an approved site plan and an executed and registered site plan agreement:
 - 1) Vibration Impact Assessment as requested by the City of Windsor Heritage Planner in Appendix E to Report S 131/2024.
 - 2) Requirements of the City of Windsor – Engineering Department (subject to the approval of the City Engineer), City of Windsor – Parks Development, in Appendix E of Report S 131/2024.

- C. The Site Plan Approval Officer **CONSIDER** all other comments contained in Appendix E of Report S 131/2024 and all recommendations in the documents submitted in support of the application for an amendment to Zoning By-law 8600.

Carried.

Report Number: S 131/2024
Clerk's File: Z/14850

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 7.2 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

**Subject: Zoning By-Law Amendment Z001-24 (ZNG/7164) - Alta Nota
Construction – 0 Windsor Ave & 1140 Goyeau St, Ward 3**

Reference:

Date to Council: October 7, 2024
Author: Diana Radulescu
T. (519) 255-6543 x 6918
E. dradulescu@citywindsor.ca
Planning & Building Services
Report Date: September 23, 2024
Clerk's File #: Z/14850

To: Mayor and Members of City Council

Recommendation:

- I. THAT Zoning By-law 8600 **BE AMENDED** by changing the zoning of Lots 46 to 51, Plan 447 (identified as Lot 1A on Appendix A to Report S 131/2024 and known municipally as 0 Windsor Avenue) from Commercial District 1.5 (CD1.5) to Commercial District 1.7 (CD1.7).
- II. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by changing the zoning of Lot 183 and Part of Lot 182, Plan 1303 (identified as Lot 1B on Appendix A to Report S 131/2024 and known municipally as 1140 Goyeau Street) from Commercial District 1.5 (CD1.5) to Residential District 3.3 (RD3.3).
- III. THAT Zoning By-law 8600 **BE FURTHER AMENDED** by deleting and replacing Section 20(1)52 as follows:

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 - 2) Requirements of the City of Windsor – Engineering Department (subject to the approval of the City Engineer), City of Windsor – Parks Development, in Appendix E of Report S 131/2024.
- C. The Site Plan Approval Officer **CONSIDER** all other comments contained in Appendix E of Report S 131/2024 and all recommendations in the documents submitted in support of the application for an amendment to Zoning By-law 8600.

Executive Summary:

N/A

Background:

Application Information

Municipal Address: 1140 Goyeau St and 0 Windsor Ave

Ward: 3 **Planning District:** South Central **Zoning District Map:** 7

Applicant/Agent: Lassaline Planning Consultants (Jackie Lassaline)

Owner: Alta Nota Construction, Mariusz Buchcic

Submitted Materials: Attached to Report S 131/2024 as an Appendix:

Appendix A - Conceptual Site Plan

Appendix B - Conceptual Elevations

Appendix C - Conceptual Floor Plans

Appendix D - Planning Rationale Report

Appendix E – Comments

Appendix F – Site Photos

Proposal:

The development consists of two parcels – Lot A fronting on Windsor Avenue and Lot B known as 1140 Goyeau Street.

The applicant is proposing to construct a multiple dwelling with a total of 54 units in a building with a maximum height of 22.9 metres containing 6 floors on the 1140 Goyeau Street parcel (Lot B). Parking is to be provided over Lot A (80 existing parking spaces) and Lot B (4 accessible parking spaces) for a total of 84 parking spaces. The proposal includes 4 bicycle parking spaces and one loading space on Lot B. An open and travelled north-south alley divides the parcels. Vehicular access is from Goyeau Avenue and the alley.

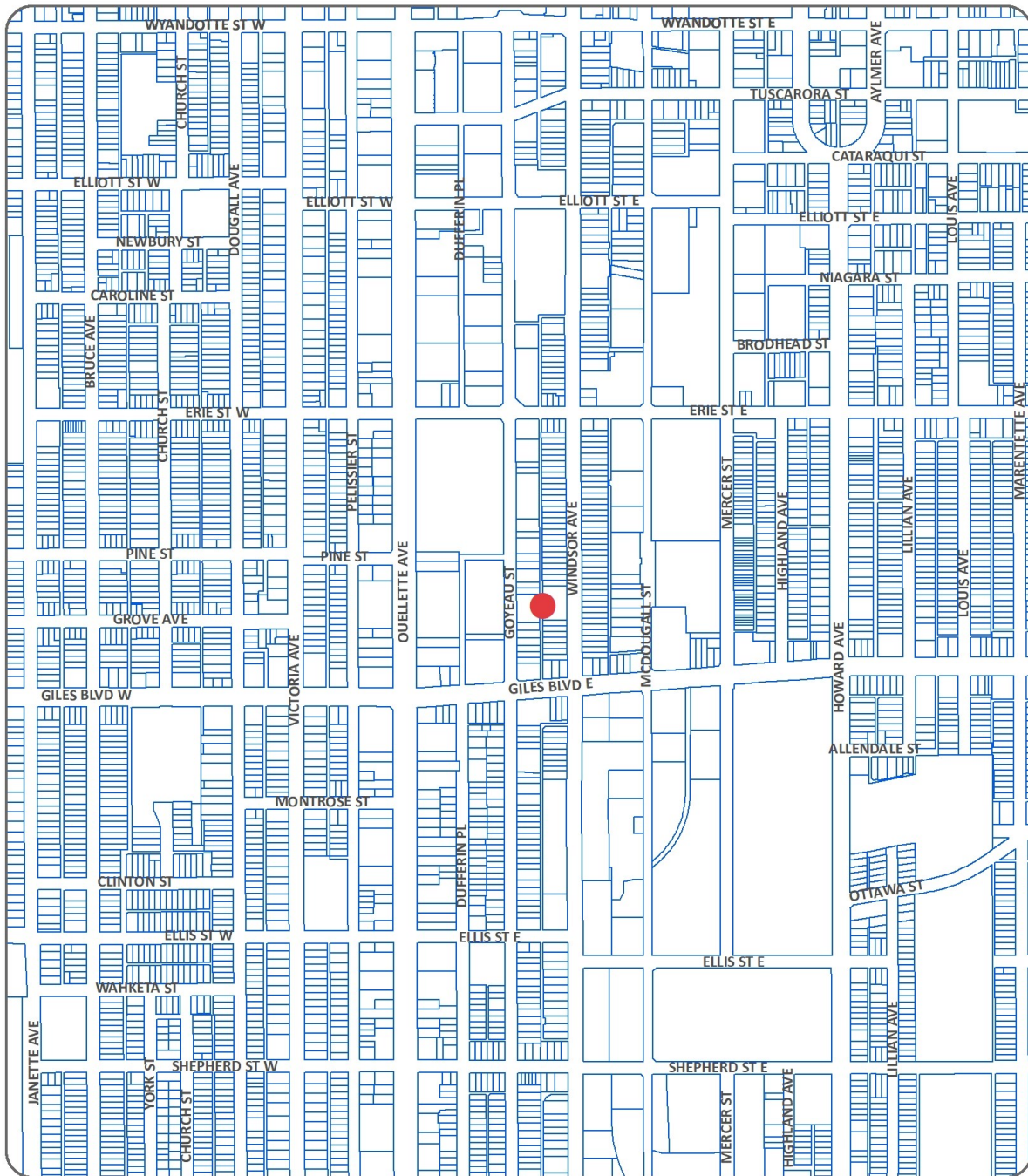
The applicant is requesting an amendment to Zoning By-law 8600 to rezone the subject properties to Residential District 3.3 (RD 3.3) to allow for the proposed residential use. A site-specific exception has also been requested for recognition of a reduced total landscaped area of 28% and a provision to connect the parking area with the residential building lot.

The development as proposed is subject to Site Plan Control.

Site Information

OFFICIAL PLAN	ZONING	CURRENT USE	PREVIOUS USE
Residential	Commercial District 1.5, S 20(1)52	Lot A & B: Parking Area	Lot A: Single Detached Dwelling, Parking Area Lot B: Club
LOT FRONTAGE	LOT DEPTH	LOT AREA	LOT SHAPE
Lot A: 55.1 m Lot B: 46.0 m	Lot A: 39.2 m Lot B: 36.4 m	Lot A: 2,159 m ² Lot B: 1,656 m ²	Lot A: rectangular Lot B: rectangular
<i>All measurements are provided by the applicant and are approximate.</i>			

Figure 1: Key Map



KEY MAP - Z-001/24, ZNG/7164



● SUBJECT LANDS

Figure 2: Neighbourhood Map



NEIGHBOURHOOD MAP - Z-001/24, ZNG/7164



SUBJECT LANDS

Neighbourhood:

Site images are provided in Appendix F. Section 2.2 in the Planning Rationale Report (see Appendix D) provide details including site photos.

The subject parcels are located within an established mixed-use neighbourhood with low to medium profile residential uses, commercial and institutional uses (a hospital, school and religious institutions) as well as public parks.

To the north are a mix of low and medium profile residential uses and commercial uses. To the east are low profile residential and institutional uses as well as a public park. To the south are several religious institutions, the Windsor Grove Cemetery and commercial uses. Further west is Ouellette Avenue which is recognized as a Mixed-Use Corridor as per *Schedule D – Land Use* and a Traditional Commercial Street as per *Schedule A-1 - Special Policy Areas* of the Windsor Official Plan.

The Canadian Pacific Railway is located approximately 500m to the west.

There are several schools nearby including James L. Dunn Public School 280 m and St. Angela Catholic Elementary School 960 m to the east. There are several parks nearby including Wigle Park 200 m and Alton C. Parker Park 580 m to the northeast and Mitchell Park 560 m to the west. The nearest library is Windsor Public Library's Central Branch 1.6 km to the north.

The neighbourhood includes many community services and centres. The subject parcels are located near a cluster of medical uses that are centred on the Ouellette Campus of the Windsor Regional Hospital.

Goyeau Street is classified as a Local Road per *Schedule F: Roads and Bikeways* and has two travel lanes with curbs and sidewalks on both sides with street parking on the east side. Windsor Avenue is classified as a Local Road and has two travel lanes with curbs and sidewalks on both sides of the road with alternate side on-street parking.

Active transportation infrastructure in the form of bikes lanes is available along McDougall Street to the east. The City of Windsor Active Transportation Master Plan identifies Windsor Avenue as a "High Priority" on the Proposed Bicycle Network.

Public transit is available via the Ottawa 4 route along Giles Boulevard East and the Central 3 route along Erie Street East. The closest existing bus stop to the subject property is located on Giles at the southeast corner of Goyeau Street (Ottawa 4 route). This bus stop is approximately 140 m from the subject property which falls within Transit Windsor's 400 m walking distance guidelines to a bus stop. This service will continue to be maintained with Transit Windsor's City Council-approved Transit Master Plan.

The site is serviced by a 200 mm vitrified clay combined sewer and a 525 mm concrete storm sewer located within the Goyeau Street right-of-way.

Figure 3: Subject Parcel – Rezoning



PART OF ZONING DISTRICT MAP 7

N.T.S.

REQUESTED ZONING AMENDMENT

Applicant: 2312205 Ontario Ltd.



SUBJECT LANDS

PLANNING & BUILDING DEPARTMENT



DATE : AUGUST, 2024
FILE NO. : Z-001/24, ZNG/7164

Discussion:

Planning Rationale Report (Lassaline Planning Consultants Inc. – July 28, 2024)

The Planning Rationale Report (PRR), attached as Appendix D to Report S 131/2024, notes that *“the new development is proposed within a mixed-use neighbourhood that is supported by municipal transit, by active transportation (paved sidewalks and separated bike lanes) and is within close walking distance to many commercial and institutional uses.”* It states that *“the proposed development is a residential intensification and an infill development on an underutilized site”* and that *“the residential use is compatible with the residential uses and the mixed-use profile of the neighbourhood.”*

The PRR further notes that *“the use of the vacant lot for the new multi-unit building and the use of the adjacent vacant lands for parking is a coordinated, sound planning approach to the infill development.”*

The PRR concludes that *“the [Zoning Bylaw Amendment] provides a good solution for the provision of needed alternative residential accommodation and compatible development within an existing neighbourhood, while supporting a diversity of housing tenures and styles within the municipality on major municipal route.”* The Planning Department generally concurs with the PRR.

Urban Design Brief (Section 5.0, Planning Rationale Report, Lassaline Planning Consultants – July 28, 2024)

The Urban Design Brief included in Section 5 of the PRR noted that *“the proposed development will encourage future development with a pedestrian orientation by increasing the density of the neighbourhood in a manner that is supported and sustainable.”* It concluded that *“the building will be compatible in size, scale, and massing with the existing neighbourhood.”* The Planning Department generally concurs with the Urban Design Brief.

Sewer Assessment Memo (Dillon Consulting Ltd. – November 28, 2023)

The Sewer Assessment Memo confirms that the existing combined sewer on Goyeau Street will effectively accommodate the site's sewer servicing needs. The memo demonstrates that the municipal combined sewer has adequate capacity, and no adverse impacts are expected on the surrounding areas as a result of the proposed development. The Sanitary Sewer Study has been deemed acceptable, and the proposed sanitary servicing strategy is supported by the Planning and Engineering Development departments.

Stormwater Management Report (Ambashi Engineering and Management Inc. – June 2024)

The Stormwater Management Report notes that the proposed Stormwater drainage system will address the Stormwater management requirements of the city of Windsor. A revised study will be required for Site Plan Control to address Engineering Department comments included in Appendix E.

Shadow Study (Z Square Consulting Inc. – October 10, 2023)

The Shadow Study notes that the proposed development will have minimal impact to surrounding residences with exception to loss of early morning sunlight to 1128 and 1124 Goyeau Street from Fall Equinox to Spring Equinox and through the winter months. No other property except the proposed parking area at 0 Windsor Avenue appears to be affected.

Tree Survey (Bezaire Partners – September 2023)

The Tree Survey noted that there are three trees in poor condition, one tree in fair condition and two trees that are in good and very good conditions. The Tree Survey recommended removing the three trees in poor and fair condition while retaining and trimming the trees in good and very good condition. A landscape plan will be a requirement of Site Plan Control.

Provincial Policy Statement (2020)

The PPS provides direction on matters of provincial interest related to land use planning and development and sets the policy foundation for regulating the development and use of land in Ontario.

The proposed development of a multiple dwelling with 54 units represents an efficient development and land use pattern that will have no adverse impact on the financial well-being of the City of Windsor, land consumption and servicing costs, accommodates an appropriate range of residential uses, and optimizes existing investments in transit and infrastructure. There are no anticipated environmental or public health and safety concerns with the proposed use of land.

The requested zoning amendment is consistent with the “*Healthy, liveable and safe communities*” policies in Section 1.1.1 of the PPS.

The lot is located within a settlement area. The zoning amendment promotes a land use – a multiple dwelling with 54 units - that makes efficient use of land and existing infrastructure. The proposed rezoning is a residential infill and intensification project, thereby not requiring settlement area expansion. Active transportation options and transit services are located near the subject lands and include planned improvements. The zoning amendment is consistent with the “Settlement Areas” policies in Sections 1.1.3.1 and 1.1.3.2.

The proposed development will provide a form of housing that is appropriate in terms of the range and mix of the surrounding neighbourhood context and is located where municipal infrastructure and public service facilities are already available. The subject amendment is consistent with the housing policies in Section 1.4.3 of the PPS.

The subject proposal is on lands within an area that is serviced by municipal sewage and water services. The recommended zoning by-law amendment is consistent with the Infrastructure and Public Service Facilities policies in Section 1.6.6.2 of the PPS.

The agent indicates that the objectives of the PPS have been considered and have informed their professional planning opinion and concept design for the project site. These objectives are discussed in the Planning Rationale Report (Appendix D). Planning & Development Services generally concurs with this and is of the opinion that the proposed amendment to Zoning Bylaw 8600 is consistent with the PPS 2020.

City of Windsor Official Plan

The subject property is located within the South Central Planning District in *Schedule A – Planning Districts & Policy Areas* of Volume I of the Official Plan.

The subject parcels have a Residential land use designation in *Schedule D – Land Use Plan*. Section 6.3.2.1 stipulates that low profile and medium profile dwelling units are permitted within the Residential land use designation. The proposed development of a multiple dwelling with 54 units is classified as a Medium Profile development under Section 6.2.1.2 (b) and is compatible and complementary with the surrounding land uses (Section 6.3.2.5 (c)). The development is of a scale that is compatible with the profile and uses of the surrounding neighbourhood. No deficiencies in municipal physical and emergency services have been identified (Section 6.3.2.5 (e)). The proposed rezoning conforms to the policies in Sections 6.3.2 of the Official Plan.

The Official Plan has policies that encourage redevelopment and intensification. Objective 6.3.1.1 supports a complementary range of housing forms and tenures in all neighbourhoods. Objective 6.3.1.2 seeks to promote compact neighbourhoods and balanced transportation systems. Objective 6.3.1.3 seeks to promote selective residential redevelopment, infill and intensification initiatives. The proposed medium profile multiple dwelling with 54 units represents a complementary and compact form of housing, redevelopment, and intensification that is located near active and public transportation. The proposed rezoning satisfies the objectives set out in Section 6.3.1 of the Official Plan.

The proposed amendment to Zoning By-law 8600 will conform to the general policy direction of the Official Plan. Planning and Development Services generally concurs with the Official Plan analysis in Section 5 of the PRR submitted by the Applicant.

City of Windsor Intensification Guidelines

The City of Windsor Intensification Guidelines provide direction for infill and intensification within existing neighbourhood patterns. The intent is to guide new development to become distinctive, while relating harmoniously to the use, scale, architecture, streetscapes, and neighbourhoods of Windsor, as well as meeting the needs of its citizens and visitors.

The subject parcel is located within an established neighbourhood area but not within a defined Mature Neighbourhood or a Mixed-Use Corridor as per the Official Plan. The PRR notes that “there are existing buildings in the neighbourhood of a similar size, scale, and massing to the proposed development.”

Planning and Development Services is of the opinion that the proposed rezoning amendment is consistent with the general direction of the Windsor Intensification Guidelines.

Zoning By-Law 8600

The subject lands are zoned “Commercial District 1.5 (CD1.5)” which only permits a Club. Lot B was the site of the previous Windsor Manor Club & Banquet Hall (which was demolished in 2008).

The Applicant is requesting to rezone both parcels to Residential District 3.3 (RD3.3) to allow for a multiple dwelling to be built on Lot B and for the parking lot to continue to operate on Lot

A. Planning & Development Services supports the requested rezoning amendment in principle, but recommends the following:

- Changing the zoning designation of Lot A from CD1.5 to CD1.7 which includes a parking area as a permitted use. This zoning designation is most appropriate since Lot A will continue to be used as a parking area;
- Changing the zoning designation of Lot B from CD1.5 to RD3.3 to allow for a multiple dwelling as a permitted use; and
- A revised site-specific provision (Section 20(1)52) as outlined below.

Notwithstanding the site-specific provisions noted below, the subject lands have been considered as a single development lot or area in this report.

Parking: A total of 67 parking spaces are required per Zoning Bylaw 8600. 80 parking spaces are proposed for Lot A, 4 accessible spaces and 1 loading space are proposed for Lot B as shown on the Conceptual Site Plan (Appendix A). Site-specific provision B.6) notes that all required parking spaces (excluding accessible parking spaces and loading spaces) shall be located on the 0 Windsor Avenue parcel and will serve the parking requirements of the 1140 Goyeau Street parcel.

The proposed development proposes a new access from Windsor Avenue. Recommendation III removes the previous prohibition of an access from Windsor Avenue. The proposal includes reconfiguring the existing access from the alleyway to be moved further south in response to comments from the Transportation Planning department.

Site-specific provisions A.1-4) address the proposed parking area configuration of Lot A that deviate from requirements in Zoning Bylaw 8600 for: providing a curb separation between parking areas and landscaped open spaces, parking aisle widths and parking area separations. This is primarily to address the new proposed access area off Windsor Avenue and adjusted access area from the alleyway. The remainder of the parking area is as existing.

Site-specific provision B.7) addresses a gap in the application of minimum parking separations with respect to habitable windows within section 25.5.20.1 in Zoning Bylaw 8600.

Landscaped Open Space Area:

Site-specific provision B.4) recommends a minimum landscaped open space yard of 28% for Lot B. Currently, Lot B exists as a parking area with minimal landscaping. The proposed development, while changing the use to a multiple dwelling, will include designated landscaped areas as noted on the Conceptual Site Plan (Appendix A).

Density:

Site specific provision B.5) provides relief from the maximum dwelling unit density in section 12.3.5.13 of Zoning Bylaw 8600. The proposed development of a multiple dwelling with 54 units on Lot B creates a density that is above the maximum stipulated for the specific RD 3.3 zone but is compatible and complementary to existing multiple dwellings and directly adjacent higher order uses within the neighbourhood context. As discussed previously in this report, the proposed development conforms to the policy direction of the relevant medium-profile residential sections of the Official Plan.

Site Plan Control

All plans, drawings and elevations are conceptual and subject to change. The development as proposed is subject to site plan control. Site Plan Control will be the primary planning tool to implement the direction of the PPS and the Official Plan, the provisions of Zoning By-law 8600, and the requirements and recommendations of municipal departments and external agencies. Recommendation IV provides direction and guidance for the Site Plan Control process.

Risk Analysis:

N/A

Climate Change Risks

Climate Change Mitigation:

The subject lands are located within an existing neighbourhood on existing municipal services, therefore reducing the impacts of climate change by locating within the existing built-up area. In general, residential intensification minimizes the impact on community greenhouse gas emissions as these developments create complete communities and neighbourhoods while using available infrastructure such as sewers, sidewalks, and public transit.

Climate Change Adaptation:

The proposed development of a medium profile multiple dwelling provides an opportunity to increase resiliency for the development and surrounding area through supporting a complementary and compact form of housing, redevelopment, and intensification that is near existing and future transit and active transportation options.

Financial Matters:

N/A

Consultations:

An in-person Open House was held on October 26, 2023. Notification of this meeting was distributed to residents and property owners within 120m of the subject site. There were no attendees. Details of the Open House are summarized in Section 3.2 of the PRR (Appendix D).

Comments received from municipal departments and external agencies are attached as Appendix E. Statutory notice was advertised in the Windsor Star. A courtesy notice was mailed to property owners within 200m of the subject lands. Submitted documents were posted on the City of Windsor website.

Conclusion:

The *Planning Act* requires that a decision of Council in respect of the exercise of any authority that affects a planning matter, “shall be consistent with” Provincial Policy Statement 2020. Based on the supporting documents submitted by the Applicant and the analysis in this report, it is my opinion that the requested amendment to Zoning By-law 8600 is consistent with the PPS 2020 and is in conformity with the City of Windsor Official Plan.

The proposed amendment permits a medium profile multiple dwelling with 54 units which is compatible with existing uses in the surrounding neighbourhood. The proposed development represents an incremental increase in density and provides an opportunity for residential intensification, while also supporting a complementary form of housing located near various transportation options and institutional uses.

The recommendation to amend Zoning By-law 8600 constitutes good planning. Staff recommend approval.

Planning Act Matters:

Diana Radulescu

Planner II – Development Review

I concur with the above comments and opinion of the Registered Professional Planner.

Greg Atkinson, MCIP, RPP

Neil Robertson, MCIP, RPP

Deputy City Planner - Development

City Planner

I am not a registered Planner and have reviewed as a Corporate Team Leader

JP JM

Approvals:

Name	Title
Diana Radulescu	Planning & Building Services
Greg Atkinson	Deputy City Planner - Development
Neil Robertson	City Planner
Aaron Farough	Senior Legal Counsel
Jelena Payne	Commissioner of Economic Development
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email
Alta Nota Construction Attn: Mariusz Buchcic	888 Old Tecumseh Road, Belle River, N0R 1A0	altanota@live.com
Lassaline Planning Consultants Attn: Jackie Lassaline	P.O. Box 52, 1632 County Road 31, St. Joachim, ON N0R 1S0	jackie@lassalineplan.ca
Councillor Renaldo Agostino (Ward 3)		
Property owners and tenants within 200 m of the subject lands		

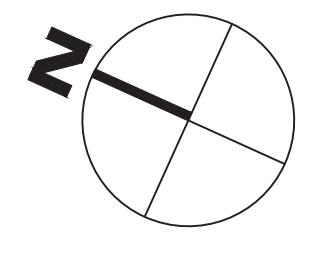
Appendices:

- 1 Appendix A - Conceptual Site Plan
- 2 Appendix B - Conceptual Elevations
- 3 Appendix C - Conceptual Floor Plans
- 4 Appendix D - Planning Rationale Report
- 5 Appendix E - Comments
- 6 Appendix F - Site Photos

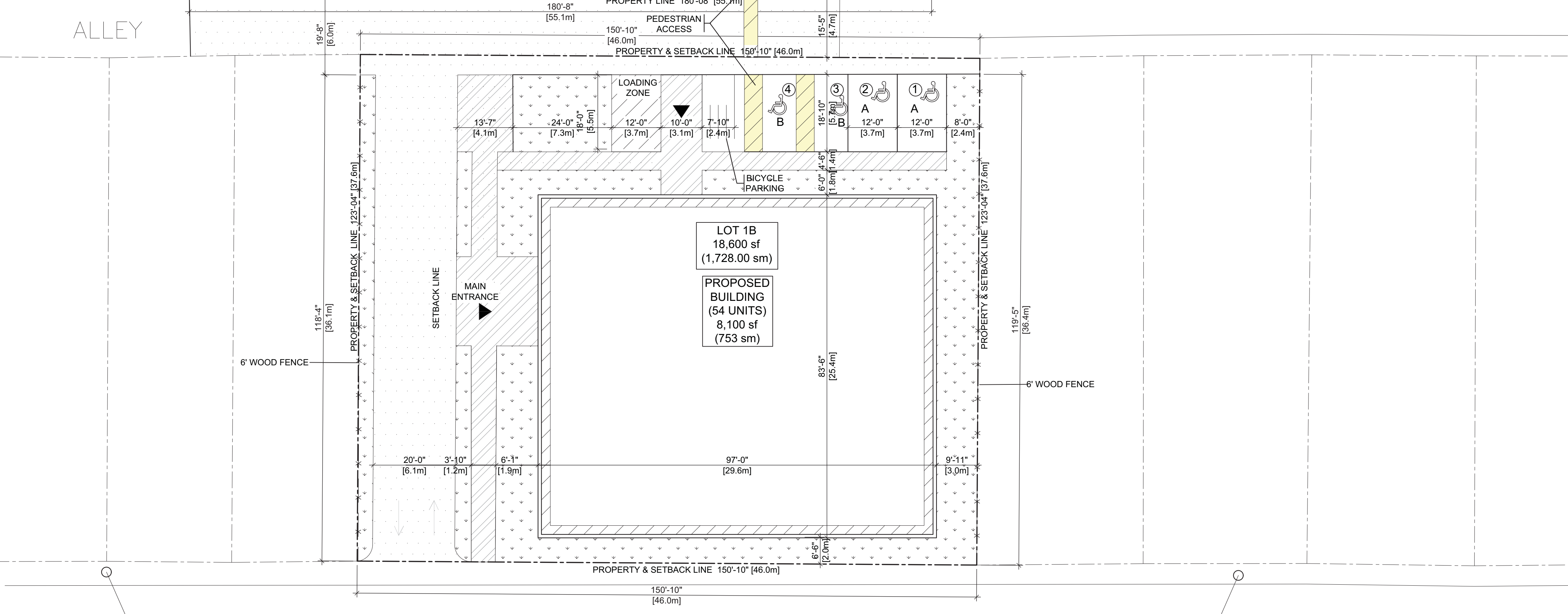
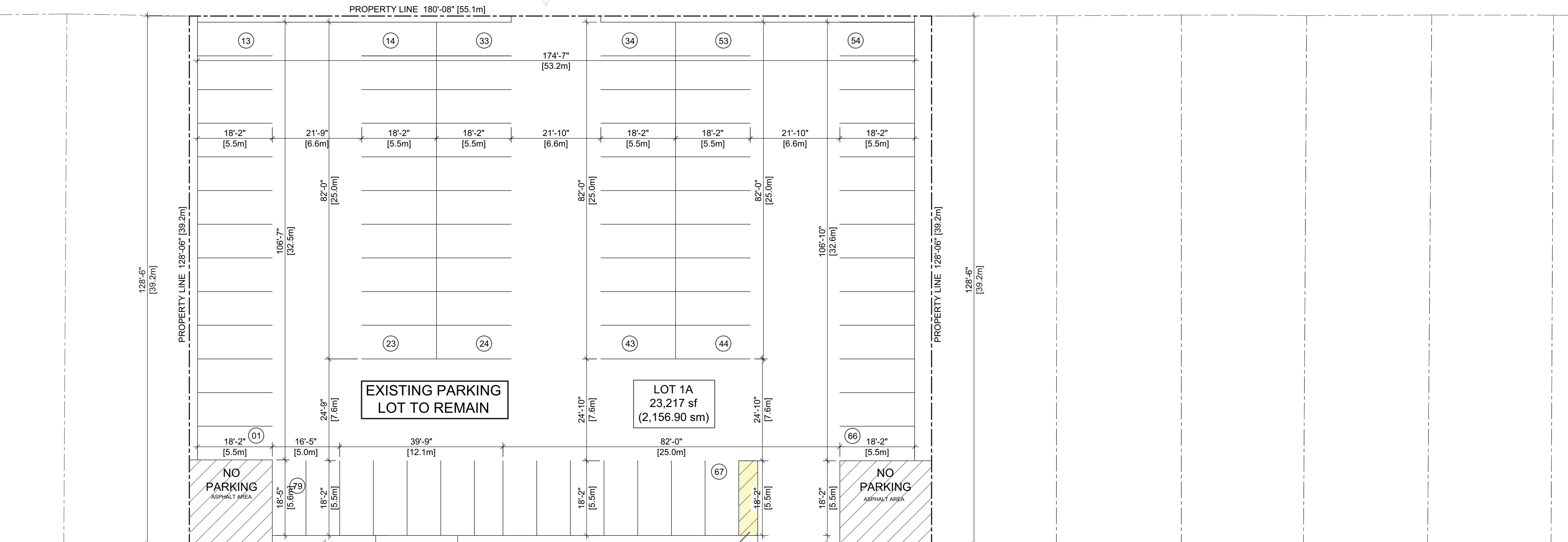
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[Pattern] = New Asphalt Pavement
 [Pattern] = Existing Asphalt Pavement
 [Pattern] = Pedestrian Concrete Pavement
 [Pattern] = Landscaping
 [Pattern] = Pedestrian Crossing Aisle

WINDSOR AVENUE



ENTRANCE



FIRE HYDRANT

FIRE HYDRANT

GOYEAU STREET

1 FIRST FLOOR PLAN
 SP-1R1 3/16" = 1'-0"

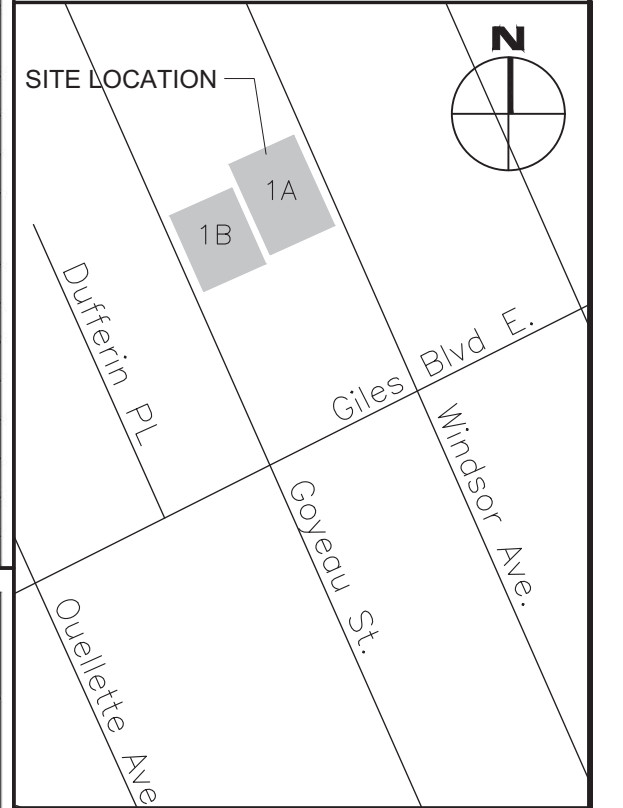
Item	Site Data Matrix Lot (A)	OBC Reference
1	Project Description: 1140 GOYEAU ST. & 0 WINDSOR AVE. ON Canada	New Addition Alteration Change of Use
2	Zoning Proposed: Residential District RD 3.3	Part 3 Part 9 Part 11
3	Existing Land Use: Parking Lot	
4	Major Occupancy(s): Parking Lot	
5	Building Classification: N/A	
6	Site Area	Building Area
	Existing: 2,156.9sq.m	Existing: 0.0 sq.m
	Proposed: 0.0 sq.m	Proposed: 0.0 sq.m
7	Lot Coverage	Minimum Lot Width
	Maximum: 35%	Required: 45m
	Provided: N/A	Provided: 55.1m
8	Minimum Front Yard Depth	Minimum Rear yard Depth
	Required: N/A	Required: N/A
	Provided: N/A	Provided: N/A
9	Parking	Bicycle Spaces
	Use Classification: 1.25	Existing: 0
	Existing: 79	Proposed: 0
10	Landscaped Area	Curbing Length
	Existing: 188sq.m	Existing: EXISTING
	Proposed: 0.0	Proposed: EXISTING

Item	Site Data Matrix Lot (B)	OBC Reference
1	Project Description: 1140 GOYEAU ST. & 0 WINDSOR AVE ON Canada	X New Addition Alteration Change of Use
2	Zoning Proposed: Residential District RD 3.3	X Part 3 Part 9 Part 11
3	Existing Land Use: Vacant	
4	Major Occupancy(s): Residential	
5	Building Classification: Group (C) 3.2.2. (48) up to 6 Storeys, Sprinklered, Noncombustible	
6	Site Area	Building Area
	Existing: 1,728.0 sq.m	Existing: 0.0 sq.m
	Proposed: 0.0sq.m	Proposed: 753 sq.m
7	Lot Coverage	Minimum Lot Width
	Maximum: 35%	Required: 45m
	Provided: 43.5%	Provided: 46m
8	Minimum Front Yard Depth	Minimum Rear yard Depth
	Required: N/A	Required: N/A
	Provided: 6.1m	Provided: 6.1m
9	Parking	Bicycle Spaces
	Use Classification: 1.25	Existing: 0
	Existing: 0	Proposed: 4
10	Landscaped Area	Curbing Length
	Existing: 0.0sq.m	Existing: 0.0 m
	Proposed: 489 sq.m (28%)	Proposed: 57 m

Item	Site Data Matrix Lot (A&B)	OBC Reference
1	Project Description: 1140 GOYEAU ST. & 0 WINDSOR AVE. ON Canada	X New Addition Alteration Change of Use
2	Zoning Proposed: Residential District RD 3.3	X Part 3 Part 9 Part 11
3	Existing Land Use: Vacant & Parking Lot	
4	Major Occupancy(s): Residential	
5	Building Classification: Group (C) 3.2.2. (48) up to 6 Storeys, Sprinklered, Noncombustible	
6	Site Area	Building Area
	Existing: 3,884.9 sq.m	Existing: 0.0 sq.m
	Proposed: 0.0sq.m	Proposed: 753 sq.m
7	Lot Coverage	Minimum Lot Width
	Maximum: 35%	Required: 45m
	Provided: 19.3%	Provided: 46m
8	Minimum Front Yard Depth	Minimum Rear yard Depth
	Required: N/A	Required: N/A
	Provided: 6.1m	Provided: 6.1m
9	Parking	Bicycle Spaces
	Use Classification: 1.25	Existing: 0
	Existing: 0.0	Proposed: 4
10	Landscaped Area	Curbing Length
	Existing: 0.0sq.m	Existing: 0.0 m
	Proposed: 677 sq.m	Proposed: 57 m

Should archaeological deposits be found during construction activities, all work in the area must stop immediately and the City's Manager of Cultural Affairs and the Ontario Ministry of Tourism, Culture and Sport must be notified, and clearance given by the Ministry.
 In the event that human remains are encountered during construction, all work in that area must be stopped immediately and the site secured. The local police or coroner must be contacted to determine whether or not the skeletal remains are human, and whether the remains constitute a part of a crime scene. The Ontario Ministry of Tourism, Culture and Sport and the Registrar of the Cemeteries Regulation Unit of the Ministry of Consumer Services must then be notified, and clearance be given by the Ministry of Tourism.

1179 LAUZON RD, WINDSOR, ONTARIO, N8S 3M9
 E-mail: ap.nufusion@gmail.com Cell: 519-890-9614



KEY PLAN
N.T.S.

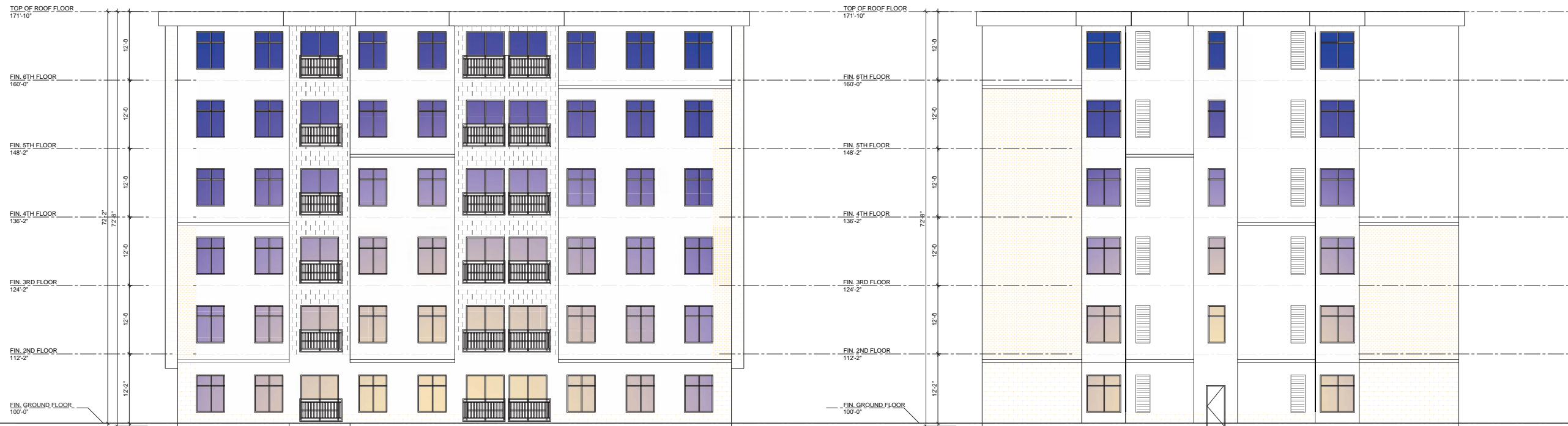
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10 MAY '24		PRE-APPLICATION
20 MAY '23		PRE-APPLICATION
16 JUN. '22		PRE-APPLICATION
16 NOV. '21		PRE-APPLICATION
29 MAY. '21		CLIENT REVIEW

PROJECT
NEW RESIDENTIAL BUILDING COMPLEX
 1140 GOYEAU ST.
 WINDSOR, ONTARIO N9A 1J1
 DWG. TITLE
 PROPOSED PROPERTY SITE PLAN

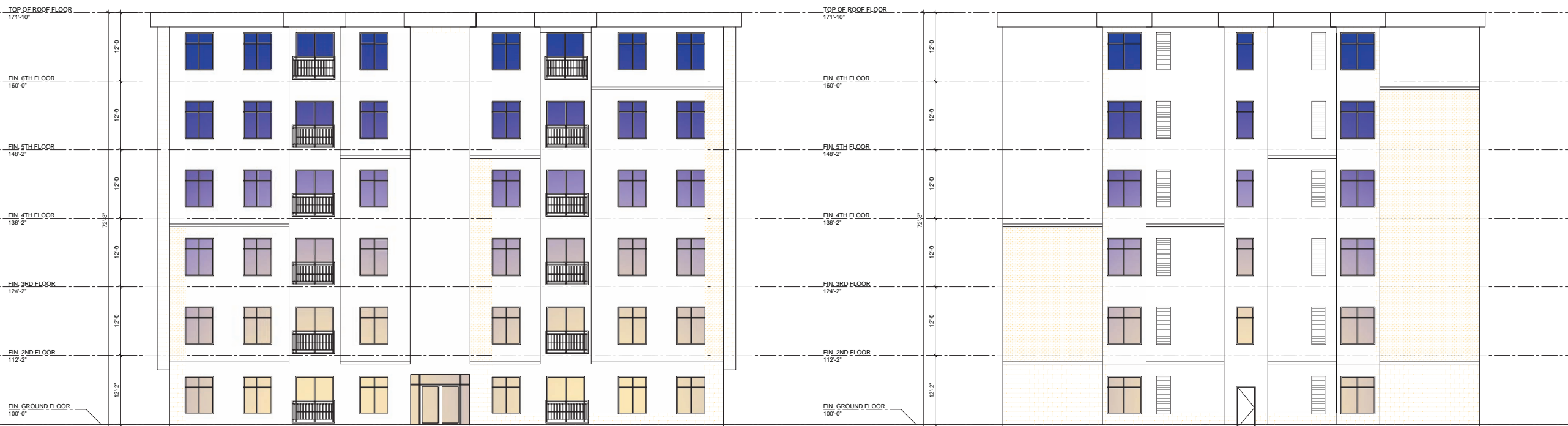
DATE : MAY 2021
 SCALE : AS NOTED
 DESIGNED BY : JF
 DRAWN BY : JF
 CHECKED BY : AP
 APPROVED BY :
 PROJECT NO. : 20-147
 DWG. NO.

S-1R1

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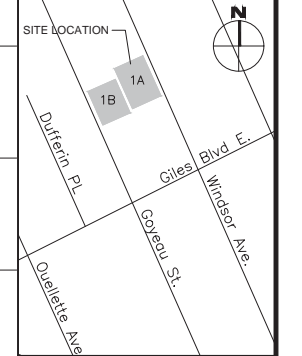


2 REAR AND SIDE ELEVATIONS
 A-3 NTS



1 FRONT AND SIDE ELEVATIONS
 A-3 NTS

NuFusion & ASSOCIATES
 850 Ouellette Ave. WINDSOR, ONTARIO, N9A 4M9
 E mail: ap.nufusion@gmail.com. Cell: 519-890-9614



KEY PLAN
 N.T.S.

DATE	NO.	ISSUED FOR
20 MAY '23		PRE-APPLICATION
29 MAY '22		PRE-APPLICATION
16 NOV. '21		PRE-APPLICATION
17 OCT. '21		CLIENT REVIEW

PROJECT
NEW RESIDENTIAL BUILDING COMPLEX

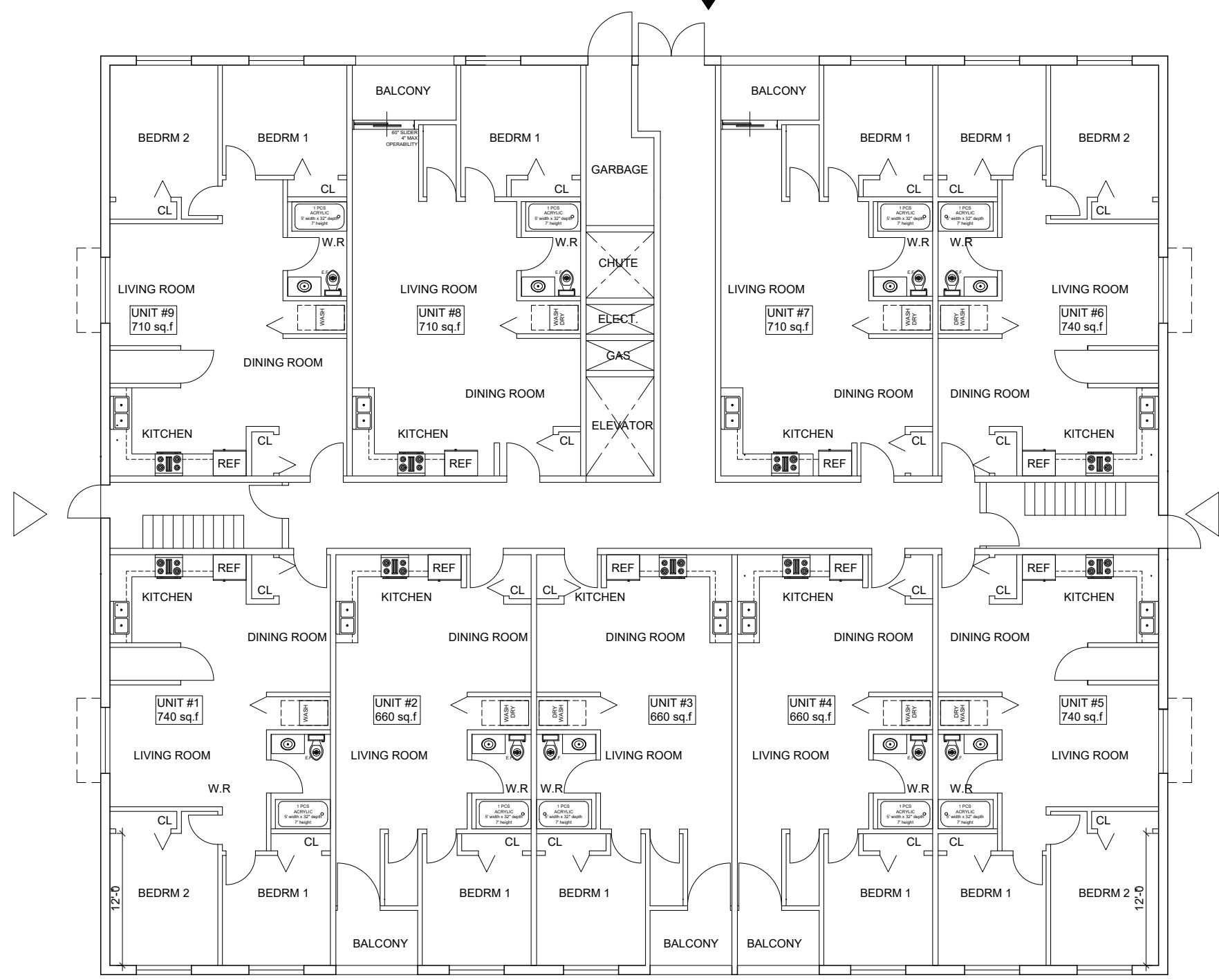
1140 GOYEAU ST.
 WINDSOR, ONTARIO N9A 1J1

DWG. TITLE
 PRELIMINARY ELEVATIONS
 47 UNITS TOTAL

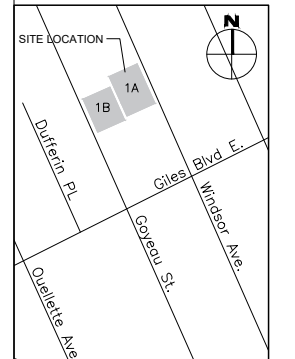
DATE	: OCT 2021
SCALE	: AS NOTED
DESIGNED BY	: JF
DRAWN BY	: JF
CHECKED BY	: AP
APPROVED BY	:
PROJECT NO.	: 20-147
DWG. NO.	:

A-3

MAIN
ENTRANCE



NuFusion
& ASSOCIATES
850 Ouellette Ave. WINDSOR, ONTARIO, N9A 4M9
E-mail: ap.nufusion@gmail.com. Cell: 519-890-9614



KEY PLAN
N.T.S.

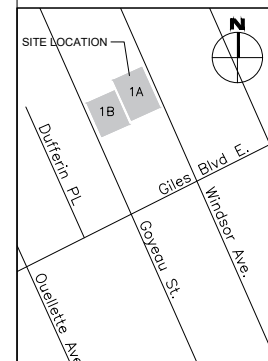
DATE	NO.	ISSUED FOR
20 MAY '23		PRE-APPLICATION
01 JUN. '22		PRE-APPLICATION
16 NOV. '21		PRE-APPLICATION
15 JUNE. '21		CLIENT REVIEW

PROJECT
**NEW RESIDENTIAL
BUILDING COMPLEX**
1140 GOYEAU ST./1140 WINDSOR AVE.
WINDSOR, ONTARIO N9A 1J1

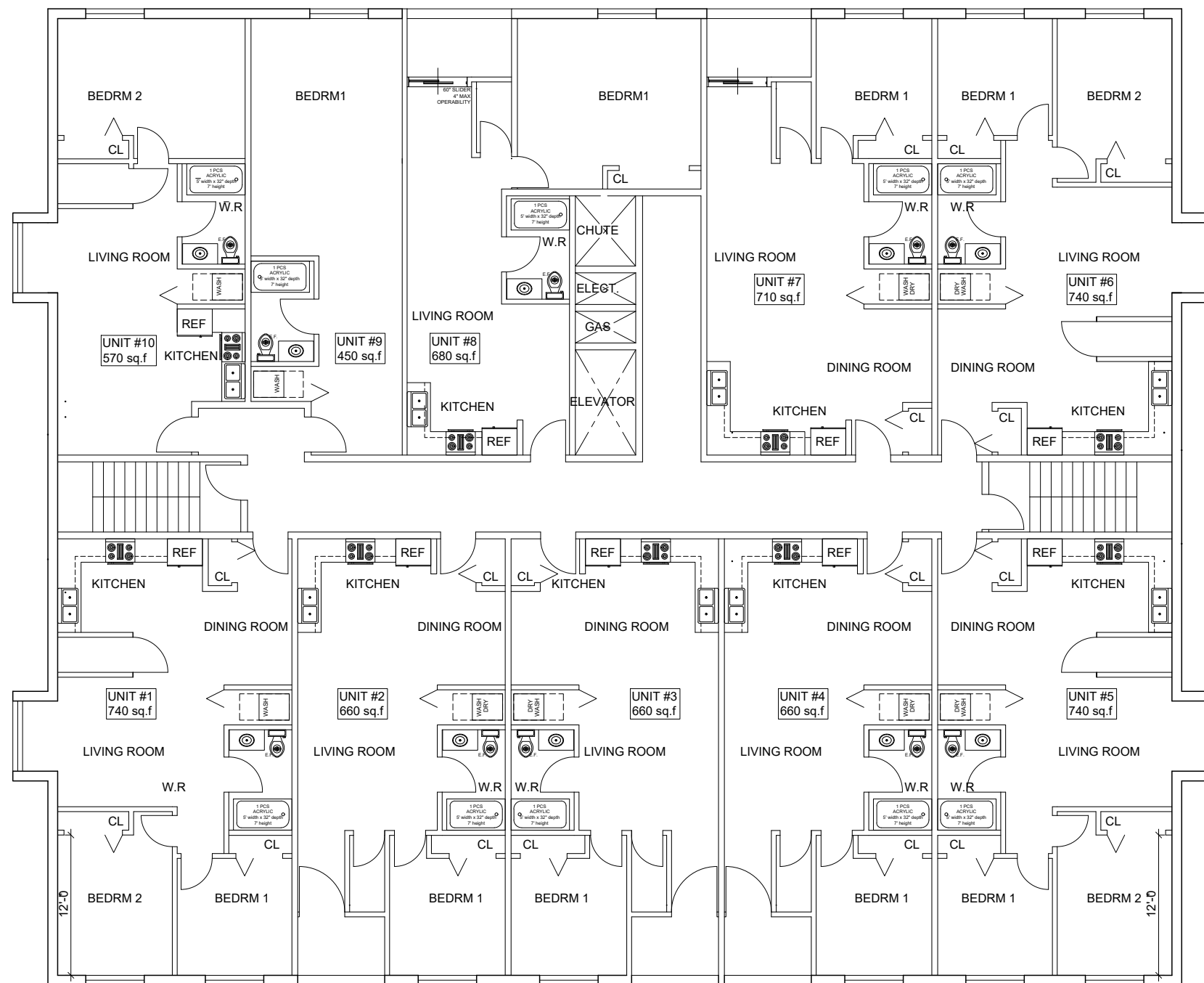
DWG. TITLE
PRELIMINARY FLOOR PLANS
FIRST FLOOR

DATE	: MAY 2021
SCALE	: AS NOTED
DESIGNED BY	: JF
DRAWN BY	: JF
CHECKED BY	: AP
APPROVED BY	:
PROJECT NO.	: 20-147
DWG. NO.	:

A-1



KEY PLAN
N.T.S.



DATE	NO.	ISSUED FOR
20 MAY '23		PRE-APPLICATION
01 JUN. '22		PRE-APPLICATION
16 NOV. '21		PRE-APPLICATION
15 JUNE. '21		CLIENT REVIEW

PROJECT
**NEW RESIDENTIAL
BUILDING COMPLEX**

1140 GOYEAU ST./1140 WINDSOR AVE.
WINDSOR, ONTARIO N9A 1J1

DWG. TITLE
PRELIMINARY FLOOR PLANS
2nd-6th FLOORS PLAN

DATE	: MAY 2021
SCALE	: AS NOTED
DESIGNED BY	: JF
DRAWN BY	: JF
CHECKED BY	: AP
APPROVED BY	:
PROJECT NO.	: 20-147
DWG. NO.	:

A-2



LASSALINE

PLANNING CONSULTANTS INC.

REPORT: PLANNING RATIONALE REPORT (PRR)
MUNICIPALITY: CITY OF WINDSOR
MUNICIPAL ADDRESS: 1140 GOYEAU and 0 WINDSOR AVE
DEVELOPMENT: ZBA
DATE: JULY 28, 2024 (REV.)

1632 County Road 31
St. Joachim, ON · NOR 1S0

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APPENDIX A - 'RESIDENTIAL DISTRICT 3.3 (RD3.3)'
APPENDIX B - 'SHADOW STUDY'

1.0 INTRODUCTION

Lassaline Planning Consultants (LPC) has been retained to undertake a Planning Rationale Report (PRR) regarding the feasibility of a site-specific Zoning By-law Amendment (ZBA) to support the development of a medium profile, 6 storey (22.9 m height) residential building. The redevelopment consists of a 6 storey building containing 54 residential units and 80 parking spaces. The development sites consist of a conjoined parcel comprising **Lot B** (1140 Goyeau Street) and **Lot A** (0 Windsor Ave) with the building to be located on **Lot B**.

The subject property is presently designated 'Residential' on Schedule D of the in the Official Plan for the City of Windsor and is zoned 'Commercial District (CD1.5)' and S. 20(1) in the Comprehensive Zoning Bylaw (CZB) 8600 for the City of Windsor.

A site-specific ZBA has been requested to rezone the lands from 'Commercial District (CD1.5)' to a site specific 'Residential District (RD3.3 #)' to allow for a proposed residential building. The proposed building is considered a medium profile height at 23 m and with 54 residential dwelling units in the 6 storey multi-unit building. The proposal includes 80 car parking spaces and 4 bicycle parking spaces.

A pre-consultation was held with the City of Windsor, Planning Department with a response letter under file PS 032-22 to Anthony Pipilo, Nufusion. Lassaline Planning Consultants has prepared this planning rationale report to support, explain and justify the Zoning Bylaw Amendment (ZBA) application.

1.1 PURPOSE OF THE REPORT

With the request to develop the site for a residential rental multi-unit building in a mixed use neighbourhood, a Zoning Bylaw Amendment (ZBA) is required to recognize the proposed land use and the site characteristics.

The proposed residential medium density development, in my professional opinion and as discussed and examined in this PRR, conforms with relevant policies of the Official Plan for the City of Windsor. Policies in place supports the proposal in the 'Residential' designation and it is my professional opinion an Official Plan Amendment is not required.

This planning rationale report will demonstrate the consistency of the proposal with the Provincial Policy Statement (PPS) 2020 and how the development is consistent with provincial housing policies, provides for healthy community initiatives, provides for healthy, walkable community policies of the province. Examining the proposed new building within the policy framework of the City of Windsor's Official Plan. Analysing the site and development characteristics in context of the Comprehensive Zoning Bylaw (CZB) 8600 for the city and determining compliance of the ZBA with the CZB regulatory framework.

The subject lands are zoned 'Commercial District (CD1.5)' and Section 20(1)52 in the CZB 8600 for the City of Windsor. A residential multi-unit building is not a permitted use in the present Bylaw 8600.

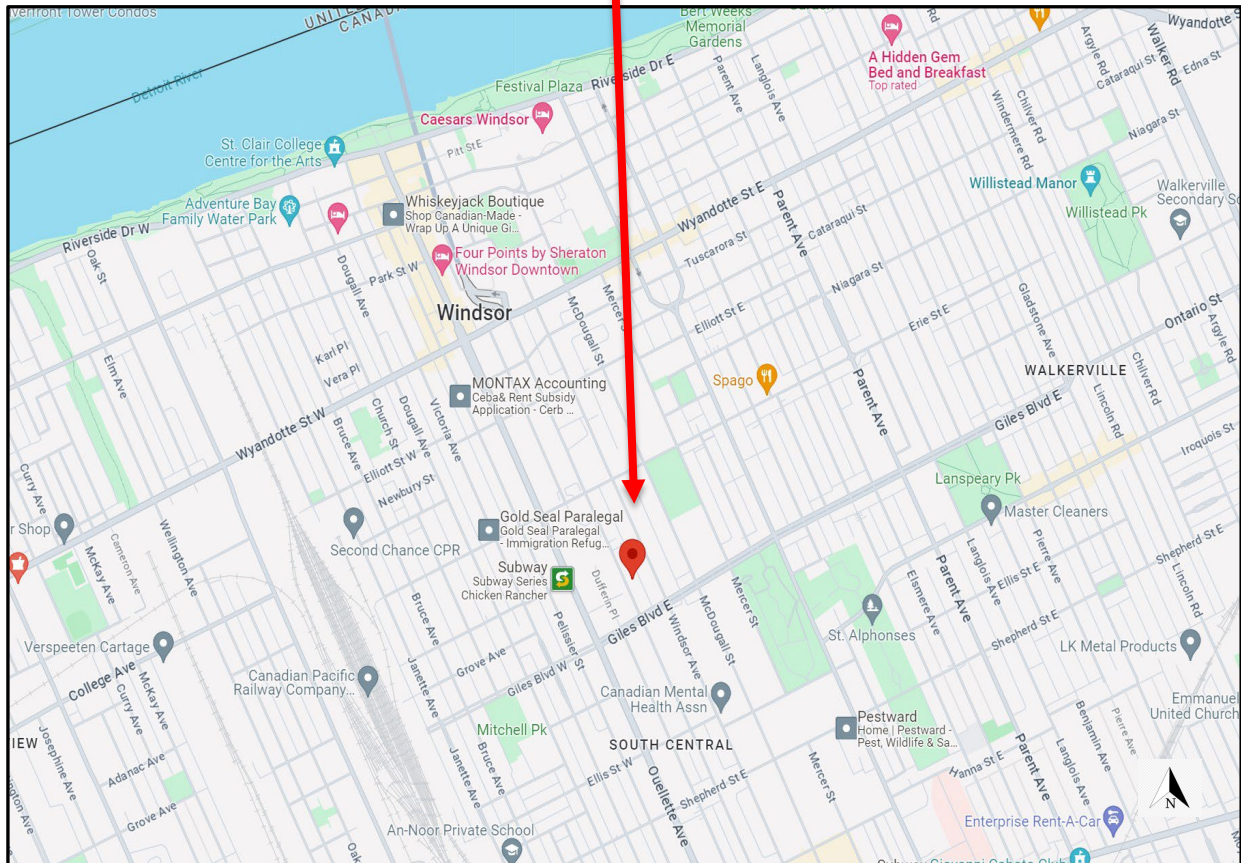
A site-specific Zoning By-law Amendment (ZBA) is requested with the application of a 'Residential District (RD3.3 #)' regulatory framework and a site specific provision to address landscaped open space and a provision to recognize the residential building on **Lot B** and the majority of the parking on **Lot A**. The ZBA will establish a consistent regulatory framework for the site to support the proposed development of a 6 storey (23 m height) building with 54 residential rental apartment units, 80 residential parking spaces, and 4 bike parking spaces.

This report provides the rationale and support for the requested site specific Zoning Bylaw Amendment (ZBA) that will rezone the lands from 'Commercial District 1.5 (CD 1.5)' to a site specific 'Residential District (RD3.3 #)' regulatory framework.

2.0 SITE LAND USES

The applicant proposes to develop the subject property municipally known as 1140 Goyeau Street with a multi-unit residential building consisting of 54 residential units in a 6 storey, medium profile building in a mix used neighbourhood.

FIGURE 1 – LOCATIONAL MAP: 1140 GOYEAU ST and O WINDSOR AVE

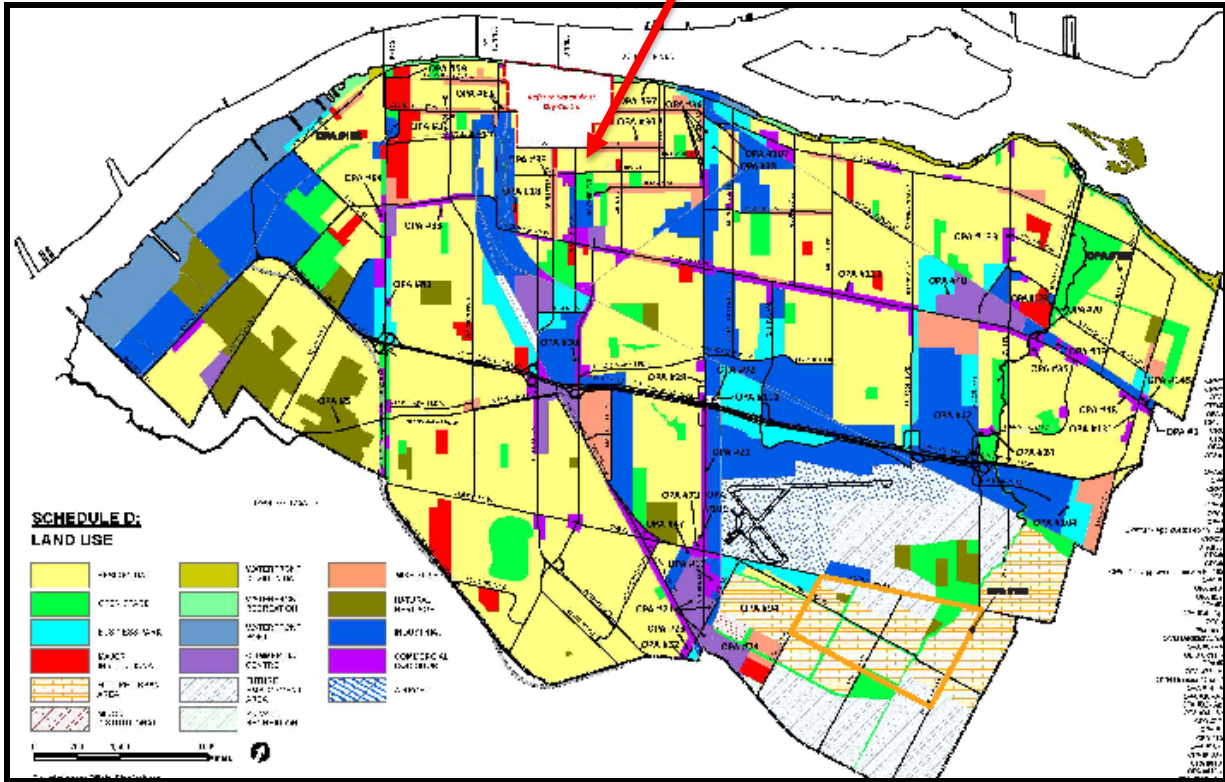


The site is in the South Central neighbourhood of Windsor in Ward 3. The site is not within a Secondary Plan or Special Policy Area. The subject site is not in the defined City Centre but is located on the periphery of the City Center.

As noted on **FIGURE 2 – SCHEDULE ‘A’ PLANNING DISTRICTS & POLICY AREA** the subject property is designated ‘Residential’ on Schedule D of the Official Plan for the City.

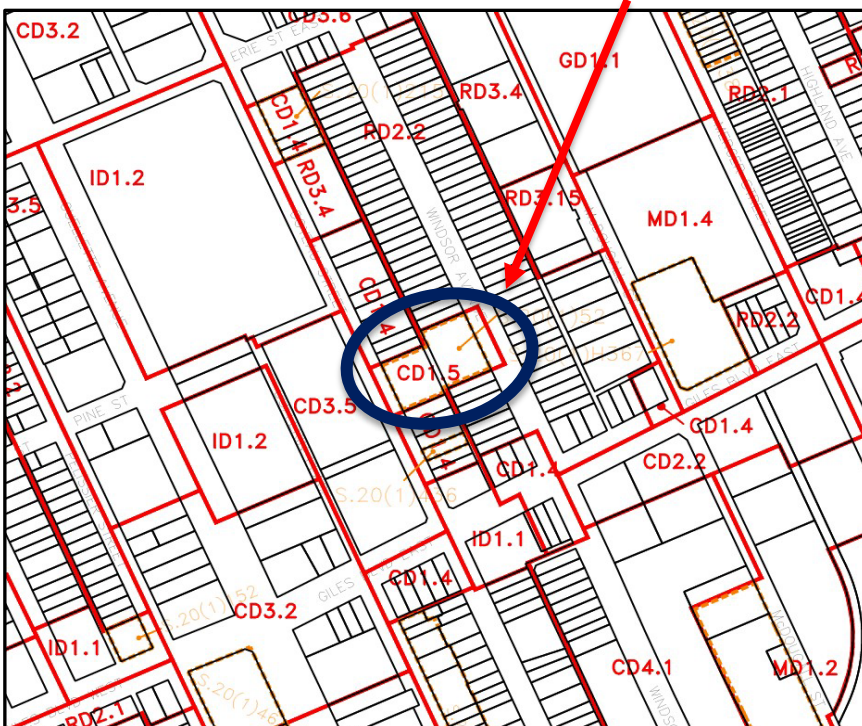
A ZBA to recognize the site for a medium profile, residential multi-unit building within the mixed use neighbourhood with a ‘Residential District (RD3.3 #)’ is proposed to establish a regulatory framework that is consistent with the neighbourhood and the City of Windsor Official Plan.

FIGURE 2 – SCHEDULE 'D' OFFICIAL PLAN LAND USE



The subject site is currently zoned 'Commercial District (CD1.5)' in the City of Windsor CZB 8600 as shown on **FIGURE 3 – ZONING MAP**

FIGURE 3 – ZONING MAP 1140 GOYEAU ST AND 0 WINDSOR AVE

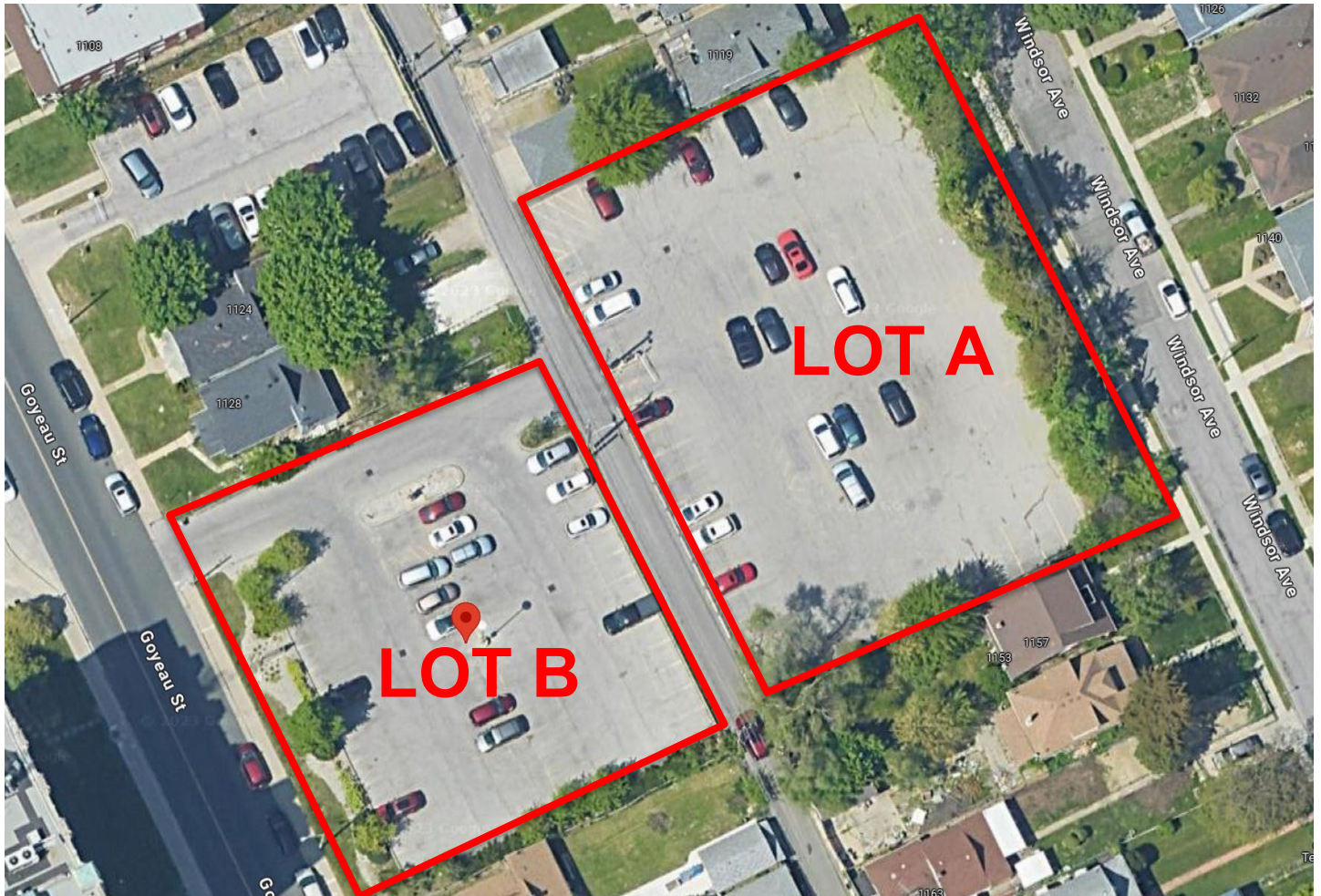


2.1 SIZE AND SITE DIMENSION

Lot A (0 Windsor Ave) – has a lot frontage of 55 m along the alleyway and a lot area of 2,159 m². Lot A is to remain vacant and will be used for 80 parking spaces.

Lot B (1140 Goyeau Street) – has a lot frontage of 46 m on Goyeau and a lot area of 1,656 m².

FIGURE 4 – EXISTING VACANT LOTS



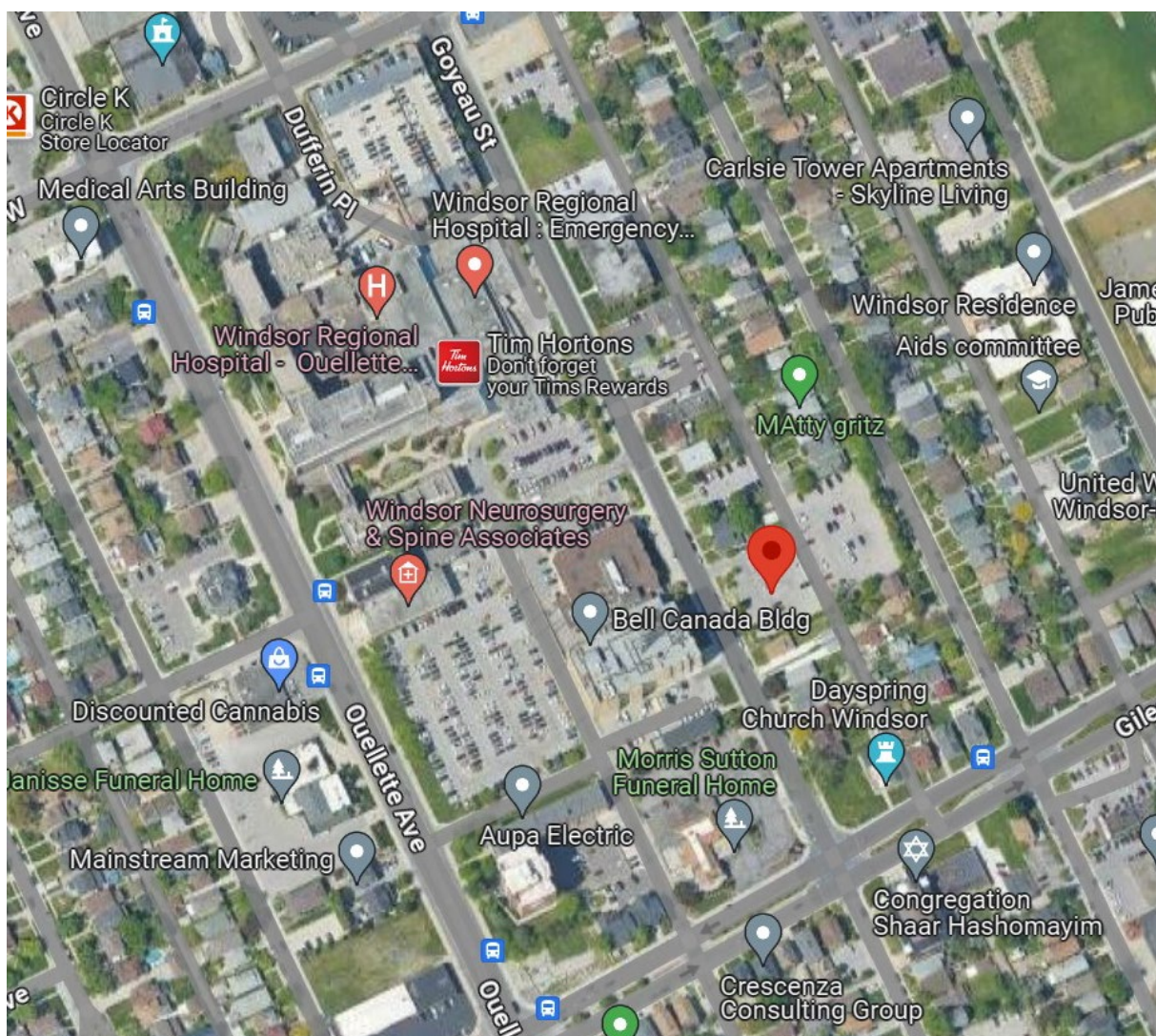
2.2 SURROUNDING LAND USES

The neighbourhood is a mix of uses including residential, commercial and major instructional with Windsor Regional Hospital, Ouellette campus across the street from the subject lands. The proposed

Ouellette Street is a major arterial road 1 block to the west of the subject lands. Ouellette Street is a major bus route for the City,

The new development is proposed within a mixed-use neighbourhood that is supported by municipal transit, by active transportation (paved sidewalks and separated bike lanes) and is within close walking distance to many commercial and institutional uses.

FIGURE 5 – NEIGHBOURHOOD USES



- a) **North** – residential homes, community services (Windsor Residence Aids Committee),
- b) **East** – United Way offices, residential homes.
- c) **South** – Dayspring Church, Morris Sutton Funeral Home, Jewish Temple.
- d) **West** – Bell Canada Building, Windsor Neurosurgery, Windsor Regional Hospital, Ouellette campus.

FIGURE 6 – NEIGHBOURHOOD AERIAL



3.0 DEVELOPMENT PROPOSAL

The applicant is proposing to develop the subject lands with a 6 storey, medium profile, residential multi-unit building containing 54 rental apartment units. The proposed development is a residential intensification and an infill development on an underutilized site. The use of the vacant lot for the new multi-unit building and the use of the adjacent vacant lands for parking is a coordinated, sound planning approach to the infill development.

The site is located in the immediate periphery to the CBD of the city with all amenities within close proximity. The site is located in close proximity to the main transit line for the city. The residential use is compatible with the residential uses and the mixed use profile of the neighbourhood. The residential building is well suited for the mixed use neighbourhood and will provide needed rental accommodation for staff associated with the hospital and other community agencies and office uses within proximity. The multi-unit building will provide for older neighbours in the adjacent residences to 'age in place'.

The proposed residential rental apartment units will provide an alternative housing form and tenure from the single detached houses more commonly available in Windsor. These units will address the historically low vacancy rate of 1.8% for rental units in the City by providing additional renting housing stock.

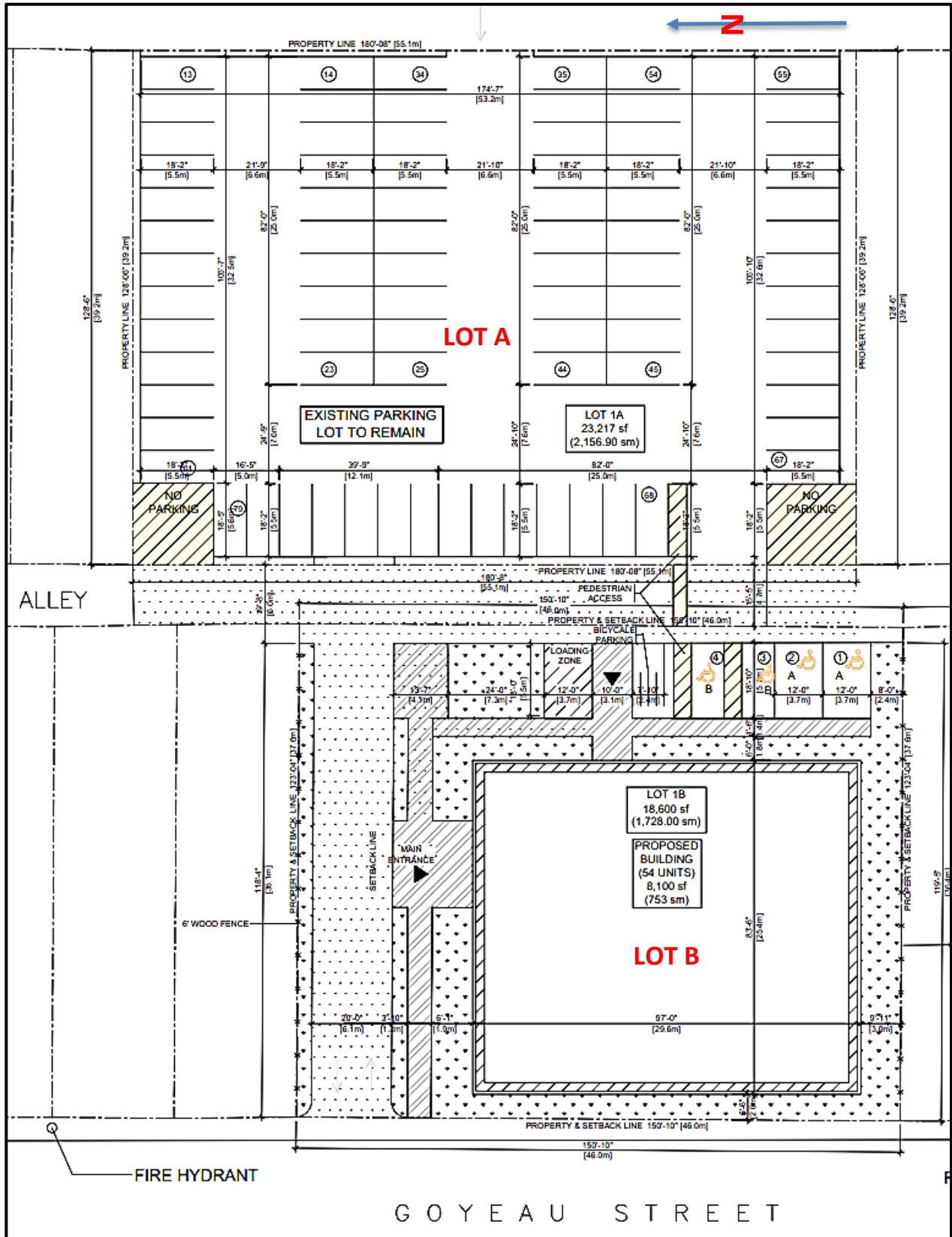
There are like and similar buildings with multiple storeys and other medium profile residential buildings within the immediate neighbourhood making the proposed building comparable and compatible with the neighbourhood.

The applicant is **requesting a ZBA** that will change the zoning from 'Commercial District 1.5 (CD1.5)' to '**Residential District (RD3.3 #)**' to support the construction of the proposed medium profile, 6 storey building with 54 residential units in a multi-unit building, One site specific provision is being requested to recognize landscaped open space at 28%. A second site specific provision has been requested to conjoin 1140 Goyeau Street (Lot B) and 0 Windsor Avenue (Lot A) with the building on Lot B and the parking lot on Lot A.

There will be 80 total parking spaces; 4 bike parking spaces, and 4 barrier free proposed to be located on site to be associated with the multi-unit building and the residential units.

3.1 SITE PLAN

FIGURE 7 – SITE PLAN LOTS A AND B



3.2 OPEN HOUSE:

240 Notices were mailed out to neighbours of the site. An Open House was held October 26, 2023 from 5:30-7:30. No one attended.

FIGURE 8 – NEIGHBOURHOOD USES

OPEN HOUSE

OCTOBER 26, 2023 | 5:30 P.M. – 7:30 P.M.

850 OUELLETTE AVE., WINDSOR



We are excited to introduce the community to our new development at 1140 Goyeau Street. This project is conveniently centrally located near local amenities and features a multi- residential building with a total of 59 units and 80 parking spaces.

We invite you to come and meet us and attend the Public Open House to learn more about the development. Our project team will be there to welcome guests and discuss comments and questions.

**FOR MORE INFORMATION
REGARDING THE OPEN HOUSE**

PHONE:
519-818-1633

EMAIL:
altanota@live.com
OR
Jackie Lassaline:
jackie@lassalineplan.ca



3.3 SEWER CAPACITY

Sewer Capacity Study was completed by Dillon Consulting in Windsor ON with the following conclusions:

“Dillon was retained by Valdez Engineering to complete a sewer capacity assessment for the combined sewers on Goyeau Street for the proposed multi-storied residential development on 1140 Goyeau Street. The City has confirmed through correspondence with the client that stormwater flows from the proposed development will outlet to the existing storm sewer along Goyeau Street, flowing south towards Giles Boulevard. The existing combined sewer on Goyeau Street, flowing north towards Erie Street East, will be the outlet for only sanitary flows from the proposed development.

The proposed development at 1140 Goyeau Street is proposed to consist of a total of 59 residential units and estimated to result in a peak sanitary flow rate of approximately 4.79 L/s from the drainage area containing the development area. The additional flow can be accommodated within the existing sanitary sewer along Goyeau Street without a significant increase in risk of basement flooding due to sanitary sewer surcharging.

The existing conditions combined sewer HGL along Goyeau St is at a minimum depth of 0.12 m below the existing ground surface for the 25 year boundary conditions and 0.51 m above the existing ground surface for the 100 year boundary conditions. There is no increase in HGL in the combined sewers along Goyeau St within the study area during the 25 year and 100 year event simulations due to the relatively minor flows contributed by the proposed development.

Accordingly, we are of the opinion that the increased sanitary sewer flows from the proposed development can be accommodated with negligible impacts to the existing sanitary sewer system and risk of basement flooding. The sanitary flows from the site are recommended to be monitored so as to not exceed design flows during wet-weather events.”

3.4 STORM WATER MANAGEMENT REPORT

Ambashi Engineering, 1080 Tapscott Road, Unit 24, Scarborough ON M1X 1E7 prepared the attached SWM Report and Plan.

“7.0 CONCLUSION

Concerning the development of the property (1140 Goyeau Street) within the Town of Windsor, the proposed Stormwater drainage system will address the Stormwater management requirements of the city of Windsor in that:

- The proposed storm sewer system is adequate for the peak discharge rate from the site directly discharging to the Walker Road storm sewer.
- Maximum site allowable stormwater release rate: 25.18 L/s (based on a 0.078 Ha site).
- For a one-in-five-year storm, the maximum runoff rate increases from 18.10 L/s (pre-development) to 25.18 L/s (post-development), a 39.2% increase.
- For a one-in-100-year storm, the maximum runoff rate increases from 29.01 L/s (pre-development) to 40.37 L/s (post-development), a 39.1% increase.
- A maximum volume of 6.63 cubic meters is required during the governing 1:5-year event.
- Employing an Oil-Grit Separator will provide the removal of 91.3% Total Suspended Solids (TSS) and >90% Volume Treatment for the site which will discharge to the Calderwood Avenue storm sewer.
- The total capacity of ponding at the parking lot is 41.75 cum, which is significantly more than the required storage of 6.63 cum for a 1:5 Year Storm Event as well as a Required 17.51 cum for a 1:100 Year Storm Event. The proposed Ponding has adequate capacity for the required storage during the governing 1:5-year as well as 1:100-year storm events.
- The report also covers erosion and sediment control measures to be taken by sections B and C of Guidelines on Erosion and Sedimentation Control for Urban Construction Sites, published by the Government of Ontario.”

3.5 RENDERINGS

FIGURE 9 – RENDERING LOOKING NORTH EAST



FIGURE 10 – RENDERING LOOKING NORTH

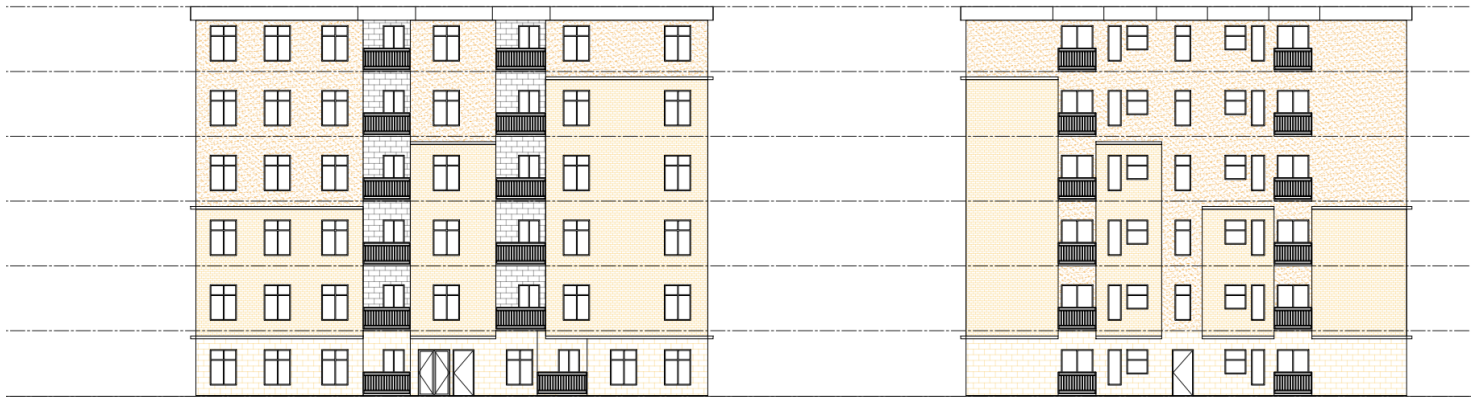


3.6 ELEVATIONS

FIGURE 11 – ELEVATIONS



2 REAR AND SIDE ELEVATIONS
NTS



1 FRONT AND SIDE ELEVATIONS
NTS

3.7 FLOOR PLANS

FIGURE 12 – MAIN FLOOR PLANS

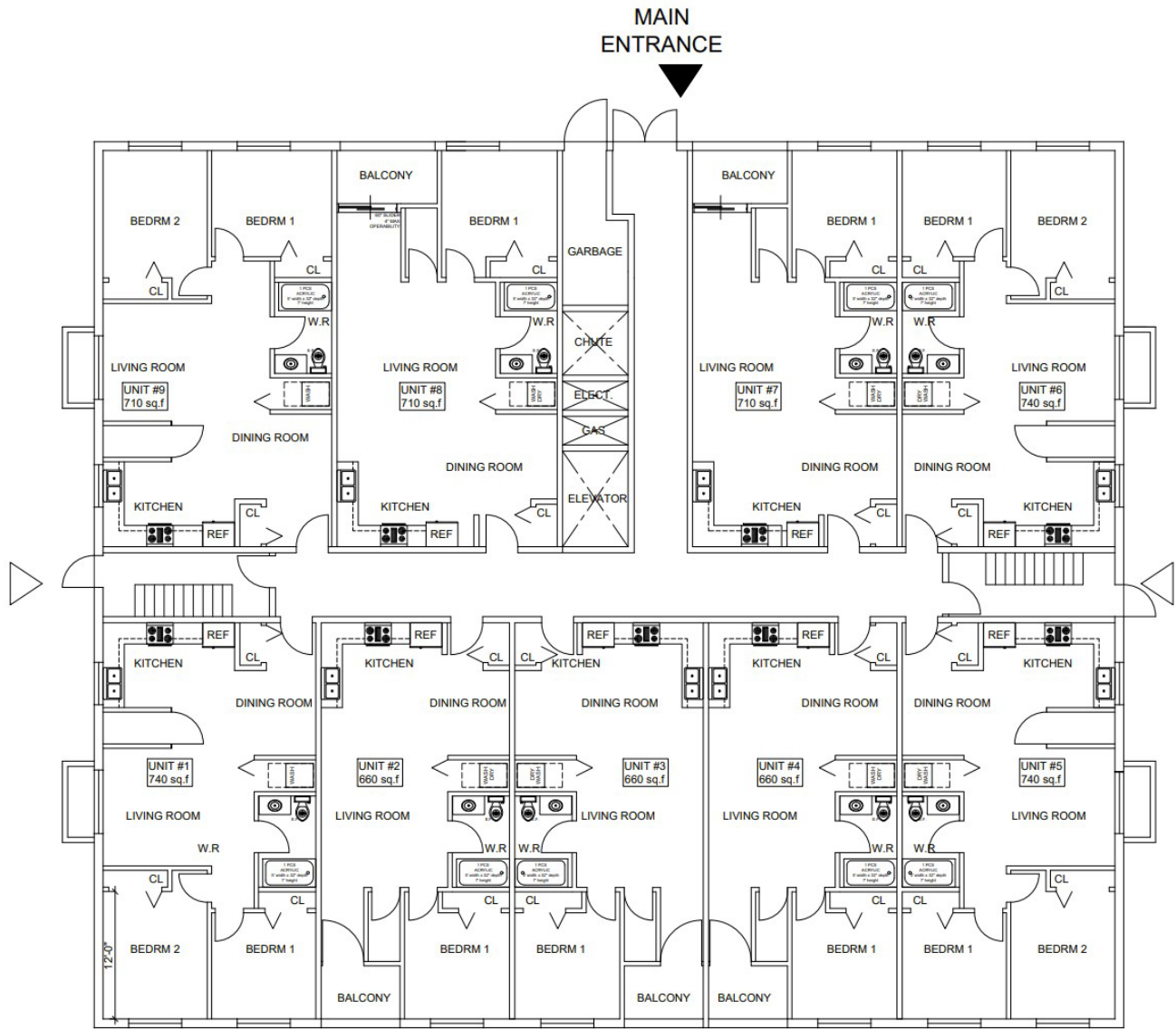
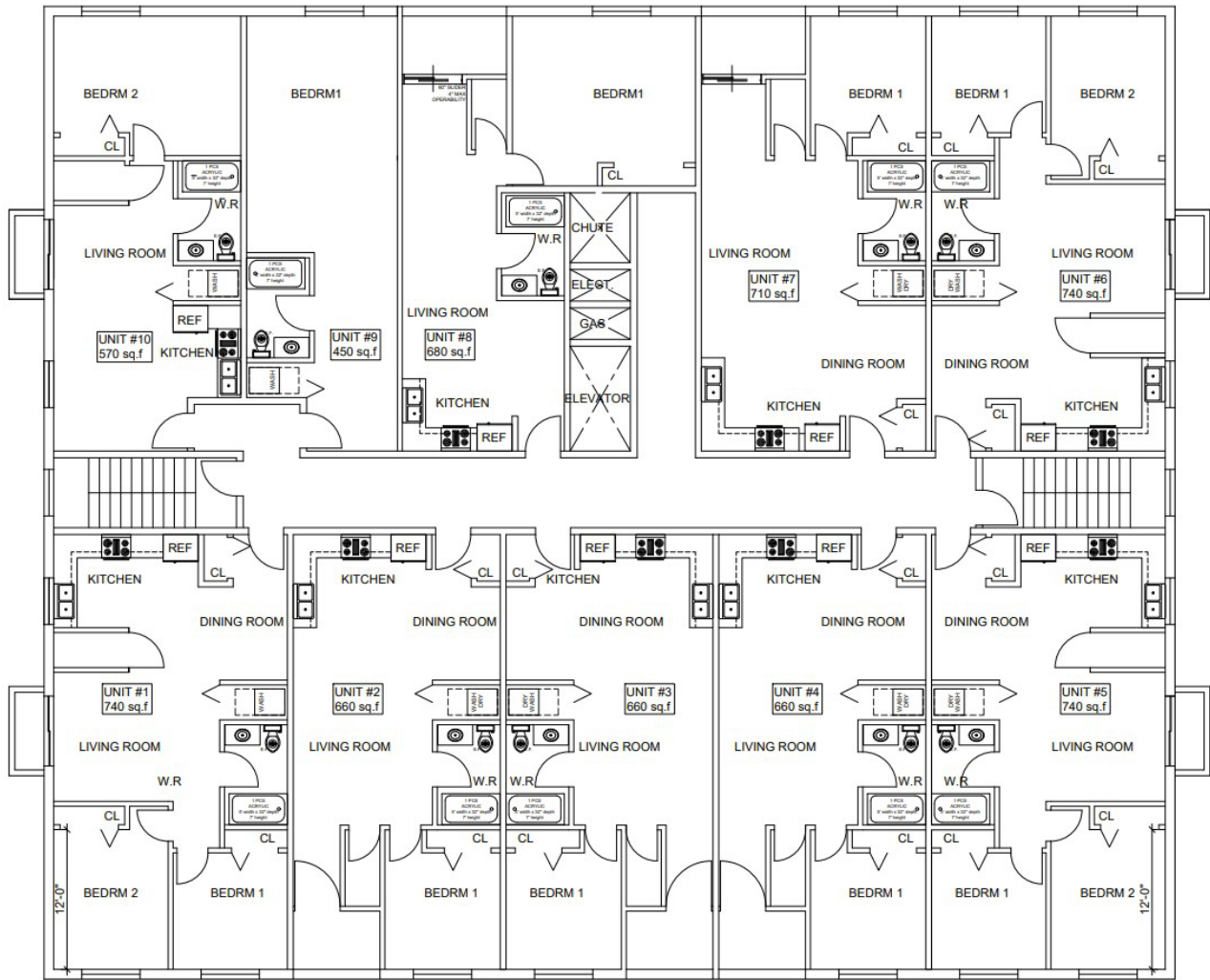


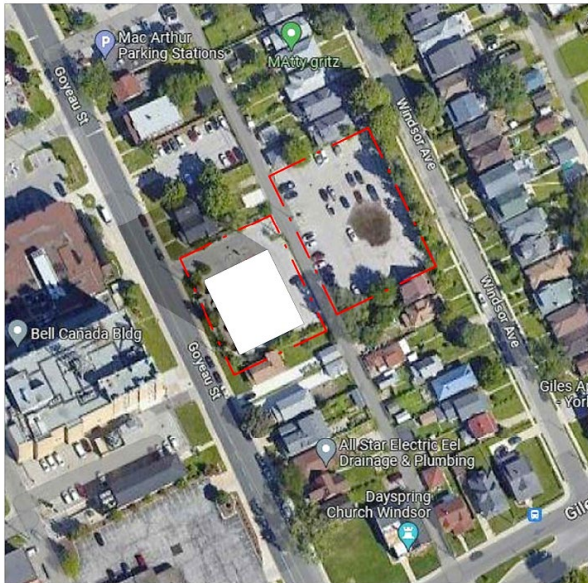
FIGURE 13 – UPPER FLOOR PLANS



3.8 SHADOW STUDY

The shadow study shows the 5 storey residential building and the shadow cast at the four seasons: March 21 (Spring Equinox); October 21 (Autumnal Equinox); June 21 (Summer Solstice); and December 21 (Winter Solstice).

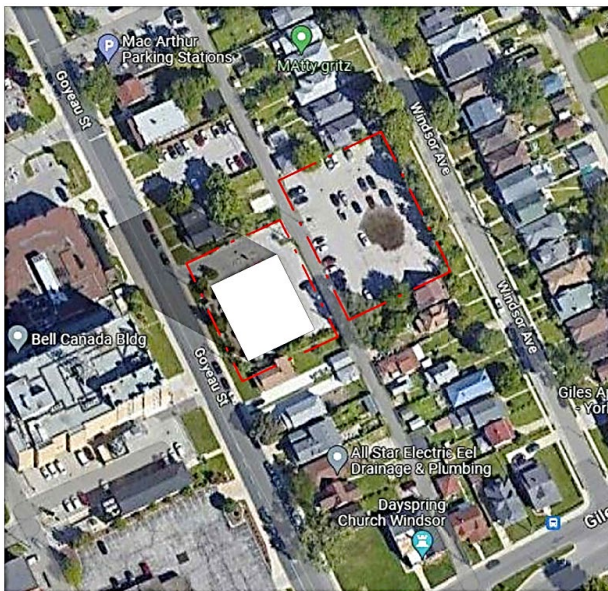
FIGURE 14 – SHADOW STUDY SAMPLES



1 SEPTEMBER 21 09 18 AM
1 : 1000

Spring Equinox :

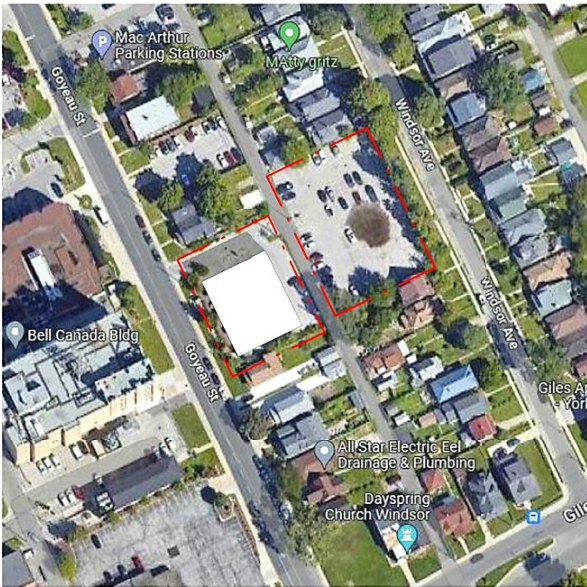
The morning starts with a minor shade on the residence to the north at 9:00 am however this quickly moves and can be considered, in my professional opinion, as negligible as the shadow dissipates by noon..



1 MARCH 21 09 18 AM
1 : 1000

Fall Equinox:

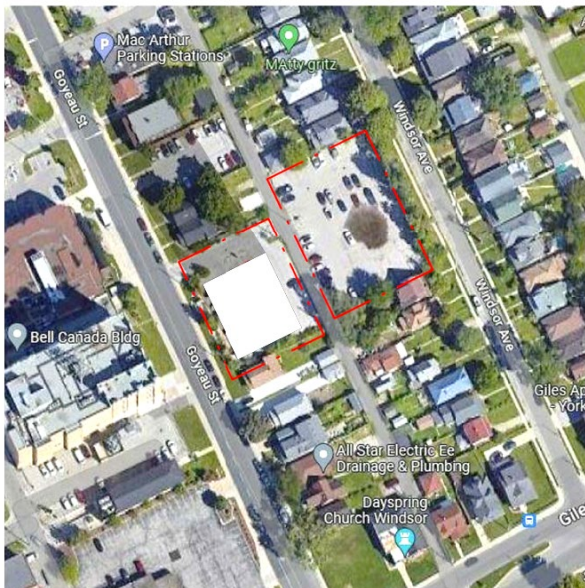
The morning starts with a minor shade on the residence to the north at 9:00 am however this quickly moves and can be considered, in my professional opinion, as negligible as the shadow dissipates by noon.



Summer Solistic:

During the summer period, the sun is directly overhead of the building and does not result in a shadow on the neighbourhood of the 6 storey building.

3 JUNE 21 11 18 AM
1 : 1000



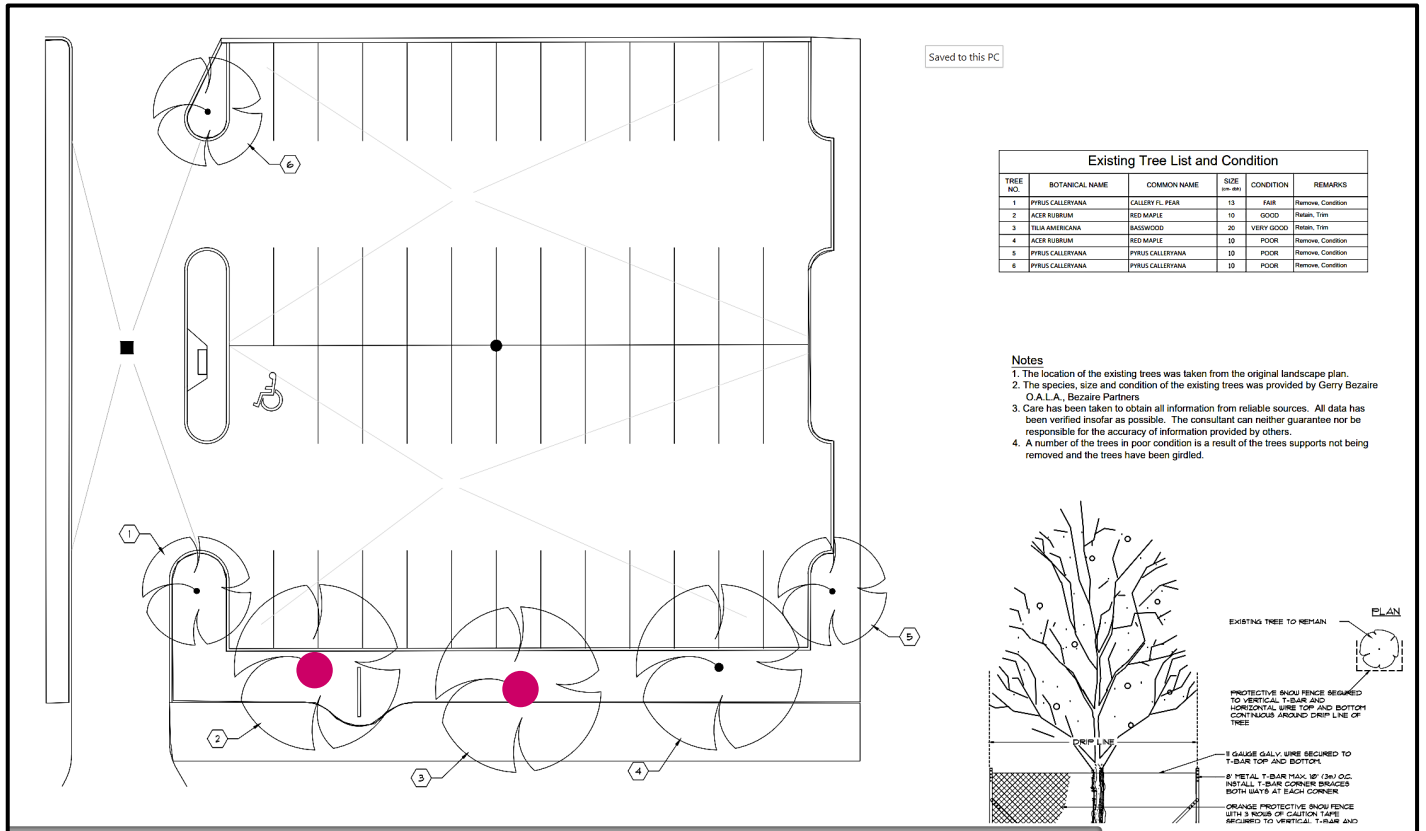
Winter Solistic: There is shadow on the northern lots to the north during the winter months however, similar to the spring and fall equinox, the shadow dissipates by noon and, in my professional opinion, does not have a significant impact on the neighbourhood.

2 DECEMBER 21 10 18 AM
1 : 1000

3.9 TREE SURVEY

The tree survey was completed and shows that the **trees 1, 4, 5 and 6** are to be removed due to their poor condition while efforts will be made to retain trees **2 and 3**.

FIGURE 15 – TREE SURVEY



4.0 PROVINCIAL POLICY STATEMENT (PPS)

The *Planning Act, R.S.O. 1990, c.P. 13*, as amended, requires that the Council of a local Municipality shall make decisions on development applications which are consistent with the Provincial Policy Statement (PPS), 2020.

The PPS was issued by the Ministry of Municipal Affairs and Housing under the *Planning Act* and provides direction on matters of provincial interest primarily related to land use planning and development. The policies within the PPS apply province-wide and are an integral part of the Ontario's policy led planning system.

The PPS generally aims to encourage the wise use and management of land and other resources, promote the development of healthy and prosperous communities, protect public health and safety, and protect the natural environment. Specifically, the primary directives of the PPS include:

“Section 1.1.1 Healthy, liveable and safe communities are sustained by:

(a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;”

COMMENT:

In my professional opinion, the proposed ZBA to support the development of the site with the new 6 storey, 54 unit residential building will create an efficient and effective use suited and compatible with the existing neighbourhood.

(b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;”

COMMENT:

The medium profile residential building with 54 apartments will, in my professional opinion, provide for an alternative style and tenure of housing to the standard single detached residential housing. The site-specific ZBA will facilitate the provision of a variety and diversity of housing Windsor needs to support a healthy community.

The building is located in a neighbourhood of a mix of uses including Windsor Regional Hospital across Goyeau Street from the site. The new apartment building will provide for housing for staff within the hospital and other supportive community offices within the neighbourhood.

In my professional opinion, the proposed ZBA conforms with the relevant policy of the OP.

“(c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;”

COMMENT:

There are no public health, environmental or safety concerns associated with the development of the property.

“d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;”

COMMENT:

The subject lands are located within the urban settlement area of the City of Windsor. The new building creates an infilling development on an underdeveloped lot within an established mixed-use neighbourhood. The medium profile building provides a housing tenure and style diversification that is compatible with the neighbourhood. In my professional opinion, the development will support the efficient and effective establishment of an appropriate alternative residential housing in an appropriate mixed-use area.

“(e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;”

COMMENT:

The site is adjacent to Ouellette, a major bus route in the Windsor Transit. The property is located adjacent to the city centre and within a short walking distance to all the institutional and commercial amenities available within the downtown of Windsor. Bike racks will be provided to support the utilization of municipal trails.

Municipal sanitary and piped water services are available to the site. The location will allow for an efficient and effective development while providing for a cost-effective utilization of existing municipal infrastructure. As noted in the Engineering report, there is municipal capacity to accommodate the proposed land use and the development will not result in an expansion of municipal infrastructure.

The proposed development of a medium profile building mixed-use building is an appropriate infill within the mixed use neighbourhood.

In my professional opinion, the proposal is consistent with and supports the establishment of alternative housing tenure and style; supports the cost-effective use of the property while minimizing land consumption; and supports the efficient and effective utilization of municipal infrastructure while being neighbourhood compatible.

“(f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;”

COMMENT:

Interior elevators will enhance the accessibility of the building for older persons and persons with disabilities. Four Barrier Free parking spaces will be provided. Building accessibility will be established in compliance with the OBC for all residential units.

“(g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;”

COMMENT:

As noted in the Civil Works report there is sufficient capacity available in the municipal infrastructure to accommodate the proposed 54 residential dwelling units. The proposed development, in my professional opinion, is considered an efficient and effective utilization of municipal infrastructure and is consistent with these PPS policies.

“(h) promoting development and land use patterns that conserve biodiversity; and”

COMMENT:

The proposed mixed-use building with 54 multi-unit building will further intensify the use of an existing built-up area.

The infill development and residential intensification on an underused lot minimizes the consumption of land resources by maximizing the efficient use of a small footprint of land.

The proposed building relieves development pressure on areas of high-quality habitat by infilling and intensifying an underused lot which holds no habitat suitable for Species At Risk, thereby conserving biodiversity.

“j) preparing for the regional and local impacts of a changing climate.”

COMMENT:

In my professional opinion, the proposed development is consistent with the PPS in preparing for impacts of a changing climate.

The development will reduce carbon emissions through providing residents with:

- opportunities for a live-work community in a mixed-use neighbourhood, reducing the need to commute long distances to work
- paved sidewalks
- bike racks
- nearby supportive commercial amenities, reducing the need to travel outside of the neighbourhood
- access to nearby bus routes.

The proposed development will feature appropriate stormwater mitigation strategies to address a 1 in 100 year storm.

It is my professional opinion that the multiple dwelling design of the building will conserve energy used for heating and cooling.

“Section 1.1.3.2 Settlement Areas

Land use patterns within settlement areas shall be based on densities and a mix of land uses which:

- (a) efficiently use land and resources;*
- (b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
- (c) minimize negative impacts to air quality and climate change, and promote energy efficiency;*
- (d) prepare for the impacts of a changing climate;*
- (e) support active transportation;*
- (f) are transit-supportive, where transit is planned, exists or may be developed; and*
- (g) are freight-supportive.*

Land use patterns within settlement areas shall also be based on a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.”

COMMENT:

The proposed development is an efficient use of the existing municipal services and can be considered an appropriate use of the subject lands. There is no need to expand municipal services to accommodate the proposed development.

The proposal supports active transportation and municipal transit.

In my professional opinion, the proposed residential development is an efficient, effective development for the site and supportive of the PPS policies ensuring compatible new development within the existing neighbourhood.

“Section 1.1.3.3 Settlement Areas

Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.”

COMMENT:

The subject lands are within a short walking distance to supportive commercial amenities, including a grocery store, pharmacies, and an Urgent Care centre. A public transit line and a separated bike path are within a short walk.

The ZBA will support the evolution of an underused property for the establishment of a new medium profile, mixed use building with retail space on the ground floor and 54 residential rental units that will provide needed residential accommodation as alternative tenure and style of housing.

The proposed building will be within a couple lots of a similarly zoned ‘Commercial District (CD3.10)’ property that is under construction for a 6 storey, mixed use building considered a medium profile mixed-use building.

It is my professional opinion that the proposed is consistent with this policy of the PPS.

COMMENT:

In my professional opinion, the proposed residential development is an efficient, effective development that provides for an alternative housing tenure and style needed within the neighbourhood. The location will support the 'live work' concept that will allow residents to reside in the same neighbourhood as many employment opportunities in the nearby retail shops, restaurants, and commercial businesses. As well, the rental multi-unit building will support existing residents to age in place and remain in their neighbourhood.

"Section 1.1.3.4 Settlement Areas

Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety."

COMMENT:

In my professional opinion, the proposed development creates an appropriate residential intensification and infill on an existing parcel that does not pose any health and safety concerns consistent with the PPS policies.

"Section 1.4.1 Housing

To provide for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area, planning authorities shall:

- (a) maintain at all times the ability to accommodate residential growth for a minimum of 15 years through residential intensification and redevelopment and, if necessary, lands which are designated and available for residential development; and*

- (b) *maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned to facilitate residential intensification and redevelopment, and land in draft approved and registered plans. Upper-tier and single-tier municipalities may choose to maintain land with servicing capacity sufficient to provide at least a five-year supply of residential units available through lands suitably zoned to facilitate residential intensification and redevelopment, and land in draft approved and registered plans.”*

COMMENT:

In my professional opinion the proposed 6 storey, medium profile rental housing will effectively respond to the demand for rental housing in the City of Windsor, consistent with the PPS policies. Windsor presently has a historically low rental vacancy rate of 1.8%, and the population of the City is expected to grow. The proposed development will contribute much needed stock of high quality, purpose built rental housing.

“Section 1.4.3 Housing

Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:

- (a) *establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate income households and which aligns with applicable housing and homelessness plans. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with the lower-tier municipalities may identify a higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;*
- (b) *permitting and facilitating:*
1. *all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes and employment opportunities; and*
 2. *all types of residential intensification, including additional residential units, and redevelopment in accordance with policy 1.1.3.3;*
- (c) *directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;*

- (d) *promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed;*
- (e) *requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations; and*
- (f) *establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.”*

COMMENT:

In my professional opinion, the proposed development of a six-storey mixed-use building with 54 units of rental apartments will provide for an alternative range and tenure of housing within the city, consistent with PPS policies.

The increased density of the proposed development will benefit existing public transit and active transportation networks while utilizing existing municipal infrastructure in a cost-effective manner.

The development of the site for a 6 storey medium density building will provide for a more efficient and effective use of the property than the present existing vacant use.

“Section 1.8.1 Energy Conservation, Air Quality and Climate Change

Planning authorities shall support energy conservation and efficiency, improved air quality, reduced greenhouse gas emissions, and preparing for the impacts of a changing climate through land use and development patterns which:

- (a) *promote compact form and a structure of nodes and corridors;*
- (b) *promote the use of active transportation and transit in and between residential, employment (including commercial and industrial) and institutional uses and other areas;*
- (c) *focus major employment, commercial and other travel-intensive land uses on sites which are well served by transit where this exists or is to be developed, or designing these to facilitate the establishment of transit in the future;*

- (d) *focus freight-intensive land uses to areas well served by major highways, airports, rail facilities and marine facilities;*
- (e) *encourage transit-supportive development and intensification to improve the mix of employment and housing uses to shorten commute journeys and decrease transportation congestion;*
- (f) *promote design and orientation which maximizes energy efficiency and conservation, and considers the mitigating effects of vegetation and green infrastructure; and*
- (g) *maximize vegetation within settlement areas, where feasible.”*

COMMENT:

In my professional opinion, the proposed development is consistent with PPS policies by:

- Creating an efficient and compact building structure on a small footprint of land that is underutilized;
- supporting a pedestrian friendly mixed-use neighbourhood;
- promotes active transportation and its proximity to supportive commercial and institutional amenities;
- Supports existing public transit;
- Demonstrates a pedestrian friendly streetscape with visually attractive building design and landscaping.

COMMENT:

In my professional opinion, the requested ZBA is consistent with the 2020 PPS by supporting the sound and efficient managed intensification and growth associated with the mixed use development of the land use for the subject site. The proposed ZBA regulatory framework supports the development of these lands as a medium profile, mixed-use building as a compatible infilling development for the community. The proposed development, in my professional opinion, is consistent with the Provincial Policy Statement (PPS).

5.0 CITY OF WINDSOR OFFICIAL PLAN

The Official Plan for the City of Windsor is applicable to planning matters for the City. The subject property is located within the mixed use neighbourhood in the periphery to the city center. The lands are designated as ‘Residential’ in the City’s Official Plan under OPA No. 159. The following sections review City policies as they relate to the proposed development:

“Section 1.8.1 Energy Conservation, Air Quality and Climate Change

Planning authorities shall support energy conservation and efficiency, improved air quality, reduced greenhouse gas emissions, and preparing for the impacts of a changing climate through land use and development patterns which:

- (a) promote compact form and a structure of nodes and corridors;*

COMMENT:

The new building will be designed in compliance with the OBC and energy efficiencies where possible. The nature of the medium profile building supports energy conservation by providing for moderate density on site. EV charging stations will be included in the design. In my professional opinion the requested ZBA will support an environmentally sound development and conforms with OP policies.

“3.2.1.2 Neighbourhood Housing Variety

Encouraging a range of housing types will ensure that people have an opportunity to live in their neighbourhoods as they pass through the various stages of their lives. Residents will have a voice in how this new housing fits within their neighbourhood. As the city grows, more housing opportunities will mean less sprawl onto agricultural and natural lands.”

COMMENT:

The proposed 54 unit residential multi-unit building will be located within a mix of uses neighbourhood. The physical location of the building is an infill development and residential intensification on an under utilized lot and within a neighbourhood of compatible and comparable development.

In my professional opinion, the proposed development will reduce urban sprawl by providing for simultaneous retail and residential uses in a medium profile building of 6 storeys on a relatively small footprint of land.

In my professional opinion, the proposed apartment accommodation will support the live work scenario with the ability for tenants to be located within walking distance or located on a major bus route to work.

The proposed development conforms with the relevant policies of the OP.

“3.2.1.4 Community Design

The design of buildings and spaces will respect and enhance the character of their surroundings, incorporating natural features and creating interesting and comfortable places. Streets, open spaces and the greenway system will serve as public amenities connecting and defining neighbourhoods and contributing to Windsor’s image. New development in Windsor will accommodate the needs of pedestrians, cyclists and other recreational activities.”

COMMENT:

The building has been designed to emphasize the pedestrian. There is a minimal setback from Goyeau Street, with pedestrian entrances fronting on Goyeau and both the east and west sides of the building. The orientation of the building at the front of the lot, with parking behind the building, provides for an aesthetically appealing building. Bike racks will be located at the side of the building to promote cycling. There will be extensive landscaping. In my professional opinion, the proposed development conforms with the OP policy.

“3.2.3.5 Energy Efficiency

Windsor will encourage the design and construction of energy efficient buildings and landscapes to reduce air, water and land pollution and environmental impacts of energy production and consumption.”

COMMENT:

The new building will be designed in compliance with the OBC and energy efficiencies where possible. The nature of the medium profile building supports energy conservation by providing for moderate density on the site. In my professional opinion the requested ZBA will support an environmentally sound development that conforms with OP policies.

“3.3.2 Corridors

Corridors represent the backbones of the urban network structure. Neighbourhoods gravitate towards these corridors to serve their everyday needs or to connect with larger nodes, commercial centres and employment centres to access a wider range of services and opportunities. Corridors have opportunities for intensification that would provide a wider range of services and opportunities for adjacent neighbourhoods but also more opportunities to live and work in the area.”

COMMENT:

The ZBA will allow for the inclusion of a mixed-use development in the peripheral area of the City Center. The building will front on Goyeau, a local road and is connected to Ouellette Ave, a major arterial road. The residential apartment will provide for alternative housing tenure and style while accommodating live/work initiative and aging in place.

In my professional opinion, the ZBA supports an appropriate development that conforms with this policy of the OP.

“4.2.1 Healthy and Liveable City – Planning & Design

- 4.2.1.1 *To consider community health in the planning and design of Windsor and its neighbourhoods.*
- 4.2.1.2 *To provide for activities and facilities which will foster an active lifestyle to improve community health.*
- 4.2.1.4 *To protect against climate change and its possible adverse effects on human health, the physical environment, economy and quality of life.*
- 4.2.1.5 *To encourage a mix of housing types and services to allow people to remain in their neighbourhoods as they age.*
- 4.2.1.6 *To provide for pedestrian scale neighbourhood centres that serve the day-to-day needs of the local residents.”*

COMMENT:

The requested ZBA will support a healthy lifestyle for residents by encouraging walking and cycling with its proximity to goods and services that residents will need on a regular basis (grocery store, bank, pharmacies, restaurants); its proximity to a major institutional (health unit offices, hospital); and its inclusion of 6 spaces of bike parking on site. A live-work lifestyle is supported by the nature of the mixed-use neighbourhood which has many commercial businesses in the same area as residential dwellings, reducing the need for residents to travel to work by car.

The 54 residential apartment units offers a housing style and tenure that addresses the current housing crisis occurring in Windsor, evidenced by the historically low rental vacancy rate of 1.8% in 2022. The proposed development will provide needed stock of alternative housing.

In my professional opinion, the proposed development conforms with the healthy community initiative of the City of Windsor Official Plan policies.

“4.2.3 Quality of Life

- 4.2.3.1 *To encourage a mix of uses.*
- 4.2.3.2 *To encourage the location of basic goods and services close to where people live and work.*
- 4.2.3.3 *To recognize the needs of the community in terms of shelter, support services, accessibility and mobility.*

4.2.3.4 To accommodate the appropriate range and mix of housing.”

COMMENT:

The proposed development is located in short distance to a municipal transit route and will support the use of the municipal bike trail system. The residential apartment will provide for alternative housing style and tenure in a medium rise, 6 storey building that is compatible in height and massing with the neighbourhood. The multi-unit building will provide the existing residents access to health facilities, institutional and commercial uses including retail stores, restaurants, and commercial businesses.

In my professional opinion the requested site-specific ZBA will conform with the ability to provide the neighbourhood and City alternative residential tenure and style of housing.

“5.3.7.2 Atmospheric Air Quality Policies

Council will contribute to the reduction of air pollution by using the following land use planning approaches:

- (a) increasing opportunities for non-automotive transportation modes including walking, cycling and public transportation in accordance with the Infrastructure chapter of this Plan;*
- (b) regulating development which has the potential to increase atmospheric pollution in accordance with the Land Use chapter of this Plan;*
- (c) improving energy conservation in accordance with the Urban Design chapter of this Plan;*
- (d) locating compatible residential, commercial and employment uses in a manner that reduces distance and vehicle trips as outlined in the Land Use chapter of this Plan.”*

COMMENT:

The location of the proposed residential building within a mixed use neighbourhood, located in close proximity to a municipal bus route and in close proximity to alternative trails supports alternative methods of transportation. Bike racks supporting alternative transportation will be provided.

The design of the medium profile, mixed-use building supports live-work initiative by establishing in a mixed-use community with many employment opportunities. In my professional opinion, the location and design of the proposed development will reduce carbon emissions by reducing the need for trips by private vehicle and supports the OP policies.

“6.1.14 Residential Intensification

To direct residential intensification to those areas of the City where transportation, municipal services, community facilities and goods and services are readily available.”

COMMENT:

The proposed medium profile building with 54 residential units provides for alternative housing style and tenure in close proximity to municipal transit and will be on full municipal services. The site has excellent access to transit and active transportation routes and many commercial amenities are available in the neighbourhood. In my professional opinion, the proposed development is an appropriate addition of residential intensification to this mixed-use neighbourhood and conforms with relevant policies of the OP for Windsor.

“6.2.1.2 Types of Development Profile

For the purpose of this Plan, Development Profile refers to the height of a building or structure. Accordingly, the following Development Profiles apply to all land use designations on Schedule D: Land Use unless specifically provided elsewhere in this Plan:

- (a) Low Profile developments are buildings or structures generally no greater than three (3) storeys in height;*
- (b) Medium Profile developments are buildings or structures generally no greater than six (6) storeys in height, and;*
- (c) High Profile developments are buildings or structures generally no greater than fourteen (14) storeys in height.”*

COMMENT:

In my professional opinion, the proposed six-storey development has a Medium Profile.

“6.3.1 Residential: Range of Forms & Tenures

6.3.1.1 To support a complementary range of housing forms and tenures in all neighbourhoods.

6.3.1.2 To promote compact neighbourhoods which encourage a balanced transportation system.

6.3.1.3 To promote residential redevelopment, infill and intensification initiatives in locations in accordance with this plan.

6.3.1.5 To provide for complementary services and amenities which enhance the quality of residential areas.”

COMMENT:

The proposal is a residential intensification and infill on a lot that is presently underdeveloped. The construction of 54 high quality residential apartment units provides for an alternative style and tenure of housing that is needed within the City. The is a compact and efficient use of a small footprint of land.

The mixed-use neighbourhood provides residents with a variety of employment opportunities and supportive goods and services.

Across Goyeau is the Regional Hospital and within the neighobuhrood are supportive institutional offices and facilities.

In my professional opinion, the proposed ZBA provides for a compact and efficient development that is well suited to the existing mixed-use neighbourhood, in conformity with the OP.

“6.3.2.1 Permitted Uses

Uses permitted in the Residential land use designation identified on Schedule D: Land Use include Low Profile, and Medium Profile dwelling units. High Profile Residential Buildings shall be directed to locate in the City Centre, Mixed Use Centres and Mixed-Use Corridors.”

COMMENT:

A medium profile residential building is a permitted land use in ‘Residential’ designation. The proposed medium profile, mixed-use building provides for an alternative housing style and tenure needed in the City. The proposed building is compatible with the neighbourhood in design, scale and massing and will provide an appropriate increase of density without overburdening the existing neighbourhood and infrastructure. Municipal transit services are available within a 5 minute walk of the site. Municipal water and sanitary services are available to the site without need for extension. The proposed development in my opinion conforms with the relevant policy of the Official Plan.

“6.3.2.4 Locational Criteria

Residential intensification shall be directed to the Mixed Use Nodes and areas in proximity to those Nodes. Within these areas Medium Profile buildings, up to 4 storeys in height shall be permitted. These taller buildings shall be designed to provide a transition in height and massing from low-profile areas. New residential development and intensification shall be located where:

- a) there is access to a collector or arterial road;*
- b) full municipal physical services can be provided;*
- c) adequate community services and open spaces are available or are planned; and*
- d) public transportation service can be provided.”*

COMMENT:

The subject lands front on Goyeau Street, in close proximity to a major arterial road, and has full access to municipal sanitary sewers and piped water. The subject site is situated in a neighbourhood with a variety of goods and services including a grocery store, a regional hospital, pharmacies, etc. Multiple outdoor recreational areas are located within a 15-minute walk. Transit bus stops are within a 5-minute walk. In my professional opinion, the proposed residential intensification is appropriately located and is compatible with the surrounding neighbourhood and conforms with these policies of the OP.

“6.3.2.5 Evaluation Criteria for a Neighbourhood Development Pattern

At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed residential development within an area having a Neighbourhood development pattern is:

- (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses:
 - (i) within or adjacent to any area identified on Schedule C: Development Constraint Areas and described in the Environment chapter of this Plan;*
 - (ii) adjacent to sources of nuisance, such as noise, odour, vibration and dust;*
 - (iii) within a site of potential or known contamination;*
 - (iv) where traffic generation and distribution is a provincial or municipal concern; and*
 - (v) adjacent to heritage resources.**

- (b) In keeping with the goals, objectives and policies of any secondary plan or guideline plan affecting the surrounding area;*
- (c) In existing neighbourhoods, compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and amenity areas. In Mature Neighbourhoods as shown on Schedule A-1, compatible with the surrounding area, as noted above, and consistent with the streetscape, architectural style and materials, landscape character and setback between the buildings and streets;*
- (d) provided with adequate off street parking;*
- (e) capable of being provided with full municipal physical services and emergency services; and*
- (f) facilitating a gradual transition from Low Profile residential development to Medium and/or High-Profile development and vice versa, where appropriate, in accordance with Design Guidelines approved by Council.”*

COMMENT:

The subject site, as discussed above, is an appropriate location for the inclusion of a new medium profile residential building:

- The subject lands are not within a development constraint area or within a natural heritage area;
- The 54 residential rental apartments will provide for needed alternative housing with access to nearby institutional, stores, restaurants, and businesses;
- The proposed development is compatible in size, scale and massing with the existing buildings in the neighbourhood.
- There are 80 parking spaces, more than sufficient parking on the adjacent site to accommodate the proposed 54 residential units;
- The site is serviced by municipal water and sewer and there is existing capacity available for the proposed development.

The development, in my professional opinion, conforms with the policy of the OP.

“6.5.1.8 Objectives: Residential Intensification

To promote residential intensification with Medium and High-Profile buildings to meet the housing needs of the City in appropriate areas in proximity to municipal services, transit and employment areas.”

COMMENT:

In my professional opinion the proposed 6-storey, mixed-use building satisfies the OP objective of residential intensification in an appropriate area with proximity to municipal services, transit, and employment opportunities.

“6.5.3.1 Permitted Uses

Uses permitted in the Mixed-Use Corridor land use designation are primarily retail, wholesale store (added by OPA 58, 24 07 2006) and service oriented uses and, to a lesser extent, office uses. Medium and High Profile residential uses either as stand-alone buildings or part of a commercial-residential mixed use buildings shall be throughout the Corridors.”

COMMENT:

In my professional opinion, the proposed 6 storey medium profile residential multiple unit building conforms to the permitted uses of the OP.

6.5.3.3 Street Presence

Council will encourage Mixed-Use Corridor development to provide a continuous street frontage and presence. Accordingly, development along a Mixed-Use Corridor shall be:

- (a) no more than four storeys in height, except on lands at an intersection of any combination of the following roads: Class I Arterial Road, Class II Arterial Road, Class I Collector, or Class II Collector Road. The height of buildings shall generally not exceed the width of the road right-of-way abutting the development site; and*
- (b) Notwithstanding the identified maximum building height, the Council may consider additional height, where the Council is satisfied that the proposed height achieves compatible development, and where appropriate transitions to abutting lower scale development are established. Appropriate transitions may be achieved through the implementation of regulatory techniques including, but not limited to new height limitations, enhanced building setbacks and step backs, enhanced*

landscape buffers and planting requirements and/or the implementation of an angular plane. Permissions for taller buildings may be established through a site-specific Zoning By-law Amendment.

- (c) *encouraged to locate the buildings at the street frontage lot line with parking accommodated at the rear of the site.”*

COMMENT:

The proposed building will be located at 6 m setback from Goyeau Street and with a 6 m setback from each side yard and rear yard providing for landscaping. There are existing buildings in the neighbourhood of a similar size, scale, and massing to the proposed development. The site will be extensively landscaped.

In my professional opinion, the new building will be an attractive and appropriate addition to a pedestrian oriented, mixed-use neighbourhood.

“6.5.3.8 Design Guidelines

The following guidelines shall be considered when evaluating the proposed design of a Mixed-Use Corridor development:

- (a) *the ability to achieve the associated policies as outlined in the Urban Design chapter of this Plan;*
- (b) *the provision of appropriate landscaping or other buffers to enhance:*
- (i) *all parking lots, and outdoor loading and service areas; and*
 - (ii) *the separation between the use and adjacent sensitive uses, where appropriate;*
- (c) *as a general rule, the height of buildings are consistent with the height of buildings which characterize the Mixed-Use Corridor. Where Council deems it desirable that higher profile development be permitted in an existing Mixed-Use Corridor, the development should be built at a human scale by utilizing one or both of the following measures:*
- (i) *treatment of the lower floors of building(s) to provide continuity; and/or*
 - (ii) *setting back the upper floors of building(s) from the street to avoid overpowering effects at-grade;*
- (d) *where possible, parking is located in the rear of the property to encourage continuous building facades adjacent to the street; and*

- (e) *measures are taken in site design which provide for ease of access for pedestrians between the public sidewalk and building main entrances in a manner which is distinguishable from access provided for vehicles.*
- (f) *Council will adopt Design Guidelines that will assist in the design and review of development applications in a manner that will ensure implementation of these policies.”*

COMMENT:

The medium profile, 6-storey building will be of a similar size and massing to buildings already existing within the neighbourhood. The building will be extensively landscaped to create an attractive street presence. Pedestrian entrances will be located at both the east and west sides of the building with access to the public sidewalk along Goyeau. In my professional opinion, the proposed development will be an attractive, pedestrian oriented building that will be an asset to the neighbourhood while providing for needed alternative housing. The proposed ZBA and development, in my professional opinion, conforms with the OP.

“10.2.20 Design Briefs

A Design Brief identifies the character of a street or neighbourhood over a smaller area than an Urban Design Study. Where this Plan requires the preparation of a Design Brief the following steps shall be taken:

“10.2.20.1 The Urban Design Brief should provide a description and analysis of the site and surrounding context. Photographs and a context map showing the subject site in relation to the existing neighbourhood should be included.”

COMMENT:

The proposed design and build is compatible with the neighbourhood and will be a positive aspect of the neighbourhood. In my professional opinion the building is high level design and will be an asset to the neighbourhood and conforms with the OP policies.

“10.2.20.2 The Urban Design Brief should provide an analysis of the design rationale for the building, landscape, and site design elements of the proposed development and explain why the proposed development represents the optimum design solution. Discussion should consider the following:

- i) *How the design of the proposed development meets the intent of the City’s applicable urban design guidelines and policies;*
- ii) *How the design addresses existing site conditions and constraints such as lot size, grading, or natural heritage features;*
- iii) *How the design of the proposed development integrates with the existing neighbourhood and enhances its function and aesthetics; and,*
- iv) *How the design of the proposed development will influence and integrate with future development in the neighbourhood.”*

COMMENT:

The design of the proposed building is pedestrian oriented, with 3 pedestrian entrances on either side of the building and at the front as well as well landscaped. The proposed development will encourage future development with a pedestrian orientation by increasing the density of the neighbourhood in a manner that is supported and sustainable.

“10.2.20.3 The Urban Design Brief should include a written description, plans, elevations, diagrams, and/or photographs to illustrate the design choices of the proposed development and site design. Depending on the scale of the development proposal explain how the applicable design considerations have been addressed:

- i) *Street and block pattern (e.g., connectivity, pedestrian access);*
- ii) *Lot sizes;*
- iii) *Building orientation and site layout;*
- iv) *Built form, height, scale, and massing;*
- v) *Building articulation and detailing;*
- vi) *Building materials;*
- vii) *Setbacks from adjacent properties and the street;*
- viii) *Building step back (if applicable);*
- ix) *Building transition to adjacent neighbourhoods;*
- x) *Heritage considerations (if applicable);*
- xi) *Location of parking (surface or underground), driveways, ramps, drop-off areas;*
- xii) *Access to transit;*
- xiii) *Bicycle parking/storage;*
- xiv) *Location of servicing, garbage, organics, and recycling storage and collection, and loading areas;*

- xv) *Streetscape elements (e.g., boulevard design, landscaping, street furniture, public art, signage, lighting, etc.); and,*
- xvi) *On-site landscaping and buffering.”*

COMMENT:

The proposed 6 storey building has a 6 m setback from Goyeau Ave. There are pedestrian entrances on the north side on both the west and east sides of the building, which will connect with the paved sidewalks along Goyeau Ave. A bike rack with 6 spaces in front of the building will promote cycling. The building is in close walking distance to municipal bus stops and to a major north/south arterial road.

The building will be compatible in size, scale, and massing with the existing neighbourhood.

Private balconies will add to the attractiveness of the building. The lot will be extensively landscaped.

The building will have indoor amenity areas with balconies on each of the six residential floors. The accessibility of the building will be enhanced by placement of elevators on both the north and south sides of the building. There will also be two staircases.

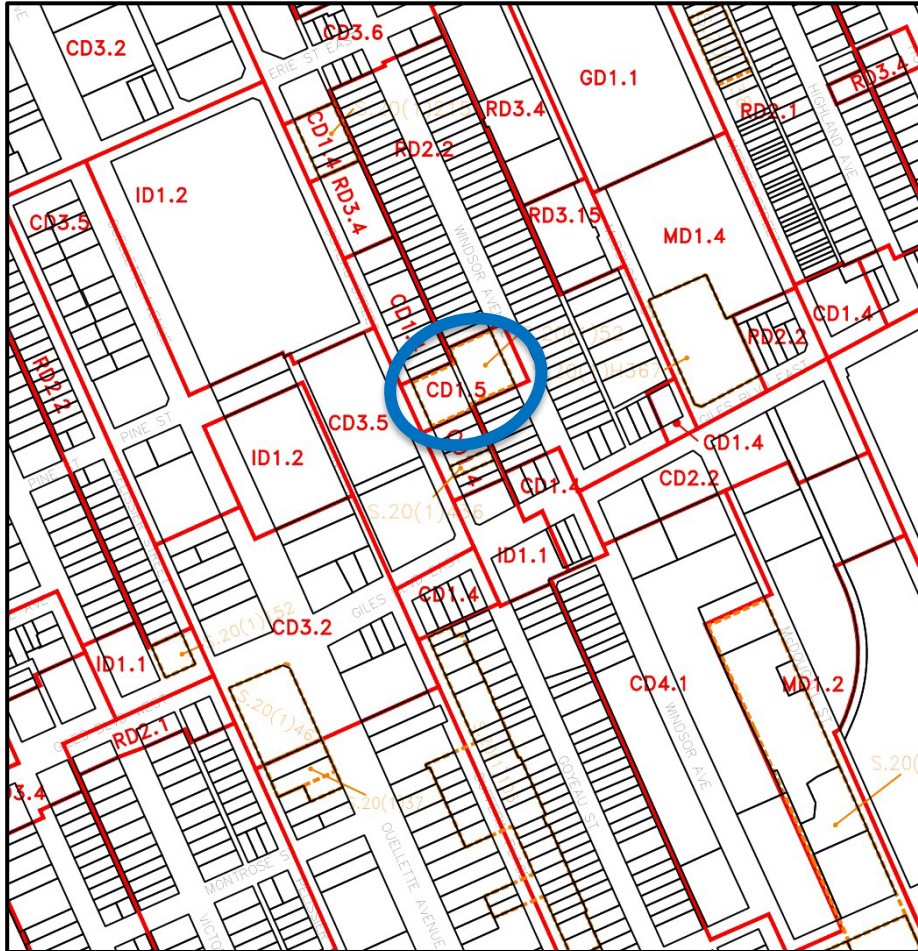
In my professional opinion, the proposed multi-unit building is an attractive and environmentally responsible design that is compatible with its neighbourhood.

COMMENT:

In my professional opinion, the requested site-specific ZBA conforms with the relevant policies of the Official Plan for the City of Windsor based on the evaluation noted above. The proposed development is consistent with the intent of the OP.

6.0 CITY OF WINDSOR ZONING BYLAW

The subject lands are zoned 'Commercial District 1.5 (CD1.5)' in the CZB 8600 for the City of Windsor. The proposed multi-unit residential building is not a permitted use under the present (CD1.5) zone.



The neighbourhood is a mix of zone categories. There are a number of (RD3) Residential District 3 zoned properties within the neighbourhood. The proposed (RD3.3 #) is compatible in height, density and use with the mix of uses and densities within the neighbourhood.

A site specific provision has been requested that associates the Residential building at 1140 Goyeau Street and the parking lot across the alleyway at 0 Windsor Ave.

PROVISIONS	RESIDENTIAL DISTRICT (DC3.3)	PROPOSED DEVELOPMENT
PERMITTED USES	MUTLI-UNIT BUILDING	MULTI-UNIT BUILDING
LOT AREA	3,400m ²	<p>LOT A (0 Windsor Ave) –lot area of 2,156 m². Lot A to remain vacant and will be used for 79 parking spaces.</p> <p>LOT B (1140 Goyeau Street) – lot area of 1,728 m². Lot B is site of new building.</p> <p>Total area of 3,885 m2</p>
BUILDNG HEIGHT	24 m max	23 m
DWELLING UNIT DENSITY	180 units/hectare	54 units/.3885 ha = 151 units/ha
LANDSCAPED OPEN SPACE	35% minimum	<p>LOT A (PARKING LOT) = 9 %</p> <p>LOT B (RESIDENTIAL LOT) = 28%</p>
PARKING	1.25 X 54 units = 67 spaces	80 spaces
BARRIER FREE PARKING	<p>Type A 2% of parking spaces = 1 spaces</p> <p>Type B 2% of parking spaces = 1 spaces</p>	<p>2 spaces Type A</p> <p>2 spaces Type B</p>
LOADING SPACES	1 space	1 space
BIKE PARKING	20 or more parking spaces: 2 for first 19 spaces plus 1 for each additional 20 spaces = 5 spaces	5 spaces

There is a site specific provision that presently applies to the subject parking area to the west of Giles. This site specific provision can continue to remain applicable to the property without ramifications to the proposed land use.

“Section 20(1)(52) Site Specific Provisions:

For any lands located on the west side of Windsor Avenue between Giles Boulevard East and Erie Street East, which are zoned CD1.5 on Zoning District Map 7, an access area to Windsor Avenue is prohibited.”

COMMENT:

After review and evaluation of the CZB for the City of Windsor, it is my professional opinion that the proposed site development complies with the intent of the ‘Residential District 3.3 (RD3.3) regulations with modification to recognize a site specific provision.

A site specific provision to allow for 28% landscaped open space maintains the intent of the CZB to support a mixed use development and provides for a compatible building within a mixed use neighbourhood.

A site specific provision that identifies Lot A as the parking associated with Lot B the 54 unit building.

It is therefore my professional opinion that a ZBA to establish the (CD 3.10) zone regulatory framework for the subject lands meets the intent of the CZB for the City of Windsor.

7.0 SUMMARY AND CONCLUSIONS

Given the foregoing assessment and my evaluation of the proposal in relation to the PPS 2020, the City of Windsor Official Plan and the Comprehensive Zoning By-law 8600, in my professional opinion the proposed site-specific By-law Amendment (ZBA) is consistent with polices of the PPS, OP, and the regulations found in the Zoning By-law.

The requested site specific ZBA to provide a site specific regulatory framework that will support the development of the site for 54 residential apartment rental units and 80 parking spaces makes sound planning.

In addition, it is my professional opinion that the proposed site-specific Zoning By-law Amendment (ZBA) is appropriate and desirable within this policy framework as it will facilitate development of site while also implementing the proposals included in this Planning Justification Report dated December 14, 2023.

In summation, the proposal complies with the Zoning Bylaw Amendment (ZBA) that will appropriately establish a site-specific regulatory framework under the 'Residential District 3.3 (RD33.)' zone. The ZBA provides a good solution for the provision of needed alternative residential accommodation and compatible development within an existing neighbourhood, while supporting a diversity of housing tenures and styles within the municipality on major municipal route.

In my professional opinion the requested ZBA:

- 1) is consistent with the policies of the 2020 Provincial Policy Statements;
- 2) maintains the intent of the relevant policies of the City of Windsor Official Plan;
- 3) maintains the intent of City of Windsor CZB 8600 and when the ZBA is passed, it will establish the regulatory framework required for the development to comply with the CZB;
- 4) makes sound planning.

I hereby certify that this report was prepared by Jackie Lassaline RPP MCIP, a Registered Professional Planner within the meaning of the Ontario Professional Planners Institute Act, 1994.

Lassaline Planning Consultants Inc.

Jacqueline Lassaline

Jackie Lassaline BA MCIP RPP

Principal Planner

APPENDIX A – ‘RESIDENTIAL DISTRICT (RD3.3)’

12.3 RESIDENTIAL DISTRICT 3.3 (RD3.3)

12.3.1 PERMITTED USES

Lodging House

Multiple Dwelling

Religious Residence

Residential Care Facility

Any of the following *existing* dwellings:

Double Duplex Dwelling

Duplex Dwelling

Semi-Detached Dwelling

Single Unit Dwelling

Any use accessory to any of the preceding uses

12.3.5 PROVISIONS

- | | | |
|-----|--|------------------------------|
| .1 | Lot Frontage – minimum | 45.0 m |
| .2 | Lot Area – minimum | |
| | For a <i>corner lot</i> having a minimum <i>lot frontage</i> of 45.0 m on each of the <i>exterior lot lines</i> : | |
| | a) For the first 23 <i>dwelling units</i> | 1,825.0 m ² |
| | b) For each additional <i>dwelling unit</i> | 37.0 m ² per unit |
| | For any other <i>lot</i> : | |
| | c) For the first 19 <i>dwelling units</i> | 1,825.0 m ² |
| | d) For each additional <i>dwelling unit</i> | 45.0 m ² per unit |
| .3 | Lot Coverage – maximum | 35.0% |
| .4 | Main Building Height – maximum | |
| | <i>Corner Lot</i> | 30.0 m |
| | <i>Interior Lot</i> | 24.0 m |
| .8 | Landscaped Open Space Yard – minimum | 35.0% of <i>lot area</i> |
| .13 | Dwelling Unit Density – <i>dwelling units</i> per hectare – maximum | |
| | For a <i>corner lot</i> having a minimum <i>lot frontage</i> of 45.0 m on each of the <i>exterior lot lines</i> | 225 units per ha |
| | For any other <i>lot</i> | 180 units per ha |
| .50 | A <i>Lodging House</i> for the accommodation of 10 persons or less, and any use accessory thereto, shall comply with the <i>Single Unit Dwelling</i> provisions of Section 10.1.5 and further, the whole of the <i>building</i> shall be used for a <i>Lodging House</i> , including any <i>accessory use</i> . [ZNG/5630] | |

APPENDIX B – SHADOW STUDY

APPENDIX E – CONSULTATION COMMENTS

ENVIRONMENTAL SERVICES – ANNE-MARIE ALBIDONE

No Concerns from Environmental Services.

TRANSIT WINDSOR – JASON SCOTT

Transit Windsor has no objections to this development. The closest existing transit route to this property is with the Ottawa 4. The closest existing bus stop to this property is located on Giles at Goyeau Southeast Corner. This bus stop is approximately 140 metres from this property falling within Transit Windsor's walking distance guidelines of 400 metres to a bus stop. This will be maintained with Transit Windsor's City Council approved Transit Master Plan.

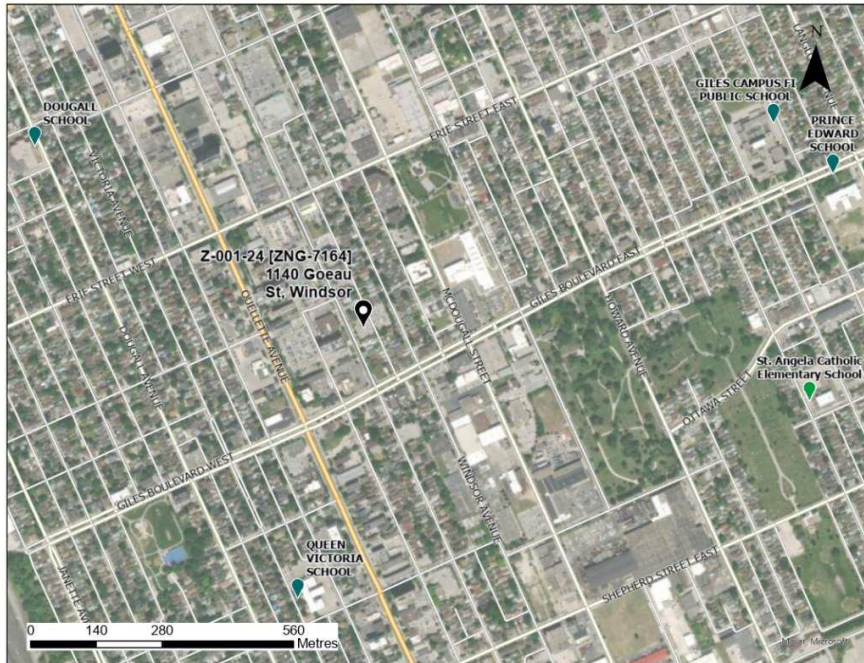
SITE PLAN CONTROL

The development proposal is subject to Site Plan Control pursuant to the Planning Act and City of Windsor By-law 1-2004. Where preceding development applications are required, inclusive of Official Plan and Zoning By-law Amendments, request for Site Plan Control Pre-Consultation Stage 1 may be made following completion of the requisite Development and Heritage Standing Committee meeting at <https://ca.cloudpermit.com/login>.

GREATER ESSEX COUNTY SCHOOL BOARD & WINDSOR ESSEX CATHOLIC DISTRICT SCHOOL BOARD – JORDAN COOK

On behalf of the Greater Essex County District School Board and the Windsor Essex Catholic District School Board, we confirm receipt of the Zoning By-Law Amendment noted above and dated August 23, 2024. A total of 58 units are proposed for this development. With respect to this application, the following comments are submitted:

Location Map:



This development falls within the attendance boundaries of:

Greater Essex County District School Board:

- Queen Victoria Public School

Kennedy Secondary School

At this time, sufficient space exists within the local elementary schools to accommodate additional students from the development as proposed.

Although the impact of this development will be minimal, the local secondary school is operating near capacity and may not accommodate all students from new development. Interim accommodation measures such as portables or a holding area are being utilized to accommodate existing students. Additional measures may be required to address future student accommodation.

Windsor Essex Catholic District School:

- St Angela Catholic Elementary School
- Catholic Central High School

At this time, sufficient space exists within the local elementary and secondary schools to accommodate additional students from the development as proposed.

General Comments:

Please note, student transportation providers may not travel on privately owned or maintained right-of-ways and roads not yet assumed by the municipality to pick-up/drop-off students. A congregated bus stop may be located outside of the development area.

If there are any questions or comments regarding the Board's response, please contact vw@watsoncon.ca.

ENWIN

HYDRO ENGINEERING: **Zachary Mancini**

No Objection, provided adequate clearances are achieved and maintained.

ENWIN has existing overhead pole lines with 27,600 volt primary, 347/600 volt secondary, and 120/240 volt secondary hydro distribution along the alley between 1140 Goyeau Street and 0 Windsor Avenue.

ENWIN has existing overhead 120/240 volt secondary hydro services crossing the North-West portion of 0 Windsor Avenue for its respective parking lot and 1119 Windsor Avenue. There is also an overhead 120/240 volt secondary hydro service crossing the North-East portion of the 1140 Goyeau Street property to 1128 Goyeau Street. Lastly there is an overhead 120/240 volt secondary hydro service to 1154 Goyeau Street along the property line neighbouring this development.

There are City of Windsor streetlight poles with overhead 120 volt secondary hydro distribution along Goyeau Street, West of the development property.

Prior to working in these areas, we would suggest notifying your contractor and referring to the Occupational Health and Safety Act and Regulations for Construction Projects to confirm clearance requirements during construction.

Also, we suggest referring to the Ontario Building Code for permanent required clearances for New Building Construction.

WATER ENGINEERING: **Bruce Ogg**

ENWIN Water has no objections on the rezoning.

TRANSPORTATION PLANNING – ELARA MEHRILLOU

- The Official Plan classifies Goyeau St as a Local Road with a required right-of-way width of 20 meters. The current right-of-way is sufficient; therefore, no conveyance is required. Confirmation required from Right-of-Way.
- The Official Plan classifies Windsor Ave as a Local Road with a required right-of-way width of 20 meters. The current right-of-way is sufficient; therefore, no conveyance is required. Confirmation required from Right-of-Way.
- All parking must comply with ZBL 8600.
 - Loading space shall have a minimum width of 3.m, minimum length of 7.5m and a minimum height clearance of 3.5m throughout its length and width.
- All new accesses shall conform to the TAC Geometric Design Guide for Canadian Roads and the City of Windsor Standard Engineering Drawings.
 - All proposed driveways must be 7-9 metres total at the property line (minimum 3.5m/lane, maximum 4.5m/lane).
- All exterior paths of travel must meet the requirements of the Accessibility for Ontarians with Disabilities Act (AODA).
 - A pedestrian walkway to Windsor Ave must be indicated on the revised site plan to connect pedestrians from the building to the existing sidewalks.
- With regards to the proposed alley access, here are Transportation's thoughts:
 - Transportation has concerns related to both vehicles and pedestrians crossing the alley.
 - The alleyway is not maintained to the same level as a City sidewalk and therefore, there is a significant liability in using the alley as a continued pedestrian access
 - The volume of vehicles that the proposed development will create is higher than normal for an alley. Proper controls and traffic signage must be installed and maintained by the owner of the properties; the City will not maintain these.
 - Transportation Planning does not support this layout of a parking lot on the other side of a City-owned alleyway due to safety concerns and liability to the City.

ENGINEERING RIGHT-OF-WAY – MARK SCHAFFHAUSER

Required Drawing Revisions:

1. **Driveway Approaches** – Do not conform to City of Windsor Standards, which must be constructed with straight flares and no raised curbs within the right-of-way.

o Modify as per Standard Engineering Drawing AS-204.

o Owner to create proper curb cut off of Goyeau St to fit existing driveway approach.

o Proposed location of driveway approach off of Windsor Ave has trees in the right-of-way. City Forester to be contacted for fees pertaining to removal of any trees in the right-of-way

2. **Sewer Connections** – All existing and proposed storm, sanitary and water services must be identified on the drawings, as well as the associated mainline sewers/water mains.

o Modify drawings to include all sewer connections and water services.

o Identify any redundant connections to be abandoned in accordance with Engineering Best Practice BP1.3.3.

3. **Encroachment Agreement** – There are existing landscaping items encroaching into the right-of-way, which require either removal or an encroachment agreement to legalize said items.

o Modify drawings to remove encroaching items or identify that an encroachment agreement with the City of Windsor will be required for the landscaping items.

4. **Alley Paving** – Proposal includes access off existing alley.

o Modify drawings to include alley paving in proposal

Special Provisions (to be included in Site Plan Control Agreement)

The following special provisions will be required prior to submitting a building permit application:

Site Plan Control Agreement – The applicant enter into an agreement with the City of Windsor for all requirements under the General Provisions of the Site Plan Control Agreement for the Engineering Department.

Alley Paving – The owner shall agree to drain and pave at his entire expense, the alley abutting the subject lands. The minimum acceptable cross-section will be 300 mm Granular “A” and 100 mm base and surface course asphalt in accordance with Standard City of Windsor Specifications, Selected Granular Base Course (S4) and Hot Mix, Hot Laid Asphaltic Concrete (S-10). The geometrics of the pavement shall comply with City of Windsor Standard Drawing AS-201. All work shall be to the satisfaction of the City Engineer.

Encroachment Agreement – The owner agrees to submit application for and execute an agreement with the Corporation for the existing encroachments into the right-of-way (landscaping items along Goyeau St frontage) to the satisfaction of the City Engineer.

If you have any further questions or concerns, please contact Mark Schaffhauser, of this department at mschaffhauser@citywindsor.ca

DEVELOPMENT ENGINEERING – JUAN PARAMO

We have reviewed the subject Rezoning application and have the following comments:

Sewers The site may be serviced by a 200mm vitrified clay combined sewer and a 525mm concrete storm sewer located within Goyeau Street right-of-way. If possible existing connections should be utilized. Any redundant connections shall be abandoned in accordance with the City of Windsor Engineering Best Practice B.P 1.3.3.

A Sanitary Sewer Study, dated November 2023 by Dillon Consulting, has been received and reviewed. The applicant's consultant has confirmed that the existing combined sewer on Goyeau Street will effectively accommodate the site's sewer servicing needs. The study demonstrates that the municipal combined sewer have adequate capacity, and no adverse impacts are expected on the surrounding areas as a result of the proposed development.

The Sanitary Sewer Study has been deemed acceptable, and the proposed sanitary servicing strategy is supported by the Engineering Development department.

A Stormwater Management Report dated June 2024 by Ambashi Engineering has been received and reviewed. A revised study will be **required for Site Plan Control** to address comments provided separately in Appendix A.

Right-of-Way

Goyeau Street is classified as a Local Residential Road according to the Official Plan requiring a right-of-way width of 20.1m; the current right-of-way is 20.1m, therefore, no conveyance is required at this time.

There are currently landscaping encroachments in the Goyeau Street right-of-way. Encroaching items are to be removed at the owner's expense or the Owner may apply for an Encroachment Agreement.

At the time of site plan control, the applicant will be required to submit a full grading plan of the alley between the two subject sites to demonstrate existing drainage patterns, and to confirm that proposed alley reconstruction will continue to accommodate or improve drainage.

In summary we have no objection to the proposed development, subject to the following requirements:

Site Plan Control Agreement – The applicant enters into an agreement with the City of Windsor for all requirements under the General Provisions of the Site Plan Control Agreement for the Engineering Department.

Encroachment Agreement – The owner agrees to submit application for and execute an agreement with the Corporation for the existing encroachments into the Goyeau Street right-of-way to the satisfaction of the City Engineer or have the encroaching items removed.

Appendix A: Stormwater Management Report Comments

- Stormwater Management Report dated June 2024 must be stamped and signed prior to acceptance and approval.
- Section 3.2 states that the surface ponding in the proposed parking lot can provide storage of 41.75 cubic meters. Please demonstrate via a figure or drawings the location of this storage and confirm that this storage is within in the asphalt surface of the 0.173 ha site that is being assessed in the report.
- Section 4.3.2 – Consultant to calculate a weighted C value based on the proposed development areas, which will be used for the 1:5 post-development calculations. The C value of 0.35 is only to be used in pre-development calculations related to the allowable release rate.
This post-development C value should then be adjusted according to the WERSM adjustment factor for the 1:100 event and used in the 1:100 event calculations.
- Section 4.7 contains a table of surface ponding calculations. Please include additional information in the calculations, including parking lot slopes and a visual representation of the corresponding storage depth/elevations via a figure or in the drawings.
- The SWM report must demonstrate that the subject site has capacity in the form of underground storage to accommodate the 1:5 year event, though pipes, catch basins, MHs, or chambers. No ponding will be permitted for the 1:5 year event.
- Consultant to state in the report the 1:100 year surface ponding elevation for the site and required minimum finished floor/building opening elevation for the site
- Please provide a clear outline and elevations of the ponding area for the 1:100 year storm event within the 0.173 ha site that is being assessed in the report on

the drawing set. Include elevation for proposed building Finished Floor Elevation (FFE) and/or minimum building opening. Building FFE to be a minimum 0.30m above 1:100 year surface ponding level on the site

- Label MH IDs, inverts, and pipe sizes on the drawing set.
- Site is to be graded to fully contain the 1:100 year storm event flows and ensure no overland flow runoff onto adjacent properties. Provide a grading plan.
- The report needs to provide additional information on the orifice flow restrictor regarding location of installation. The plans must also show the flow restrictor.

If you have any further questions or concerns, please contact Daniel Lopez, of this department at dlopez@citywindsor.ca

ENBRIDGE - Sandro Aversa

After reviewing the provided information, and consulting our mapping system, please note that Enbridge Gas has active infrastructure at 1140 Goyeau Ave. A PDF drawing have been attached for reference.

Please Note:

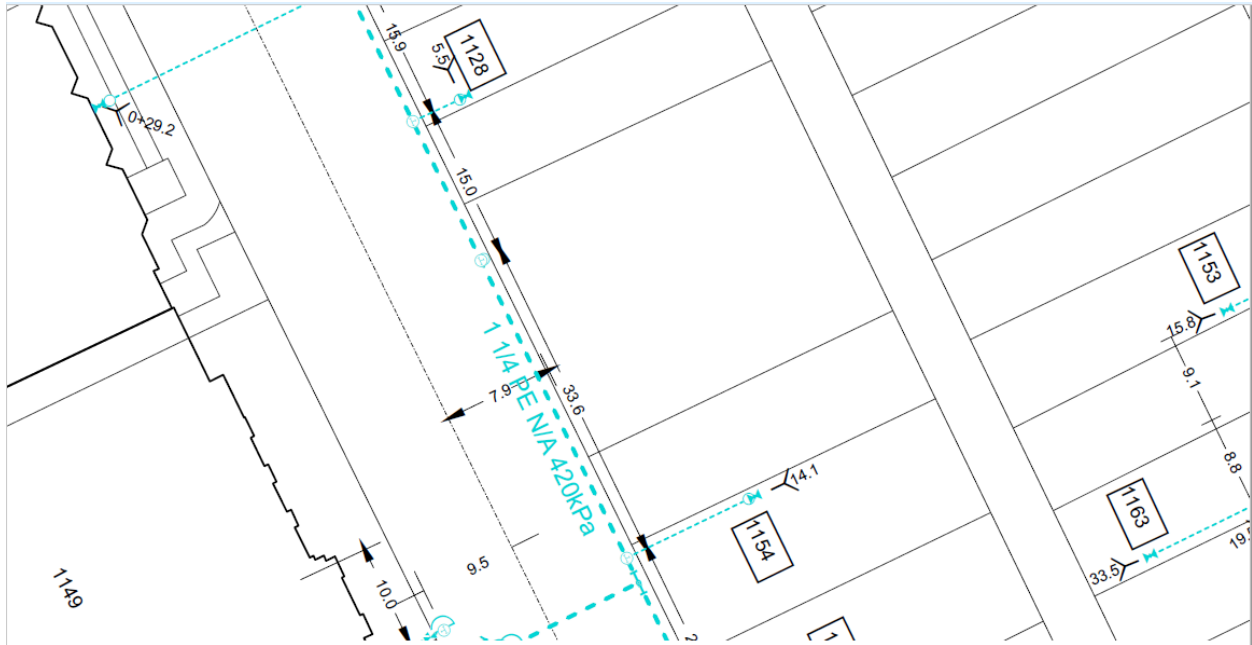
- 1. The shown piping locations are approximate and for information purposes only**
- 2. The drawings are not to scale**
- 3. This drawing does not replace field locates. Please contact Ontario One Call for onsite locates prior to excavating, digging, etc**

Enbridge Gas requires a minimum separation of 0.6m horizontal and 0.3m vertical from all our plant less than NPS 16 and a minimum separation 1.0m horizontal and 0.6m vertical between any CER-regulated and vital pipelines. For all pipelines (including vital pipelines), when drilling parallel to the pipeline, a minimum horizontal clearance measured from the edge of the pipeline to the edge of the final bore hole of 1 m (3.3 ft) is required. Please ensure that this minimum separation requirement is maintained, and that the contractor obtains locates prior to performing any work and utilizes safe excavation practices while performing any work in the vicinity.

Also, please note the following should you find any abandoned infrastructure in the area:

- Any pipe that is excavated, please assume that it is live.
- If during any job, any pipe is found that is not on the locate sheet and conflicts with your work, please call our emergency number (1-877-969-0999), and one of our Enbridge representatives will respond to determine if that plant is in fact live or dead.
- Please note that our Enbridge Gas representative will respond to the live or dead call within 1-4 hours, so please plan your work accordingly.

Please contact me if you have any further questions or concerns.



HERITAGE PLANNING – TRACY TANG

City of Windsor – Planning Department – Heritage Planner

Contact: Tracy Tang, Planner III – Heritage (Acting), ttang@citywindsor.ca

Built Heritage

1140 Goyeau Street is located adjacent to (across the street from) a property that is recognized on the Municipal Heritage Register.

R | 1149 Goyeau St | Bell Canada | 1929 | Art Deco | Core

Please consider designing the proposed development to be compatible with the adjacent property with respects to materials and colour selections.

Vibration Impact Assessment (SPC) - The subject properties are located within 50 metres of a heritage resource, therefore a Vibration Impact Assessment is required as part of any Site Plan Control application to evaluate and mitigate potential structural impacts to nearby heritage properties.

The vibration limits for historic buildings/structures on and off-site is to be determined based on the pre-construction documentation and analysis. The assessment must be conducted (or have the input of) a professional with proven experience with historic conservation, preferably one with CAHP credentials. The Construction Vibration Control Assessment is required to be completed by a qualified vibration engineer and structural engineer with a P.Eng., as a condition of SPC approvals, and to the satisfaction of City Administration prior to any building permit issuance, to include:

- a) Analysis of all construction activities potentially causing vibration impacts on the heritage resources
- b) Establishment of more stringent vibration criterion for heritage resource based on the potential for architectural and structural damage
- c) Background vibration measurements of the site and surrounding areas
- d) Predict extent of vibration impacts and identify all heritage structures within the vibration zone of influence

- e) Conduct pre-condition survey (including photographic documentation) to establish condition of existing heritage structures within the vibration zone of influence
- f) Recommend vibration mitigation and monitoring program with establishment of "do-not-exceed" threshold levels, and a construction vibration control plan
- g) Complete inspection (including photographic documentation) post construction of the heritage structures within the vibration zone of influence to ensure no damage has occurred from the construction activities

Archaeology

The subject properties are not located within an Archaeological Potential Zone (APZ). Nevertheless, the Applicant should be notified of the following archaeological precaution.

1. Should archaeological resources be found during grading, construction or soil removal activities, all work in the area must stop immediately and the City’s Planning & Building Department, the City’s Manager of Culture and Events, and the Ontario Ministry of Citizenship and Multiculturalism must be notified and confirm satisfaction of any archaeological requirements before work can recommence.
2. In the event that human remains are encountered during grading, construction or soil removal activities, all work in that area must be stopped immediately and the site secured. The local police or coroner must be contacted to determine whether or not the skeletal remains are human, and whether the remains constitute a part of a crime scene. The Local police or coroner will then notify the Ontario Ministry of Citizenship and Multiculturalism and the Registrar at the Ministry of Government and Consumer Services if needed, and notification and satisfactory confirmation be given by the Ministry of Citizenship and Multiculturalism.

Contacts:

Windsor Planning & Building Department:
519-255-6543 x6449, ttang@citywindsor.ca, planningdept@citywindsor.ca

Windsor Manager of Culture and Events (A):
Michelle Staadegaard, (O) 519-253-2300x2726, (C) 519-816-0711,
mstaadegaard@citywindsor.ca

Ontario Ministry of Citizenship and Multiculturalism
Archaeology Programs Unit, 1-416-212-8886, Archaeology@ontario.ca

Windsor Police: 911

Ontario Ministry of Government & Consumer Services
A/Registrar of Burial Sites, War Graves, Abandoned Cemeteries and Cemetery Closures, 1-416-212-7499, Crystal.Forrest@ontario.ca

PARKS DEVELOPMENT DIVISION

Yemi Adeyeye, Forestry:

According to the tree assessment provided, 4 of 6 poor condition trees are to be removed and 2 good condition trees are to be preserved. There is no detail provided in the Site plan for new tree plantings to compensate for Lost Tree Canopy cover.

City Forestry requires Compensation for the lost City tree canopy:

Canopy replacement costs associated with the lost trees, based on 40cm of diameter replacement, would be ...

\$ 5,440.00 plus removal costs.

The site plan indicates a distance of 2 meters between the property line on Goyeau St. and the façade of the new building. The 2 good trees identified in this area as “*To Be Preserved*” require a minimum of 2.5 meters Root Protection zone (based on 20cm

diameter). These trees are already 1-2 meters inside the property line; there is insufficient room to create a viable tree protection zone during construction. These trees cannot be successfully protected on-site.

Canopy Replacement cost for these 2 additional trees would be...

\$4,080.00 plus removal costs.

Total Replacement costs...

\$9,520.00 plus removal costs.

If there are plans as part of the site landscaping following construction, please provide details to Forestry for consideration as on-site compensation for tree removals.

Forestry requests the opportunity to review landscape plans as related to tree planting in order review species selection and establishment procedures.

APPENDIX F – SITE PHOTOS



View along Windsor Avenue towards Lot A



View along Windsor Avenue to the north



View south along Windsor Avenue



View along alleyway to the north. Lot A (0 Windsor Ave) is on the left and Lot B (1140 Goyeau Street) is on the right.



View to the west of Lot B (1140 Goyeau Street) from the alleyway



View to the south of existing accesses to Lot A (right) and Lot B (left) from the alleyway



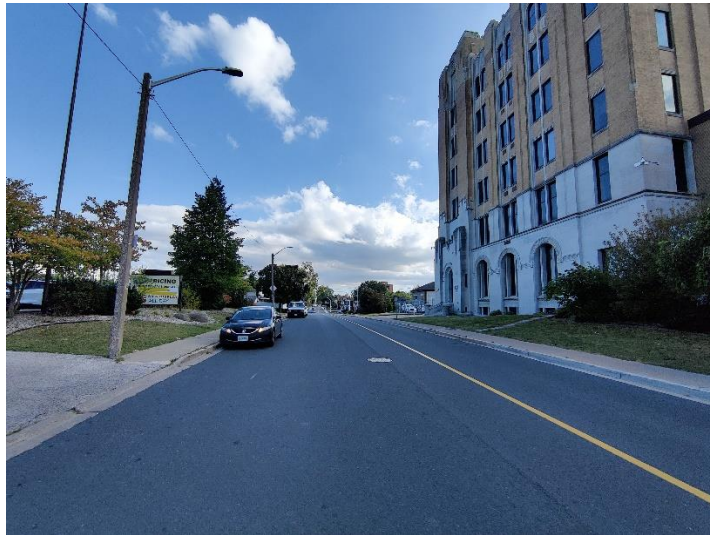
View looking north from the alleyway



View onto Lot B from Goyeau Street (looking southeast).



View looking north along Goyeau Street.



View looking south along Goyeau Street with Lot B on the left.



Committee Matters: SCM 307/2024

**Subject: Economic Revitalization Community Improvement Plan (CIP)
application submitted by Agri-Box Inc. for 3324 Marentette Avenue (Ward 9)**

Moved by: Councillor Kieran McKenzie

Seconded by: Councillor Mark McKenzie

Decision Number: **DHSC 661**

- I. THAT the request made by Agri-Box Inc. to participate in the Small Business Investment Grant Program **BE APPROVED** for 100% of the municipal portion of the tax increment resulting from the proposed development of eligible uses located at 3324 Marentette Avenue for up to 10 years or until 100% of the eligible costs are repaid pursuant to the City of Windsor Economic Revitalization Community Improvement Plan.
- II. THAT Administration **BE DIRECTED** to prepare an agreement between the City and Agri-Box Inc. to implement the Small Business Investment Grant Program in accordance with all applicable policies, requirements, and provisions contained within the Economic Revitalization Community Improvement Plan to the satisfaction of the City Planner for content, the City Solicitor as to form, and the City Treasurer as to financial content.
- III. THAT the CAO and City Clerk **BE AUTHORIZED** to sign the Small Business Investment Grant Agreement.
- IV. THAT the approval to participate in the Small Business Investment Grant Program **EXPIRE** if the grant agreement is not signed by the applicant within two years following Council approval.

Carried.

Report Number: S 124/2024

Clerk's File: SPL2024

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 11.2 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008-1/10511>

**Subject: Economic Revitalization Community Improvement Plan (CIP)
application submitted by Agri-Box Inc. for 3324 Marentette Avenue
(Ward 9)**

Reference:

Date to Council: October 7, 2024
Author: Tracy Tang, MCIP, RPP
Planner III – Heritage (A)
ttang@citywindsor.ca
519-255-6543 x 6449
Planning & Building Services
Report Date: September 12, 2024
Clerk's File #: SPL2024

To: Mayor and Members of City Council

Recommendation:

- I. THAT the request made by Agri-Box Inc. to participate in the Small Business Investment Grant Program **BE APPROVED** for 100% of the municipal portion of the tax increment resulting from the proposed development of eligible uses located at 3324 Marentette Avenue for up to 10 years or until 100% of the eligible costs are repaid pursuant to the City of Windsor Economic Revitalization Community Improvement Plan.
- II. THAT Administration **BE DIRECTED** to prepare an agreement between the City and Agri-Box Inc. to implement the Small Business Investment Grant Program in accordance with all applicable policies, requirements, and provisions contained within the Economic Revitalization Community Improvement Plan to the satisfaction of the City Planner for content, the City Solicitor as to form, and the City Treasurer as to financial content.
- III. THAT the CAO and City Clerk **BE AUTHORIZED** to sign the Small Business Investment Grant Agreement.

- IV. THAT the approval to participate in the Small Business Investment Grant Program **EXPIRE** if the grant agreement is not signed by the applicant within two years following Council approval.

Executive Summary: N/A

Background:

City Council approved the Economic Revitalization Community Improvement Plan (CIP) at its January 31, 2011, meeting via CR 50/2011. The adopting By-law 30-2011 was passed by Council at its February 14, 2011, meeting.

The Economic Revitalization CIP provides financial incentives to encourage new investment in targeted economic sectors for the purposes of diversifying the local economy and creating/retaining jobs. The CIP allows the City to take a variety of measures to further the objectives of the Economic Revitalization CIP that would otherwise be prohibited by Ontario's *Municipal Act*. This includes the acquisition and preparation of land; construction, repair, rehabilitation or improvement of buildings; the sale, lease or disposal of land and buildings; and the provision of grants to owners or tenants of land—all of which must conform with the objectives and policies contained within the CIP.

To date, City Council has approved a number of applications made under the CIP representing a range of targeted economic sectors including manufacturing, research and development, creative industries, logistics, health & life sciences, and tourism.

Agri-Box Inc. (principal owner Tony Liu) has applied for financial incentives under the Small Business Investment Grant Program for the property located at 3324 Marentette Avenue (see Appendix 'A' - Location Map). Agri-Box Inc. also owns and operates the adjacent properties located at 3350 Devon Drive (vacant) and 0 Marentette Avenue (vacant).

The subject property is 3.29 hectares (8.14 acres) in size, designated 'Industrial' in the City's Official Plan Schedule D: Land Use, and zoned Manufacturing District MD1.1, which permits a range of light industrial and service commercial uses. Currently there is a vacant two-storey +200,000 square foot industrial building with truck loading docks and asphalt parking lots on the subject property. The building has remained vacant for almost a decade.

Discussion:

Small Business Investment Grant Program

The Small Business Investment Grant Program is intended to stimulate investment in targeted economic sectors by small businesses that create or retain jobs in Windsor. Manufacturing businesses with less than 50 employees are eligible to apply—provided an investment results in an increase of at least \$25,000 to the assessed value of a property.

Successful applicants are eligible to receive an annual grant for up to 100% of the municipal property tax increase created by an investment in development or redevelopment of a building or property—provided it conforms with the Economic Revitalization CIP. The annual grants may continue, at Council’s discretion, for up to 10 years or until up to 100% of the eligible investment costs are repaid.

Proposed Redevelopment

The applicant proposes to refurbish and revitalize the entire existing vacant building for the purpose of manufacturing packaging for the agri-food industry. The entire +200,000 square foot building is intended to be occupied, with a combination of office area, warehousing area, and manufacturing area. The refurbishment consists of significant interior property upgrades including a new fire sprinkler system, HVAC, plumbing, electrical, lighting, roofing, and floors. The applicant also plans to improve the existing exterior façade by having some portions cleaned, repaired, and painted and some portions covered with new cladding materials. All exterior windows and doors will be replaced with new. The grant calculations are based on the gross floor area which the eligible use is proposed to occupy.

Eligible Sector

The proposed manufacturing use of 3324 Marentette Avenue falls under the eligible Manufacturing sector, which is defined as:

Manufacturing

Companies engaged in the fabricating, processing, assembling, packaging, producing or making goods or commodities, including ancillary repair, storage, wholesaling or office uses.

Employment

According to the CIP application, Agri-Box Inc. will retain their 5 current employees and hire 80 new full-time employees.

CIP Objectives

The proposed refurbishment and revitalization of the vacant industrial building located at 3324 Marentette Avenue and recommended Small Business Investment Grant supports the following CIP objectives:

- Encourage investment that results in the productive use of lands and/or buildings for the purposes of establishing or maintaining a business enterprise, or the expansion of existing businesses to realize more effective use of the land’s potential;
- Encourage capital investments that create new and/or maintain existing permanent jobs, as well as short-term construction jobs that contribute to the reduction of the unemployment rate;

- Attract investment based on the community's strengths and competitive advantages;
- Support investments in specified high potential economic sectors that contribute to the diversification of the local economy;
- Facilitate the development of the City's vacant employment lands and other areas that have the potential to be new employment areas;
- Provide financial incentive programs that are attractive to potential investors and corporate decision-makers, but are balanced with expectations of City taxpayers and the City's ability to fund the financial incentive programs; and
- Support investment and development that results in an increase in property assessment and grows the non-residential municipal tax base over the long-term.

Risk Analysis:

There is little risk associated with the approval of the CIP application. Staff resources are required for the upfront administration of the grant program and finalization of the legal agreement. Limited staff resources related to on-going monitoring of the eligible employment uses and issuance of annual grants will also be required over the next ten years. Should Council refuse the CIP request, there is a risk that Agri-Box Inc. may not proceed with the proposed revitalization project and the building will remain vacant or may be demolished.

Climate Change Risks

Climate Change Mitigation:

The proposed refurbishment and revitalization of the existing vacant industrial building implements Environmental Master Plan Objective C1: Encourage in-fill and higher density in existing built areas.

Climate Change Adaptation:

The proposed refurbishment and revitalization of the existing vacant industrial building may be affected by climate change, in particular with respect to extreme precipitation and an increase in days above 30 degrees. While not the subject of this report, any new construction would be required to meet the current provisions of the Building Code, which would be implemented through the building permit process. The site would also be required to incorporate storm water management best practices. Any site plan control application will be reviewed for opportunities to enhance resiliency.

Financial Matters:

Small Business Investment Grant Program

The tax increment portion of the Small Business Investment Grant is not calculated or paid out until all eligible work is completed and the property is reassessed by MPAC.

Reassessment of the property must result in an increase of at least \$25,000 in assessment value. The grant amount is recalculated annually based on the actual assessed property value, tax class, and municipal tax rate.

Summary of Potential Financial Incentives

The applicant proposes to spend a total of approximately \$6,000,000 on the project, with \$3,220,000 being eligible costs under the CIP program. The current assessment value for the property is \$2,381,000 and the annual property taxes are \$111,095 with the municipal share being \$90,143.

City staff anticipate the post-development assessment value of the building to be approximately \$7,000,000. Total annual property taxes on the increased assessment value would be \$331,966 – an increase of \$220,871. The post-development annual municipal tax levy would be \$270,366 – an increase of \$180,223. This would result in a total grant value of \$1,802,230 over the lifespan of the 10-year grant program and would offset approximately 56% of the eligible investment proposed by Agri-Box Inc.

Because the Small Business Investment Grant Program does not cancel taxes, the applicant must pay the full amount of property taxes annually and will subsequently receive a grant for up to 100% of the difference between the pre- and post-development municipal taxes. The City will retain the amount of pre-development (base) municipal taxes of \$90,143 per annum throughout the lifespan of the grant program, however, will be foregoing any incremental property taxes which could otherwise be used to offset future budget pressures.

Consultations:

The Economic Revitalization CIP was subject to extensive stakeholder and public consultation as part of the approval process, including two public open houses, a statutory public meeting of Council and circulation among internal City staff and the Province.

Planning staff have consulted with the applicant, the applicant's agent, and the applicant's architect prior to accepting the application for the Small Business Investment Grant Program. Greg Atkinson, Manager of Development, Planning and Building Services Department; Jose Mejalli, Assessment Management Officer, Taxation & Financial Projects; Carolyn Nelson, Manager of Property Valuation & Administration, Taxation & Financial Projects; and Kate Tracey, Senior Legal Counsel, Legal Department were consulted in the preparation of this report.

Conclusion:

Administration recommends that Council approve the request made by Agri-Box Inc. to participate in the Small Business Investment Grant Program. Specifically, that 100% of the municipal portion of the tax increment resulting from the proposed refurbishment and revitalization located at 3324 Marentette Avenue be provided as an annual grant for

up to 10 years or until 100% of the eligible costs are repaid pursuant to the City of Windsor Economic Revitalization CIP.

It is also recommended that approval to participate in the CIP expire if the grant agreement is not signed within two years following Council approval. The planned refurbishment and revitalization conforms with the Economic Revitalization CIP and assists the City in the achievement of a number of the CIP objectives.

Planning Act Matters: N/A

Approvals:

Name	Title
Jason Campigotto	Deputy City Planner – Growth (ACTING)
Neil Robertson	City Planner
Kate Tracey	Senior Legal Counsel, Legal Services & Real Estate
Lorie Gregg	Deputy Treasurer, Taxation & Financial Projects
Lorie Gregg	On behalf of Commissioner, Finance & City Treasurer
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email
Tony Liu, Agri-Box Inc.		
Juan Tao		
Bill MacArthur		
James Thoman		

Appendices:

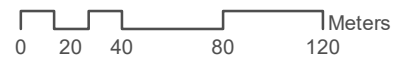
- 1 Appendix A - Location Map
- 2 Appendix B - Application Overview



LOCATION MAP: 3324 MARENTETTE AVENUE



SUBJECT PROPERTY





Ms. Tracy Tang, Planner II – Revitalization & Policy Initiatives
Planning & Building Services
350 City Hall Square West | Suite 320 | Windsor, ON | N9A 6S1
July 24, 2024

Re.: Agri-Box Inc. Application for Economic Revitalization CIP Grant

Dear Tracy,

I write on behalf of Agri-Box Inc. as an authorized agent regarding the application for an Economic Revitalization CIP Grant. We are requesting that Agri-Box obtains a freeze on property tax increases over the next 10 years to help offset the cost of renovating the firm’s building at 3324 Marentette Ave. in Windsor.

The Business Proposal

Agri-Box purchased this vacant building with the intent to refurbish and re-purpose for manufacturing of packaging for the agri-food industry using recycled plastics and paper. Products will include clamshells, trays and bowls, and paper cups. Approximately, 45% of the area of the building will be used for manufacturing and 40% for warehousing. The remaining 15% will be used for administration and logistics. Target customers include the local greenhouse industry and agri-food firms in the United States. The location close to existing border crossings and the new Gordie Howe bridge will facilitate exports to the US as well as internal Canadian sales.

The City’s financial assistance will facilitate the hiring of 50+ new employees in manufacturing and support operations. Most of the new employees will be production operators and support staff. The firm will have engineering, logistics, and accounting personnel as well.

The Planned Refurbishment

This building has been abandoned for approximately 10 years and has deteriorated badly from lack of maintenance. It has also been the recipient of vandalism in various forms. Significant property upgrades are required and are composed of two parts: the interior and exterior. The interior improvements will facilitate ongoing business. This entails major changes and replacements to the fire sprinkler system, HVAC, plumbing, and electrical systems, a new roof, lighting, adding fibre optic cables, as well as floor upgrades and more to facilitate manufacturing. Exterior improvements including improvements to the façade and painting as well as items detailed by drawings provided by Architect Stuart Miller will reverse the air of decay that this industrial park now faces. The firm will be building offices for managerial and support staff. Total project estimates are \$6,000,000 of which we believe \$3,220,000 are eligible costs. These include \$3,000,000 for Rehabilitation and Renovation work, \$60,000 for demolition work, \$50,000 for

building and related fees, \$20,000 for upgrading onsite infrastructure, and \$50,000 for upgrading offsite infrastructure.

Effect of Refurbishment

The firm is making a major investment in revitalizing an essentially abandoned building which has been underutilized and neglected for an extended period, resulting in significant deferred maintenance and infrastructure deficiencies. The required upgrades and renovations incur substantial costs that exceed the current financial capacity of the project stakeholders. Without Agri-Box's purchase and investment this building most likely would continue to deteriorate and eventually would have to be demolished. Agri-Box's investment and the City of Windsor's requested investment will ensure that the building is refurbished and remains viable for use for decades to come. Not only that, but a large, refurbished building with curb appeal will make the area more attractive to other businesses, provide the area with a sense of renewal, and in turn encourage other businesses to locate, renovate and remain. Ultimately, it will strengthen the tax base by solidifying the industrial area, the local merchants, and the local residential areas.

Conclusion

The refurbishment of 3324 Marentette by Agri-Box should be encouraged by the City of Windsor since it will help revitalize a building and an area in need of renewal, create spin-off benefits from the 50+ jobs created by Agri-Box, and encourage other firms to move to the industrial park or stay and renovate. We humbly request that the CIP application be approved as submitted.

Please consider our application favourably and contact us if you have any questions.

Best regards,

William MacArthur, B. Eng., B. Comm.
President
M-TEAMS
1583923 Ontario Inc.
1695 Gladstone Avenue
Windsor, Ontario N8W 2N2 Canada
Mailing Addr: 1695 Gladstone Ave
Telephone: (519) 567-0918
Email: billmac@mteams.net



Committee Matters: SCM 308/2024

Subject: Amendment to Sign By-law 250-04 for 9250 Tecumseh Rd E, File No. SGN-002/24 (BILLBOARD) - Ward #7

Moved by: Councillor Angelo Marignani
Seconded by: Councillor Mark McKenzie

Decision Number: **DHSC 667**

- I. THAT the application for a Site Specific Amendment to By-law 250-2004 (the "Sign By-law"), to allow for the installation of an Electronic Changing Copy Ground Sign at 9250 Tecumseh Road East, **BE APPROVED**;
- II. THAT Schedule "E" – "Special Provisions for Individual Signs" of the Sign By-law **BE AMENDED** by adding the following as a new section E. 23:

E. 23 Despite the provisions of this By-law, that an Electronic Changing Copy Sign, may be constructed at 9250 Tecumseh Road East situated on the north side of Tecumseh Road East, and immediately south of the Little River Corridor, subject to the following conditions:

- a. That the sign does not include flashing illumination, and that changing of the advertisement does not occur at intervals of less than 10 seconds;
- b. That the manufacturer of the sign confirm compliance with the lighting restrictions in accordance with Section 3 for Electronic Changing Copy Signs;
- c. That the sign does not have any animation including scrolling letters, television or video message, or any moving sign message objects;
- d. That the owner complies with the illumination regulations in subsection 3.3.1.(c) of this By-law, and that the brightness of the sign be automatically controlled with an ambient light photo-sensor; and
- e. That the sign may only be illuminated between the hours of 7am and 11pm.

- III. THAT the Chief Building Official **BE DIRECTED** to require, as a condition of approval of the installation of an Electronic Changing Copy Ground Sign at 9250 Tecumseh Road East, Pattison Outdoor Advertising apply for a Permit for Demolition to remove an existing quad-faced billboard ground sign located at 3124 Jefferson Avenue.; and,
- IV. THAT the City Solicitor **BE DIRECTED** to prepare the by-law to amend the Sign By-law.

Carried.

Report Number: S 111/2024

Clerk's File: SPL2024

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 11.8 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

**Subject: Amendment to Sign By-law 250-04 for 9250 Tecumseh Rd E,
File No. SGN-002/24 (BILLBOARD) - Ward #7**

Reference:

Date to Council: October 7, 2024
Author: Stefan Fediuk, OALA FCSLA
Sr. Urban Designer
519-255-6543 ext.6025
sfediuk@citywindsor.ca

Kevin Alexander, MCIP RPP
Senior Planner--Special Projects
519-255-6543 ext.6732
kalexander@citywindsor.ca

Planning & Building Services
Report Date: August 27, 2024
Clerk's File #: SPL2024

To: Mayor and Members of City Council

Recommendation:

- I. THAT the application for a Site Specific Amendment to By-law 250-2004 (the "Sign By-law"), to allow for the installation of an Electronic Changing Copy Ground Sign at 9250 Tecumseh Road East, **BE APPROVED**;
- II. THAT Schedule "E" – "Special Provisions for Individual Signs" of the Sign By-law **BE AMENDED** by adding the following as a new section E. 23:

E. 23 Despite the provisions of this By-law, that an Electronic Changing Copy Sign, may be constructed at 9250 Tecumseh Road East situated on the north side of Tecumseh Road East, and immediately south of the Little River Corridor, subject to the following conditions:

- a. That the sign does not include flashing illumination, and that changing of the advertisement does not occur at intervals of less than 10 seconds;
- b. That the manufacturer of the sign confirm compliance with the lighting restrictions in accordance with Section 3 for Electronic Changing Copy Signs;

- c. That the sign does not have any animation including scrolling letters, television or video message, or any moving sign message objects;
 - d. That the owner complies with the illumination regulations in subsection 3.3.1.(c) of this By-law, and that the brightness of the sign be automatically controlled with an ambient light photo-sensor; and
 - e. That the sign may only be illuminated between the hours of 7am and 11pm.
- III. THAT the Chief Building Official **BE DIRECTED** to require, as a condition of approval of the installation of an Electronic Changing Copy Ground Sign at 9250 Tecumseh Road East, Pattison Outdoor Advertising apply for a Permit for Demolition to remove an existing quad-faced billboard ground sign located at 3124 Jefferson Avenue.; and,
- IV. THAT the City Solicitor **BE DIRECTED** to prepare the by-law to amend the Sign By-law.

Executive Summary:

N/A.

Background:

An application for a site-specific amendment to the Sign By-law was received by the Building and Planning Department, seeking relief from Section 6.3.17.iii Prohibition for Electronic Change Copy Billboards within 300.0m of a sensitive use. While minor variances may be considered through the Committee of Adjustment, prohibitions can only be approved by Council through a site-specific Sign By-law Amendment.

The proposed site, located at 9250 Tecumseh Rd East, is situated on the north side of Tecumseh Road East, and contains an automotive sales business and associated parking lot. The subject property has a “HCD 3.3” Zoning designation, which is “General Commercial - Warehouse”. There is an existing ground sign on the property, which would be removed and re-located further east on the property as part of this project.

This location, as depicted in Appendix “A,” is subject to the City of Windsor Sign By-law 250-2004. The applicant is proposing installation of a new Billboard Ground Sign utilizing Electronic Changing Copy Signs, facing east and west, on the property in the current ground sign location (Appendix “B”). The sign is regulated by Section 6.3: Regulations for Billboard Ground and Wall Signs. The proposed sign falls within the permitted locations for Billboard Signs as outlined in Sign Bylaw Section 6.3.2 Tecumseh Road East, between Lauzon Parkway and the eastern City Boundary. Per Section 6.6.3 of the Sign Bylaw, two ground signs are permitted and the owner is proposing that one of the allowed Ground Signs be a Billboard Sign.

Discussion:

The applicant is seeking a site-specific amendment to the Sign Bylaw related to the westerly-facing electronic change copy sign face.

Section 6.3.17.iii of the Sign By-law prohibits the erection of any Electronic Change Copy Billboard Ground or Wall Sign within 300 metres of any residential or sensitive use where the sign structure or face would be visible.

The applicant is proposing to install the billboard sign approximately 218 metres from residences to the south and 215 metres from residences to the east of the site. Notably, there is significant commercial development, including a car dealership and a Canadian Tire store, located on the south side of Tecumseh Road East between the proposed sign and the sensitive land uses. This commercial development will block the visibility of the proposed sign. The applicant has also provided evidence that existing vegetation along the Little River Corridor, combined with the commercial development, will further screen the billboard.

To mitigate potential impacts, the applicant has proposed that the billboard will not be illuminated or operational between 11:00 PM and 7:00 AM. A light analysis summary has been provided, showing that the maximum increase in ambient light for the nearest residential properties will be 0.3 lux, equivalent to the light output of a 60-watt bulb positioned 14 metres away. The sign will be continuously monitored to ensure that illumination levels remain within the permitted intensity.

As the amendment to the Sign Bylaw (CR 93-2024) was intended to reduce conflicts related to health and safety and minimize the visual impact of concentrated signage, the applicant has also proposed removing an existing quad-faced billboard ground sign at 3124 Jefferson Avenue. This addresses the benefit of an electronic change copy billboard, which can display multiple messages in one location, compared to traditional poster billboards, which display a single message for extended periods.

Risk Analysis:

There are no significant risks identified with approval of the proposed Sign By-law amendment. Potential impact to sensitive land uses has been mitigated in accordance with the Recommendations of this report.

Climate Change Risks

Climate Change Mitigation:

Light pollution is a contributing factor to climate change and light levels for LED display signs are regulated by the Sign Bylaw. Automatic brightness controls even out the illumination levels related to the ambient light surrounding the signage. Currently, the Sign By-law does regulate the brightness of illuminated signs in Section 3.3 Illumination Regulations, however the very nature of Illuminated Electronic Change Copy Billboard Signs will create light pollution as they cannot be full cut-off as per CR228/200 Lighting Intensity Standards Study.

In addition, the applicant has agreed to restrict the illuminated hours of operation from 7am to 11pm to accommodate Dark Sky Friendly practices.

Climate Change Adaptation:

LED technology has proven more energy efficient than traditional static lighting. With climate change and increasing strain on natural resources, limiting carbon footprints is essential. Electronic Change Copy Billboard Signs help to reduce the amount of poster waste entering our landfills and recycling plants, but however have other risks from climate perspectives.

Financial Matters:

There are no direct matters of financial consequence to the Corporation of the City of Windsor arising from the recommendations of this application for an amendment.

Consultations:

Several municipal departments were circulated for consultation and comments, including: Transportation Planning, Traffic Operations, Engineering, Planning and Building Services, Windsor Police Services, and the Legal Department, to address the variances, restrictions and prohibitions, related to this proposal.

Conclusion:

The applicant has worked with City Administration since the original application in May 2022, to provide a rational proposal that reduced the number of non-compliances. It is Administration's opinion that applicant has demonstrated that the impact to the residential community will be minimized through the technology being utilized and the restricted hours that this Electronic Billboard Sign will be operated.

Therefore, it is Administration's opinion that Council should approve the proposed site-specific amendments related to the proximity to the residential uses south of Tecumseh Rd East and the Little River Corridor, limited to static messages only, which change at a rate of 10 second intervals, illumination regulations Subsection 3.3. of the Sign Bylaw, and will only be illuminated between the hours of 7am and 11pm daily.

Planning Act Matters:

N/A

Approvals:

Name	Title
Stefan Fediuk	Senior Urban Designer / Landscape Architect
Kevin Alexander	Senior Planner / Special Projects
Jason Campigotto	Deputy City Planner - Growth (Acting)
Neil Robertson	City Planner / Executive Director - Planning & Development
Kate Tracey	Senior Legal Counsel

Name	Title
Wira Vendrasco	City Solicitor & Commissioner, Legal and Legislative Services
Jelena Payne	Commissioner of Economic Development & Innovation
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:

- Appendix 'A' - Neighbourhood Map
- Appendix 'B' – SGN 002-24 Proposed Sign & Location
- Appendix 'C' - RATIONALE



APPENDIX 'A' SGN 002-24 – NEIGHBOURHOOD MAP



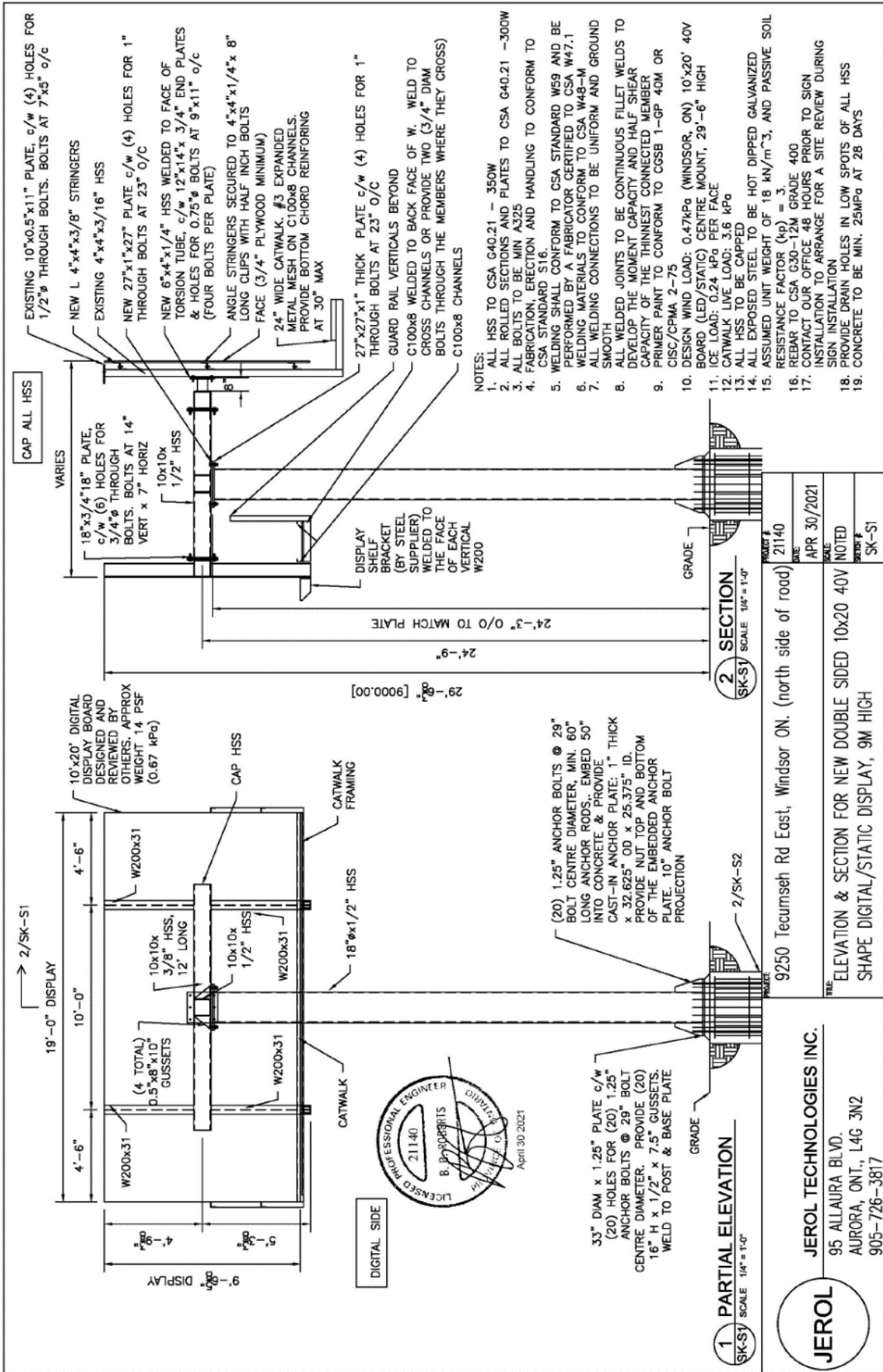
APPLICANT: PATTISON - BILLBOARD



SUBJECT LANDS

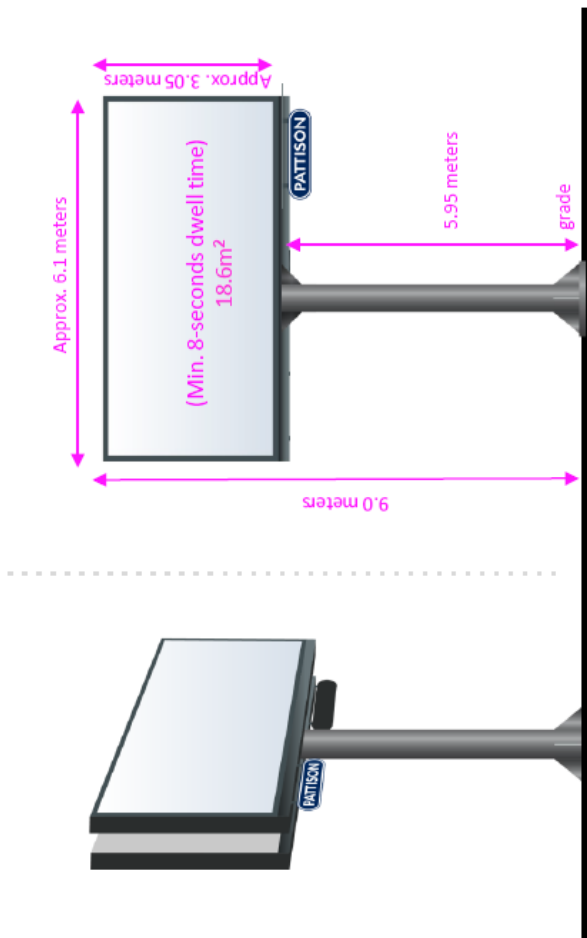
APPENDIX "B"

SGN-002/24 Proposed Electronic Billboard Sign and Site Plan

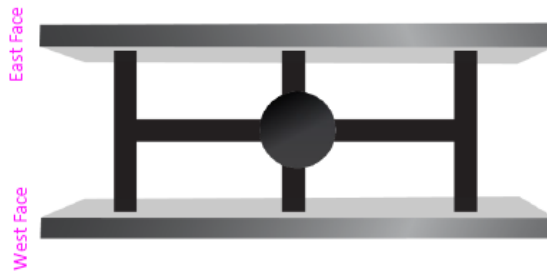


Elevation Drawings of the Proposed Sign (9250 Tecumseh Rd East)

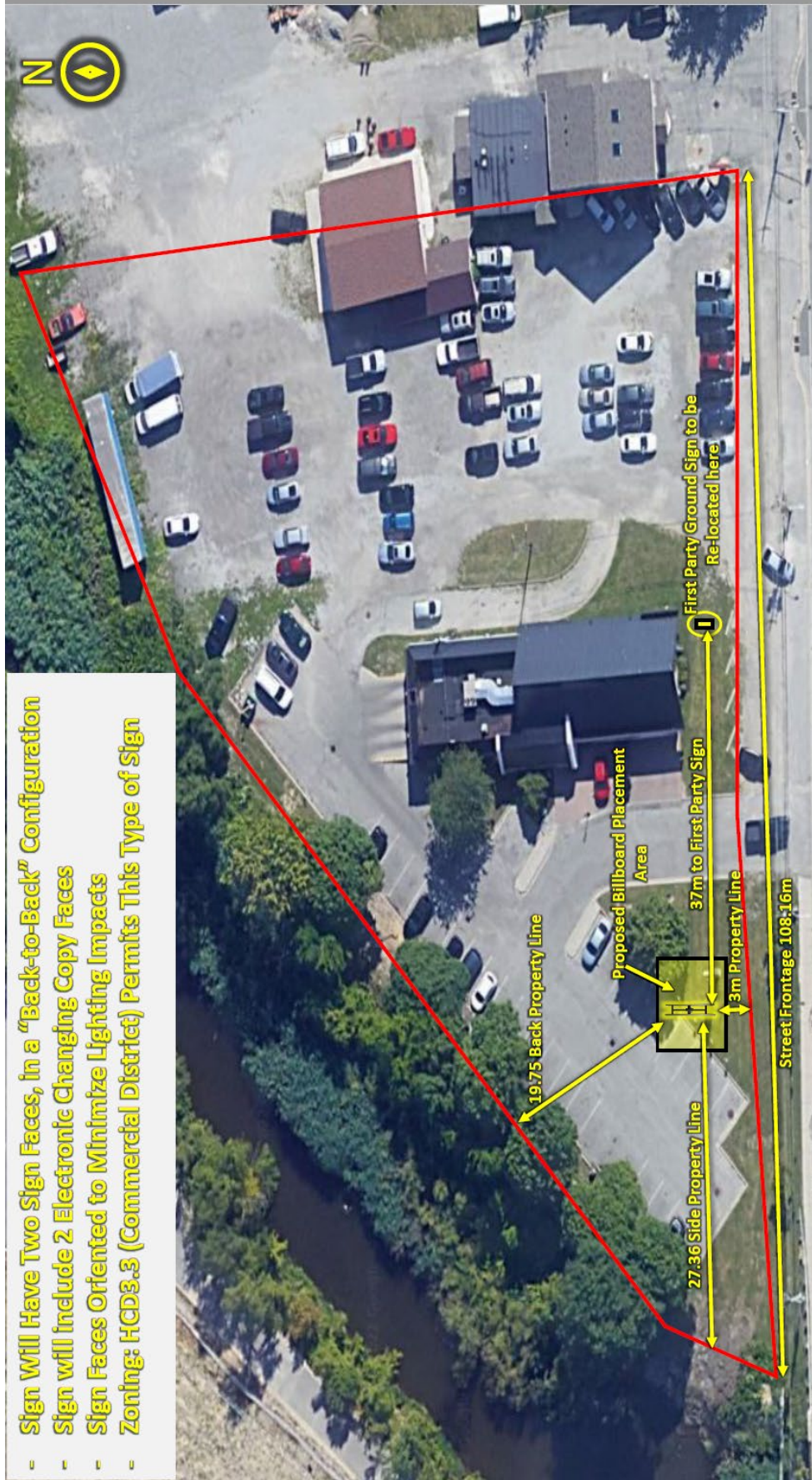
Front Elevation



Top Elevation



Approximate Location of the Proposed Sign at 9250 Tecumseh Road East

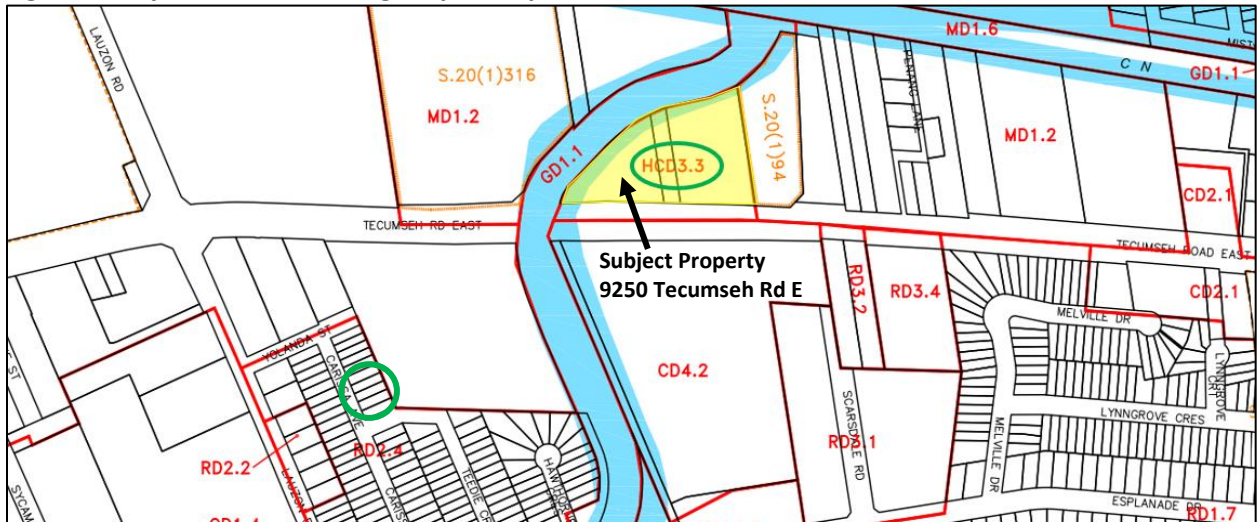


City of Windsor – 9250 Tecumseh Road East

On behalf of the Property Owner, Pattison Outdoor is seeking approval to build one new double-sided Electronic Changing Copy Billboard Ground Sign at 9250 Tecumseh Road East (the “Subject Property”).

This ground sign would have two electronic sign faces in a back-to-back configuration, each measuring 3.03 m tall by 5.91 metres wide, at an overall height of 9.0 metres from grade (the “Proposed Sign”). The Subject Property has a “**HCD 3.3**” Zoning designation, which is “**General Commercial - Warehouse**”, as shown in Figure 1 below. This commercial designation, along with the property being within a permitted area for Electronic Changing Copy Billboard Ground Signs in both the old and new Windsor Sign By-law, establishes its suitability at the Subject Property.

Figure 1: City of Windsor Zoning Map Excerpt – 9250 Tecumseh Road East



Prior to the recent amendments to the Sign By-law, Pattison Outdoor was issued a Sign Permit to build one new Electronic Changing Copy Billboard Ground Sign identical to the one being proposed at a different location on the subject property. However, due to underground infrastructure in place, it could not be installed.

Pattison Outdoor has also been issued a sign permit to re-locate an existing first party ground sign to a new placement further East at the Subject property, which will create sufficient separation between the two signs as specified in the Sign By-law.

The Subject Property is located on the North side of Tecumseh Road East, and contains an “Enterprise” auto rental facility, and associated parking lot. The surrounding area includes many other commercial, retail and employment uses on both the North and South sides of Tecumseh Road East.

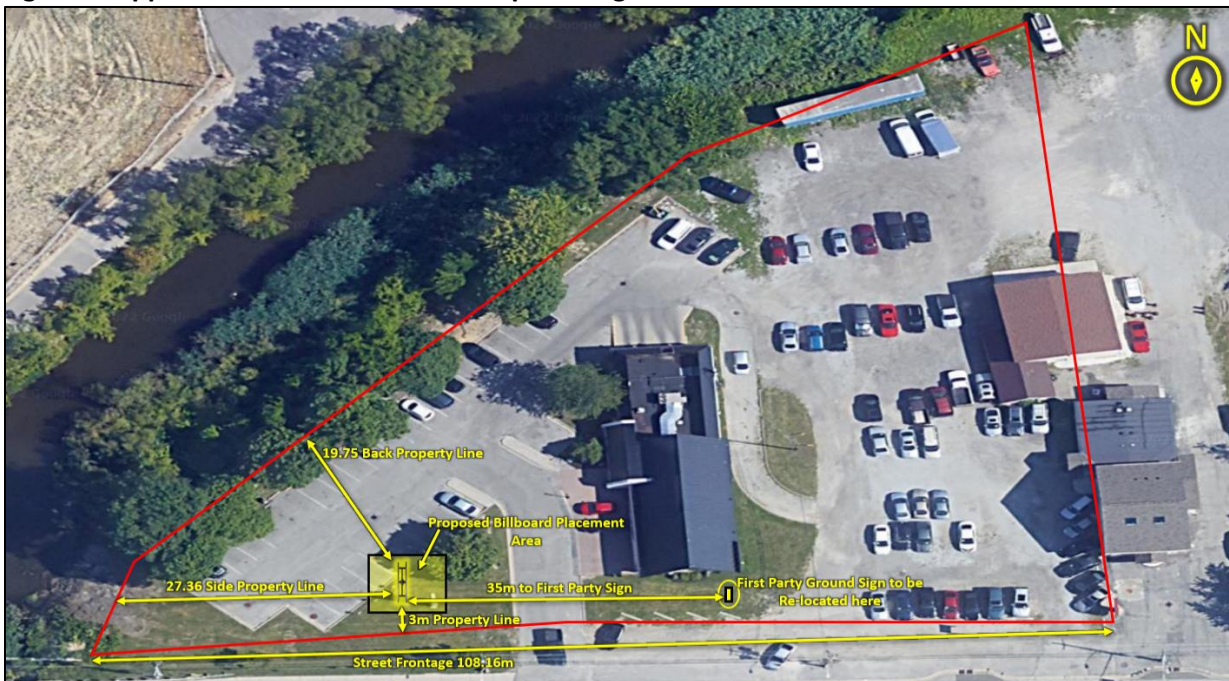
There are several commercial businesses and warehouses located to the south of the subject property, including Canadian Tire, Jaguar Windsor, Mercedes-Benz, and Rafih Auto Group. Beyond these commercial / employment uses which line the south side of Tecumseh Road East, is a dense section of natural growth, which will act as a physical barrier between the Proposed Sign and the residential areas located 200+ metres south of the Subject Property. The existing buildings and large trees will obstruct any potential visibility of the Proposed Sign from these residential areas.

Figure 2: Aerial view of 9250 Tecumseh Road East Property Boundaries



We have strategically designed the Proposed Sign with a back-to-back orientation, in order to effectively direct the sign copy to the intended audience travelling along Tecumseh Road. The angle of the sign faces, along with the built form of existing buildings and the mature trees in place between the Subject Property and residential uses, will ensure there is no visibility of sign copy from these areas to the south, as can be seen in Figures 3 and 4 below.

Figure 3: Approximate Location of the Proposed Sign at 9250 Tecumseh Road East



Clearance of 5.95 metres from grade to the bottom of the sign face will exceed the requirements set out in Sign By-law and the Ontario Building Code, and will ensure that pedestrians and vehicles can pass safely underneath the Proposed Sign. It is also located outside the Daylight Corner, and meets the required setback from the driveway entrance to the Subject Property. As such, the proposed placement will not obstruct the visibility of any drivers or cyclists.

Figure 4: Looking South from the Proposed Sign Location

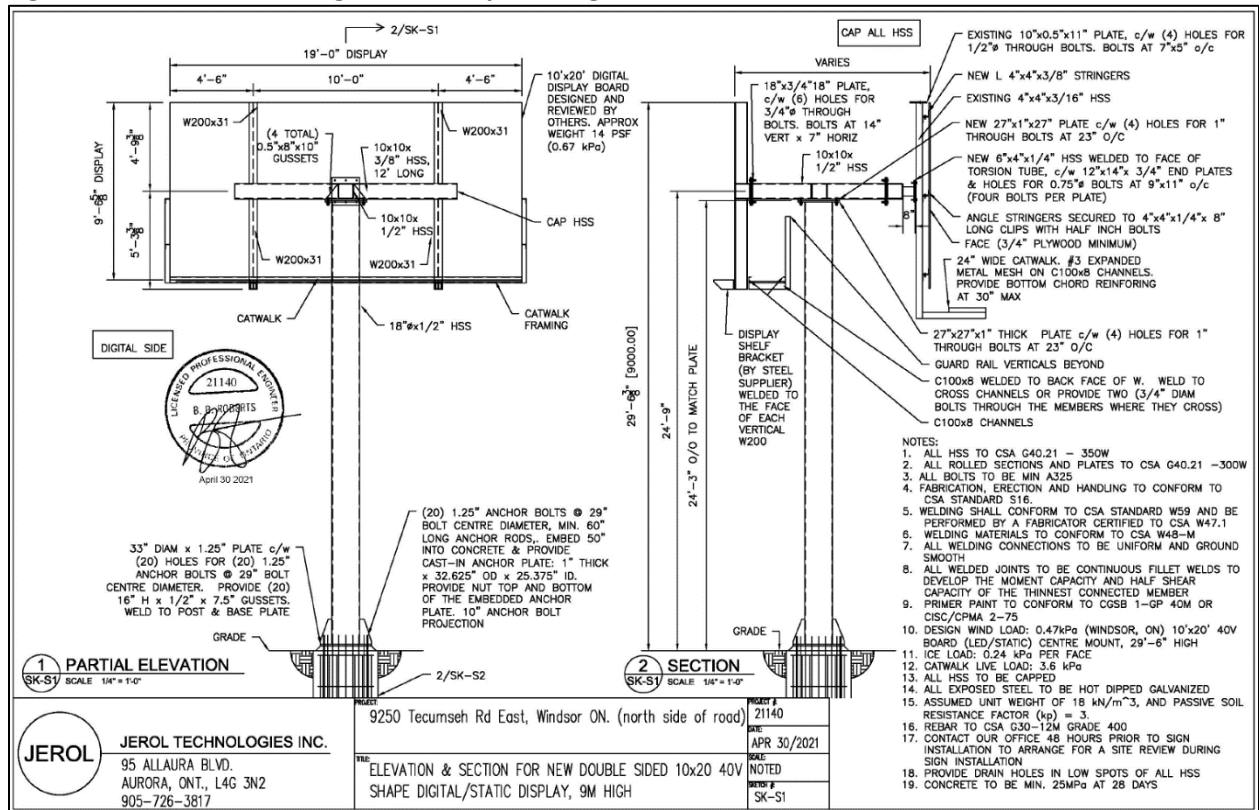


The Proposed Sign will meet nearly all of the applicable requirements in the Windsor Sign By-law:

- It is located on a property within a Commercial District / Zoning Designation (HCD 3.3);
- It is located on a property with frontage on Tecumseh Road East, between Lauzon Parkway and the Eastern City Boundary;
- It is **not** located within a Special Sign District as set out in Section 9.0;
- The maximum sign face area will not exceed 22.0 square metres (21.94 m² proposed);
- The maximum height will not exceed 9.0 metres (9.0 metres proposed);
- There are **no** other billboards within 200 metres, or digital billboards within 500 metres;
- It will **not** be erected within a Daylighting Corner or the driveway entrance to the property;
- There will be a minimum of 2.4 metres clearance from grade to the bottom of the sign face;
- The Subject Property has a minimum frontage of 30.0 metres;
- There are **no** other billboards ground signs or ground signs at the Subject Property;
- It is **not** within 300 metres of the Windsor Airport Lands;
- It is **not** within 400 metres of E.C. Row Expressway or Highway 401 (MTO-Controlled Areas);
- It will meet the setback from the adjacent lot line of 3.0 metres (13.1 m proposed), and;
- It will meet the setback from the rear lot line of 6.0 metres (31.1 m proposed)

Because the height of the Proposed Sign will exceed 7.5 metres, Pattison will undertake an engineering review and provide engineered-stamped drawings (see Figure 6 below), and an Engineer's Field Review following the installation of the Proposed Sign being completed.

Figure 6: Structural Drawings of the Proposed Sign at 9250 Tecumseh Road East



The sign copy displayed will comply with all of the Sign By-law provisions for electronic changing copy signs, including: only displaying a static (fixed) message for no less than 8.0 seconds, with an instantaneous change between messages (approximately 0.01-second interval before the next static message is displayed). At no time will the sign display any distracting visual effects such as scrolling, flashing, blinking, full-motion video, or any similar effects.

The Proposed Sign will also comply with the illumination requirements of the Sign By-law, and be programmed to not exceed the maximum brightness during daytime hours of 5,000 NITS, or the maximum brightness between dusk and dawn of 300 NITS. It will also be turned off and display no content between 11 pm and 7 am.

The Proposed Sign will meet all the requirements set out in Section 3.3.1(c) of the Sign By-law, specifically that it will be programmed to have an intensity of illumination and luminance not to exceed 3.0 lux (or 0.3 foot-candles) above ambient light conditions during its operating hours. We have provided a Letter of Certification from the Sign Manufacturer to confirm that the Proposed Sign will achieve these requirements.

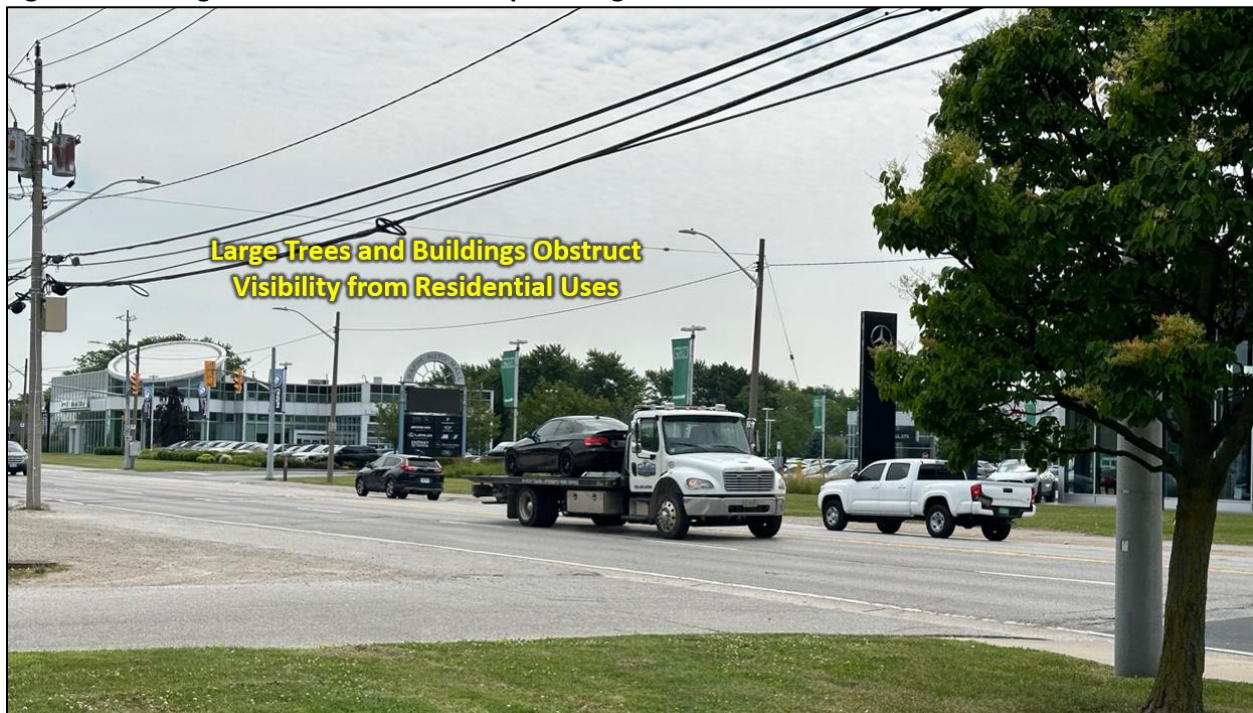
The Sign By-law was recently amended following a thorough review by Staff to refine and update the requirements for Electronic Changing Copy Ground Signs. Following these updates, the Subject Property remains in an area of the City where this type of sign would be compatible. The Subject Property was – and continues to be – within one of the permitted areas for Electronic Changing Copy Ground Signs, which includes properties along Tecumseh Road East, between Lauzon Parkway and the Eastern City Boundary.

Figure 7: Proximity to Residential Uses to the South and South-East



While the Proposed Sign would be located approximately 215m metres from residential uses to the South-East on Scarsdale Road, and 218m to the South on Teedie Crescent, we have taken a strategic approach to planning the sign's orientation, placement, and attributes in order to minimize or eliminate any potential impacts on these properties.

Figure 8: Looking South-East from the Proposed Sign Location



The back-to-back configuration of the sign faces will direct the sign copy to the West and East, toward traffic travelling along Tecumseh Road East. There is also a mature tree line which forms a natural barrier and further obstructs visibility of the Proposed Sign from the residential uses on Teedie Crescent and Scarsdale Road, as shown in Figures 8, 9 and 10.

Figure 9: Looking South towards Teedie Crescent from the Proposed Sign Location



Figure 10: Looking North Towards the Subject Property from Teedie Crescent



Based on the site-specific conditions and the built form and natural obstructions in the surrounding area, we believe the variances required for the Proposed Sign are minor in nature and can be granted with confidence that the Proposed Sign will have no negative impacts on the Subject Property or any of the uses found in the surrounding area.

Figure 11: Condition of Approval – Existing Billboard Ground Sign to be Removed



Pattison Outdoor is committed to helping achieve higher-level objectives of the Sign By-law. As such, we will remove an existing billboard ground sign as a Condition of Approval, to reduce overall sign clutter in the City of Windsor. This existing sign (Shown in Figure 11 above) is located on Jefferson Ave., only 55 metres from a residential use. This will result in a reduction of 37.2 square metres of signage. We will request that the associated permits be revoked, upon issuance of a Sign Permit for the Proposed Sign.

Figure 12: Light Impact Study Map – Responsible Management of Light Spill Confirmed



To ensure that any lighting impacts created by the Proposed Sign do not affect any of the adjacent properties, we had qualified experts conduct a Light Impact Study based on the planned placement of the Proposed Sign. As can be seen in Figure 12 above, any areas identified beyond 50 metres of the Proposed Sign will only see an increase of 0.3 lux or less – a negligible amount considered to be equivalent to the light cast by a full moon, and in line with the Sign By-law requirements. The full report of this Light Impact Study has been included with our application materials.

The natural and built-form obstructions, along with the back-to-back configuration and turning off the sign completely off between the 11 p.m. and 7 a.m., will mitigate any impacts on the nearby residential uses and natural sensitive areas, such as Little River. The location previously approved for a Sign Permit was closer to the Little River, so the additional separation will further minimize any potential impacts on this waterway.

We have also confirmed that the Proposed Sign location is outside of the MTO Controlled Area (it is further than 400 metres away from Highway 401 and from E.C. Row Expressway), and further than 300 metres from the property boundaries of the Windsor Airport.

If you have any questions or concerns about our application or the Proposed Sign, we are available any time to discuss as required. Thank you for your consideration of our application, and take care.

Sincerely,

Nathan Jankowski
Manager, Permits & Legislation
Pattison Outdoor

Scott Stover
Leasing Representative
Pattison Outdoor



Subject: Brownfield Redevelopment Community Improvement Plan (CIP) application submitted by Farhi Holdings Corporation for 0 Riverside Drive West at Janette Avenue (Ward 3)

Moved by: Councillor Mark McKenzie
Seconded by: Councillor Fred Francis

Decision Number: **DHSC 660**

- I. THAT the request made by Farhi Holdings Corporation to participate in the Environmental Site Assessment Grant Program **BE APPROVED** for the completion of a Phase II Environmental Site Assessment Study and Remedial Work Plan for the property located at 0 Riverside Drive West at Janette Avenue pursuant to the City of Windsor Brownfield Redevelopment Community Improvement Plan; and,
- II. THAT the City Treasurer **BE AUTHORIZED** to issue payment up to a maximum of \$17,100 based upon the completion and submission of a Phase II Environmental Site Assessment Study and Remedial Work Plan completed in a form acceptable to the City Planner and City Solicitor; and,
- III. THAT the grant funds in the amount of \$17,100 under the Environmental Site Assessment Grant Program **BE TRANSFERRED** from the CIP Reserve Fund 226 to Brownfield Strategy Remediation (project 7069003) when the eligible work is completed to the satisfaction of the City Planner; and,
- IV. THAT should the Phase II Environmental Site Assessment Study and Remedial Work Plan not be completed within two (2) years of Council approval, the approval **BE RESCINDED** and the funds be uncommitted and made available for other applications.

Carried.

Report Number: S 123/2024
Clerk's File: Z/14427

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to 11.1 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008-1/10511>

Subject: Brownfield Redevelopment Community Improvement Plan (CIP) application submitted by Farhi Holdings Corporation for 0 Riverside Drive West at Janette Avenue (Ward 3)

Reference:

Date to Council: October 7, 2024
Author: Tracy Tang, MCIP, RPP
Planner III – Economic Development
ttang@citywindsor.ca
519-255-6543 x 6449
Planning & Building Services
Report Date: September 12, 2024
Clerk's File #: Z/14427

To: Mayor and Members of City Council

Recommendation:

- I. THAT the request made by Farhi Holdings Corporation to participate in the Environmental Site Assessment Grant Program **BE APPROVED** for the completion of a Phase II Environmental Site Assessment Study and Remedial Work Plan for the property located at 0 Riverside Drive West at Janette Avenue pursuant to the City of Windsor Brownfield Redevelopment Community Improvement Plan; and,
- II. THAT the City Treasurer **BE AUTHORIZED** to issue payment up to a maximum of \$17,100 based upon the completion and submission of a Phase II Environmental Site Assessment Study and Remedial Work Plan completed in a form acceptable to the City Planner and City Solicitor; and,
- III. THAT the grant funds in the amount of \$17,100 under the Environmental Site Assessment Grant Program **BE TRANSFERRED** from the CIP Reserve Fund 226 to Brownfield Strategy Remediation (project 7069003) when the eligible work is completed to the satisfaction of the City Planner; and,
- IV. THAT should the Phase II Environmental Site Assessment Study and Remedial Work Plan not be completed within two (2) years of Council approval, the approval **BE RESCINDED** and the funds be uncommitted and made available for other applications.

Executive Summary:

N/A

Background:

Brownfield Redevelopment Community Improvement Plan (CIP)

Brownfield sites are properties that may be contaminated due to previous industrial or commercial uses such as a manufacturing facility or gas station. City Council approved a Brownfield Redevelopment CIP at its April 19, 2010 meeting for the purpose of encouraging the study, clean-up, and redevelopment of contaminated properties. The approval of the CIP was the result of nearly five years of study and consultation, which began in October 2005.

Importance of Brownfield Redevelopment

Historically, there has been little interest in redeveloping brownfield sites due to the uncertainty surrounding the extent of contamination and the potential cost of clean-up. The Brownfield Redevelopment CIP was adopted in 2010 and provides financial incentives to undertake the necessary studies and remedial work necessary to redevelop brownfield sites and reduce the potential negative impacts to the City's environment and neighbourhoods.

The benefits associated with brownfield redevelopment go far beyond the boundaries of the property. For example, they are often strategically located within existing built up areas of the City where services and other infrastructure, such as roads, schools, community facilities and public transit are already available, therefore additional infrastructure costs are not incurred to service these areas. The redevelopment of these sites also remove the negative stigma often associated with brownfield properties, which increases the value of the subject property and adjacent properties.

Site Background

The subject site at 0 Riverside Drive West at Janette Avenue consists of one property parcel located on the south-west intersection of Riverside Drive West and Janette Avenue. The property is 0.22 hectares (or 0.54 acres) in size and irregularly shaped. It is currently vacant with remnants of a parking area. The site is designated "Mixed Use (City Centre)" in the Official Plan, and is zoned Commercial District CD3.1 with special provision 20 (1) 489, which permits a multiple dwelling.

Originally, the property was occupied by a hotel and other buildings, including a grocery store. Between 1988 and 1995, the buildings on the property were demolished. In some time between 1995 and 2000, the property began operating as a parking lot and continued the use to present day. The Potentially Contaminating Activities (PCAs)

identified on the subject site include fill material of unknown quality following demolition.

The principal owner of Farhi Holdings Corporation is Shmuel Farhi. Farhi Holdings Corporation intends to redevelop the property for residential use, thus a Record of Site Condition (RSC) is required under Ontario Regulation 153/04. In recent years, Farhi Holdings Corporation has submitted Planning Act applications to facilitate the redevelopment proposal, including a Zoning By-law Amendment application (Z-017/22, ZNG/14427 and associated By-law 118-2023 passed by City Council on September 5, 2023). Through the Zoning By-law Amendment application, the requirement for an RSC was noted. The owner has now submitted the grant application and will be incurring the eligible Phase II ESA and Remedial Work Plan costs and, should the application be approved, would receive the grant payment.

Discussion:

Environmental Site Assessment Grant Program

The ESA Grant Program offers a matching grant to property owners of brownfield sites to conduct environmental studies that provide information on the type and extent of contamination and potential remediation costs. The program offers 50% of the cost of an eligible study up to a maximum of \$15,000. If two studies are required, an additional \$10,000 is available for a maximum total grant value of \$25,000.

The applicant proposes to redevelop 0 Riverside Drive West at Janette Avenue for residential use, consisting of a 28-storey, 166-unit residential building with 187 parking spaces. They require a Phase II ESA study as part of their application for an RSC. The applicant has completed a Phase I ESA, which identifies areas of potential environmental concern, and recommends that a Phase II ESA study be completed to assess the existing soil and groundwater conditions at the site. The applicant is in the process of undertaking the Phase II ESA, and is also undertaking a Remedial Work Plan which is an eligible second study under the ESA Grant Program. The findings from the Phase II ESA sampling analysis revealed that contamination is present on the site, thus remediation is required. Upon completion, the City would retain a copy of the final Phase II ESA study report.

CIP Goals

City staff is supportive of the application as it meets all of the eligibility requirements specified within the Brownfield Redevelopment CIP. The study and remediation of the subject site also supports the following CIP goals:

- To promote the remediation, rehabilitation, adaptive re-use and redevelopment of brownfield sites throughout the City of Windsor in a fiscally responsible and sustainable manner over the long term;

- Improve the physical and visual quality of brownfield sites;
- Improve environmental health and public safety;
- Provide opportunities for new housing, employment uses, and commercial uses;
- Increase tax assessment and property tax revenues;
- Promote Smart Growth, including the reduction of urban sprawl and its related costs;
- Increase community awareness of the economic, environmental and social benefits of brownfield redevelopment; and
- Utilize public sector investment to leverage significant private sector investment in brownfield remediation, rehabilitation, adaptive re-use, and redevelopment.

Policy Support

The clean up, redevelopment, and intensification of the site is supported by numerous policies within the 2020 Provincial Policy Statement, the City's Official Plan, and the City's Environmental Master Plan.

Risk Analysis:

As with all brownfield sites, there is a degree of risk associated related to the potential presence of contamination. In this case, there is also a risk of the property remaining in a vacant state, which negatively affects the surrounding properties. The studies and remediation will assist in mitigating these risks. The City would retain a copy of the studies for future reference.

Climate Change Risks

Climate Change Mitigation:

The proposed residential redevelopment implements Environmental Master Plan Objective C1: Encourage in-fill and higher density in existing built areas. In particular, the redevelopment would implement the action that supports the existing Brownfields Redevelopment Strategy and achieve its work plan.

Climate Change Adaptation:

The redevelopment of the existing vacant property may be affected by climate change, in particular with respect to extreme precipitation and an increase in days above 30 degrees. While not the subject of this report, any new construction would be required to

meet the current provisions of the Building Code, which would be implemented through the building permit process.

Financial Matters:

The cost estimate (excluding HST) for completing the Remedial Work Plan is \$24,100. The cost estimate (excluding HST) for completing the Phase II ESA study is \$10,100. If approved, the maximum grant would total \$17,100 (\$12,050 for the first study and \$5,050 for the second study). Should the actual costs of the studies be less than what has been estimated, the grant payments would be based on the lower amount.

If approved, the grant would be paid from the Brownfield Strategy Remediation Fund (Project #7069003). The funds would be transferred from CIP reserve fund 226 for payment when the eligible studies are complete. The current uncommitted balance of the CIP reserve fund is \$299,916 however this balance does not account for other CIP grant requests that are currently being considered by the standing committee or have been endorsed by the standing committee and are not yet approved by City Council.

The applicant has also expressed interest in applying for incentives under the Downtown Windsor CIP, specifically the Building/Property Improvement Tax Increment Grant Program and the New Residential Development Grant Program, in the near future.

Consultations:

The development and approval of the Brownfield Redevelopment CIP was subject to extensive stakeholder and public consultation, which sought input from a wide range of stakeholders and internal City departments.

Planning staff have consulted with the applicant's agent from Dillon Consulting prior to accepting the Brownfield Redevelopment CIP application. Greg Atkinson, Manager of Development, Planning and Building Services Department; Josie Gualtieri, Financial Planning Administrator, Finance Department; and Kate Tracey, Senior Legal Counsel, Legal Department were consulted in the preparation of this report.

Conclusion:

City Staff recommend Council approve the request from Farhi Holdings Corporation to participate in the Environmental Site Assessment Grant Program. In the opinion of planning staff, the study of this brownfield site conforms to the Brownfield Redevelopment CIP and assists the City in the achievement of a number of CIP, Official Plan, Community Energy Plan, and Environmental Master Plan goals.

Planning Act Matters:

N/A

Approvals:

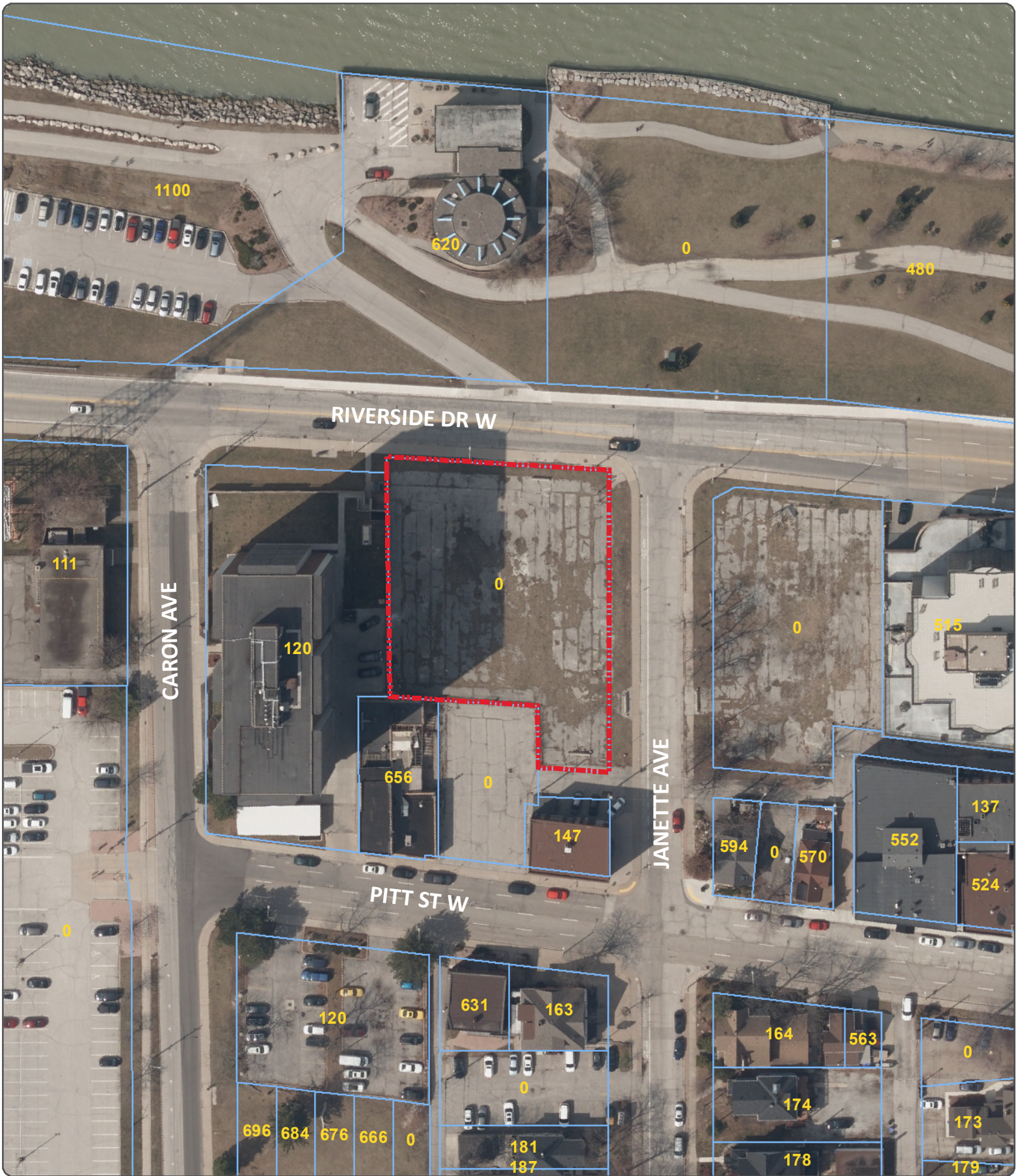
Name	Title
Emilie Dunnigan	Manager Development Revenue & Financial Administration
Jason Campigotto	Deputy City Planner – Growth (Acting)
Neil Robertson	City Planner
Kate Tracey	Senior Legal Counsel, Legal Services & Real Estate
Janice Guthrie	Commissioner, Finance & City Treasurer
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email
Theresa O'Neill		
Matthew Antaya		

Appendices:

- 1 Appendix A - Location Map



LOCATION MAP : 0 RIVERSIDE DRIVE WEST



SUBJECT PROPERTY





Committee Matters: SCM 310/2024

Subject: Amendment to CR58/2021, as amended by CR285/2023 for Closure of east/west alley located between Matthew Brady Boulevard and east limit of 7730 St. Rose Avenue, Ward 6, SAA-5947

Moved by: Councillor Fred Francis
Seconded by: Councillor Mark McKenzie

Decision Number: **DHSC 662**

- I. THAT CR58/2021, adopted on February 1, 2021, as amended by CR285/2023, adopted on July 10, 2023, **BE AMENDED** as follows:

By **DELETING** the following from Resolution IV in its entirety:

“, subject to the following:

- a. Easement, subject to there being accepted in the City’s standard form and in accordance with the City’s standard practice, be granted to:
 - i. Owner of the property known municipally as 7720 St. Rose Avenue (legally described as Lot 50, Plan 1181) to enter, construct, maintain, inspect, alter, repair, remove, replace, reconstruct and enlarge the existing private sanitary sewer; and
 - ii. Owner of the property known municipally as 7730 St. Rose Avenue (legally described as Lot 49, Plan 1181) to enter, construct, maintain, inspect, alter, repair, remove, replace, reconstruct and enlarge the existing private sanitary sewer.”

Carried.

Report Number: S 117/2024
Clerk’s File: SAA2024

Clerk’s Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 11.3 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

Subject: Amendment to CR58/2021, as amended by CR285/2023 for Closure of east/west alley located between Matthew Brady Boulevard and east limit of 7730 St. Rose Avenue, Ward 6, SAA-5947

Reference:

Date to Council: October 7, 2024
Author: Brian Nagata, MCIP, RPP
Planner II - Development Review
(519) 255-6543 ext. 6181

Planning & Building Services
Report Date: September 10, 2024
Clerk's File #: SAA2024

To: Mayor and Members of City Council

Recommendation:

- I. THAT CR58/2021, adopted on February 1, 2021, as amended by CR285/2023, adopted on July 10, 2023, **BE AMENDED** as follows:

By **DELETING** the following from Resolution IV in its entirety:

“, subject to the following:

- a. Easement, subject to there being accepted in the City's standard form and in accordance with the City's standard practice, be granted to:
 - i. Owner of the property known municipally as 7720 St. Rose Avenue (legally described as Lot 50, Plan 1181) to enter, construct, maintain, inspect, alter, repair, remove, replace, reconstruct and enlarge the existing private sanitary sewer; and
 - ii. Owner of the property known municipally as 7730 St. Rose Avenue (legally described as Lot 49, Plan 1181) to enter, construct, maintain, inspect, alter, repair, remove, replace, reconstruct and enlarge the existing private sanitary sewer.”

Executive Summary:

N/A



STREET & ALLEY CLOSING (SAA/5947)

1:500

APPLICANT : P. THWAITES

 SUBJECT LAND



PLANNING DEPARTMENT - DEVELOPMENT DIVISION

DATE: OCTOBER, 2020

Background:

CR58/2021 was adopted by Council on February 1, 2021, directing administration to undertake the necessary steps to assume, close and convey the following alley:

- 4.86-metre-wide east/west alley located between Matthew Brady Boulevard and east limit of 7730 St. Rose Avenue (the alley).

CR285/2023 was adopted by Council on July 10, 2023, to amend CR58/2021 to add a condition requiring an easement to be granted in favour of 7720 St. Rose Avenue and 7730 St. Rose Avenue for access to maintain and repair the existing private sanitary sewer within the alley before its closure and conveyance.

The Planning Department emailed the abutting three property owners (884 Matthew Brady Boulevard, 7720 St. Rose Avenue and 7730 St. Rose Avenue) on August 15, 2024, requesting their lawyer's information for executing the said easement. The owner of 884 Matthew Brady Boulevard confirmed that they are not retaining a lawyer. The Planning Department advised the abutting property owners that the execution of the easement is dependent on all parties retaining a lawyer. The Planning Department further advised the abutting property owners that without an easement, all matters pertaining to the private sanitary sewer will become a civil matter after the alley is closed and conveyed. The owner of 884 Matthew Brady Boulevard accepted responsibility for granting access to the other two property owners for maintenance and repair of the private sanitary sewer.

Discussion:

CR58/2021, as amended by CR285/2023, must be further amended to remove the said easement to allow for the closure and conveyance of the alley

Risk Analysis:

The recommended amendment to CR58/2021, as amended by CR285/2023 poses no known risk to the City.

Climate Change Risks**Climate Change Mitigation:**

N/A

Climate Change Adaptation:

N/A

Financial Matters:

The recommended amendment to CR58/2021, as amended by CR285/2023 does not impact the conveyance cost.

Consultations:

N/A

Conclusion:

The Planning Department recommends that CR285/2023 be amended to remove the said easement as in Recommendation I of this report.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

*Greg Atkinson, MCIP, RPP
Manager of Development*

*Neil Robertson, MCIP, RPP
City Planner*

I am not a registered Planner and have reviewed as a Corporate Team Leader

Approvals:

Name	Title
Brian Nagata	Planner II - Development Review
Greg Atkinson	Manager of Development/Deputy City Planner
Neil Robertson	City Planner / Executive Director, Planning & Development Services
Kate Tracey	Senior Legal Counsel, Legal Services & Real Estate
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administration Officer

Notifications:

Name	Address	Email
Ward 6 Councillor Jo-Anne Gignac	350 City Hall Square West, Suite 220 Windsor, Ontario N9A 6S1	joagignac@citywindsor.ca
List of mailing labels for property owners abutting the alley issued to Clerks office		

Appendices:



Committee Matters: SCM 311/2024

Subject: Amendment to CR419/2023 for Closure of east/west alley between Dieppe Street and Genevieve Avenue, Ward 6, SAA-6844

Moved by: Councillor Angelo Marignani
Seconded by: Councillor Kieran McKenzie

Decision Number: **DHSC 663**

I. THAT CR419/2023, adopted on October 16, 2023, **BE AMENDED** as follows:

By **DELETING** the following from Resolution V:

“, subject to the following:

- a. Easement over that portion of the subject east/west alley abutting 8415 Riverside Drive East, subject to there being accepted in the City’s standard form and in accordance with the City’s standard practice, be granted to:
 - i. The owner of 8415 Riverside Drive East for access to maintain their hedgerow bordering the said portion of the subject east/west alley.”

Carried.

Report Number: S 118/2024
Clerk’s File: SAA2024

Clerk’s Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 11.4 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

Subject: Amendment to CR419/2023 for Closure of east/west alley between Dieppe Street and Genevieve Avenue, Ward 6, SAA-6844

Reference:

Date to Council: October 7, 2024
Author: Brian Nagata, MCIP, RPP
Planner II - Development Review
(519) 255-6543 ext. 6181

Planning & Building Services
Report Date: September 10, 2024
Clerk's File #: SAA2024

To: Mayor and Members of City Council

Recommendation:

- I. THAT CR419/2023, adopted on October 16, 2023, **BE AMENDED** as follows:

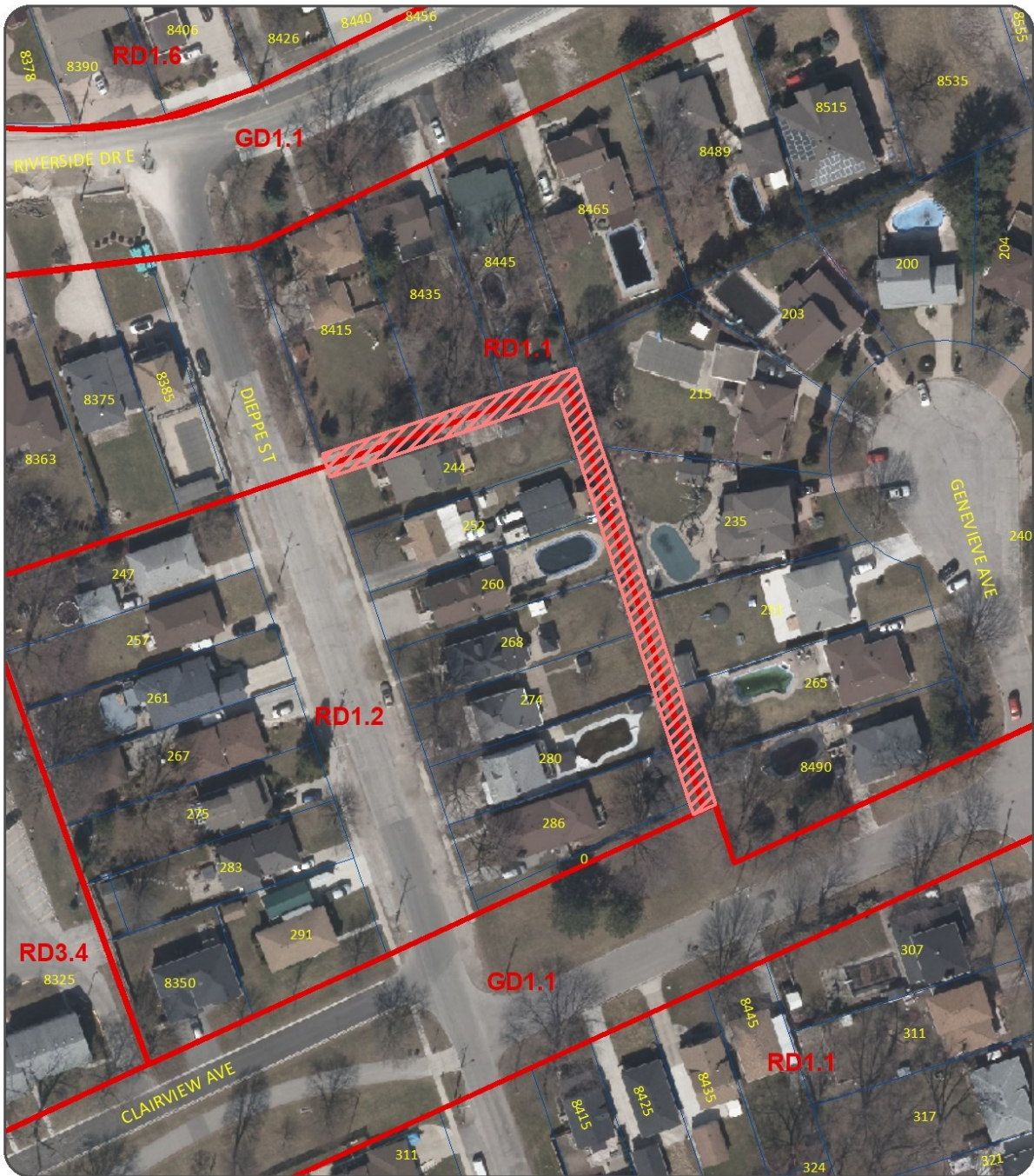
By **DELETING** the following from Resolution V:

“, subject to the following:

- a. Easement over that portion of the subject east/west alley abutting 8415 Riverside Drive East, subject to there being accepted in the City's standard form and in accordance with the City's standard practice, be granted to:
 - i. The owner of 8415 Riverside Drive East for access to maintain their hedgerow bordering the said portion of the subject east/west alley”

Executive Summary:

N/A




STREET & ALLEY CLOSING (SAA/6844)

1:1,000

APPLICANT : CLAIRE OFNER AND JACK TOBIN



 SUBJECT LANDS

PLANNING DEPARTMENT - PLANNING POLICY

DATE: AUGUST, 2022

Background:

CR419/2023 was adopted by Council on October 16, 2023, directing administration to undertake the necessary steps to assume, close and convey the following alley:

- 4.88-metre-wide east/west alley located between Dieppe Street and Genevieve Avenue (the alley).

CR419/2023 included a condition requiring an easement to be granted in favour of 8415 Riverside Drive East for access to maintain the hedgerow bordering the alley. The condition was included at the request of the owner of 8415 Riverside Drive East.

The Planning Department emailed and telephoned the abutting two property owners (244 Dieppe Street & 8415 Riverside Drive East, respectively) on August 14, 2024, requesting their lawyer's information for executing the said easement. The owner of 8415 Riverside Drive East confirmed that they are not retaining a lawyer. The Planning Department advised the abutting property owners that the execution of the easement is dependent on all parties retaining a lawyer. The Planning Department further advised the abutting property owners that without an easement, all matters pertaining to the hedgerow become a civil matter after the alley is closed and conveyed. The owner of 8415 Riverside Drive East maintained their position and confirmed that they are now satisfied with 244 Dieppe Street's original unofficial verbal agreement to allow them access to maintain their hedgerow.

Discussion:

CR419/2023 must be amended to remove the said easement to allow for the closure and conveyance of the alley.

Risk Analysis:

The recommended amendment to CR419/2023 poses no known risk to the City.

Climate Change Risks**Climate Change Mitigation:**

N/A

Climate Change Adaptation:

N/A

Financial Matters:

The recommended amendment to CR419/2023 does not impact the conveyance cost.

Consultations:

N/A

Conclusion:

The Planning Department recommends that CR419/2023 be amended to remove the said easement as in Recommendation I of this report.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

Greg Atkinson, MCIP, RPP
Manager of Development

Neil Robertson, MCIP, RPP
City Planner

I am not a registered Planner and have reviewed as a Corporate Team Leader

JP JM

Approvals:

Name	Title
Brian Nagata	Planner II - Development Review
Greg Atkinson	Manager of Development/Deputy City Planner
Neil Robertson	City Planner / Executive Director, Planning & Development Services
Kate Tracey	Senior Legal Counsel, Legal Services & Real Estate
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administration Officer

Notifications:

Name	Address	Email
Ward 6 Councillor Jo-Anne Gignac	350 City Hall Square West, Suite 220 Windsor, Ontario N9A 6S1	joagignac@citywindsor.ca
List of mailing labels for property owners abutting the alley issued to Clerks office		

Appendices:



Committee Matters: SCM 312/2024

Subject: Amendment to CR437/2023 for Closure of north/south alley located between Taylor Avenue and 1124-1224 Campbell Avenue, Ward 2, SAA-6848

Moved by: Councillor Mark McKenzie
Seconded by: Councillor Angelo Marignani

Decision Number: **DHSC 664**

- I. THAT CR437/2023, adopted on October 30, 2023, **BE AMENDED** by **DELETING** subsection b) of Resolution II in its entirety.

Carried.

Report Number: S 119/2024
Clerk's File: SAA2024

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 11.5 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

Subject: Amendment to CR437/2023 for Closure of north/south alley located between Taylor Avenue and 1124-1224 Campbell Avenue, Ward 2, SAA-6848

Reference:

Date to Council: October 7, 2024
Author: Brian Nagata, MCIP, RPP
Planner II - Development Review
(519) 255-6543 ext. 6181

Planning & Building Services
Report Date: September 10, 2024
Clerk's File #: SAA2024

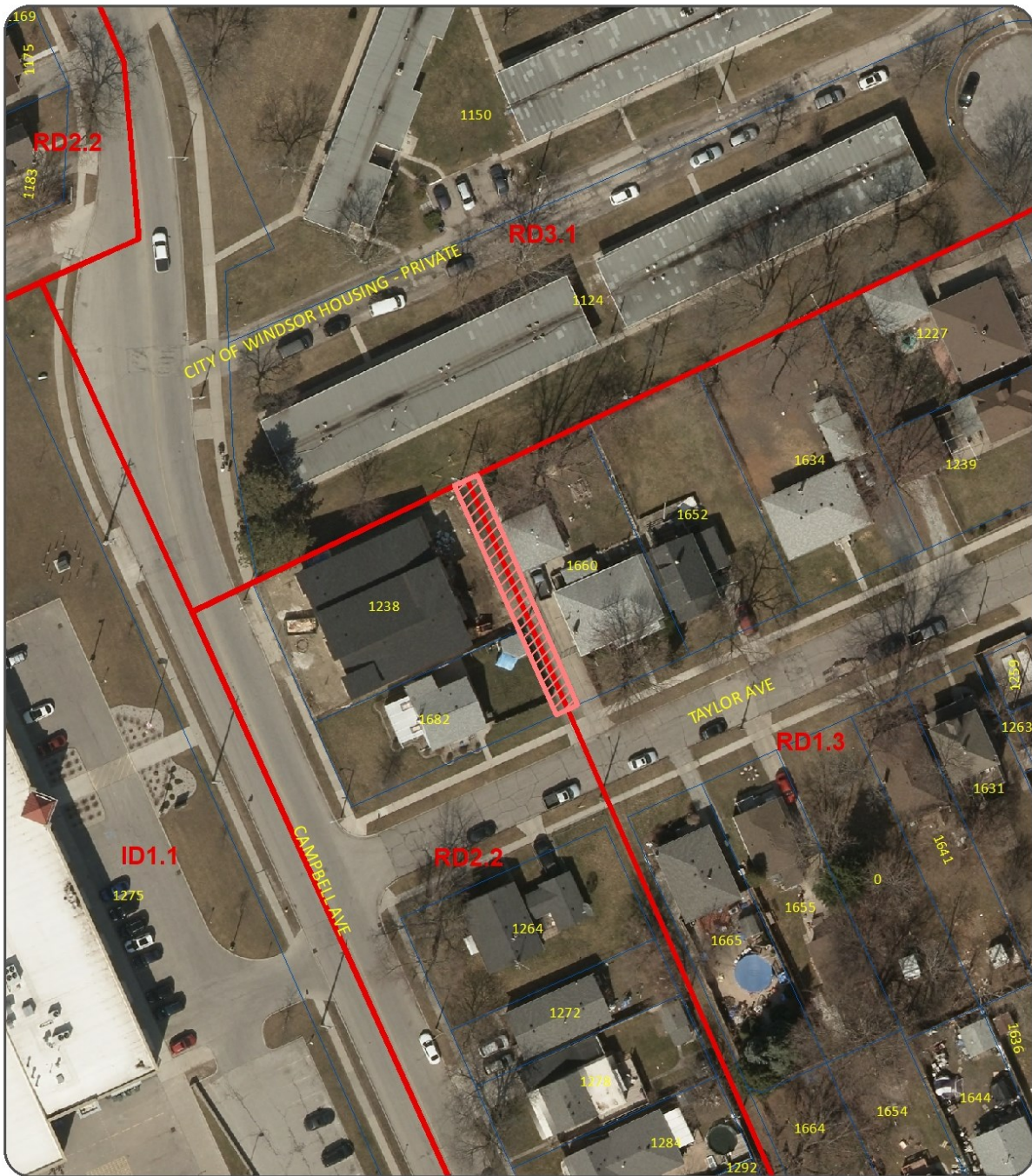
To: Mayor and Members of City Council

Recommendation:

- I. THAT CR437/2023, adopted on October 30, 2023, **BE AMENDED** by **DELETING** subsection b) of Resolution II in its entirety.

Executive Summary:


N/A



STREET & ALLEY CLOSING (SAA/6848)

1:750

APPLICANT : DAVID TRAN & KENG FU

 SUBJECT LANDS

PLANNING DEPARTMENT - PLANNING POLICY

DATE: JULY, 2023



Background:

CR437/2023 was adopted by Council on October 30, 2023, directing administration to undertake the necessary steps to assume, close and convey the following alley:

- 3.66-metre-wide north/south alley located between Taylor Avenue and 1124-1224 Campbell Avenue (the alley).

CR437/2023 included a condition requiring an easement to be granted in favour of 1660 Taylor Avenue for access to repair and maintain the west face of the existing detached garage bordering the alley.

Administration has since concluded that easements in favour of private property owners should not be included as a condition of closure and conveyance of an alley.

The City should not be concerned about private property within an alley unless there is an encroachment agreement in place. Further, the City should not be concerned about buildings or structures bordering an alley unless they meet one of the criteria under the City's *Classification of Alleys and Suitability for Closure* guideline document and were established legally by a Building Permit.

A property owner can submit a [Right-of-Entry Permit Application](#) to the Building Department to request access to an abutting property to maintain or repair a building or structure when denied such access by the adjoining property owner.

Discussion:

CR437/2023 must be amended to remove the said easement to allow for the closure and conveyance of the alley.

Risk Analysis:

The recommended amendment to CR437/2023 poses no known risk to the City.

Climate Change Risks**Climate Change Mitigation:**

N/A

Climate Change Adaptation:

N/A

Financial Matters:

The recommended amendment to CR437/2023 does not impact the conveyance cost.

Consultations:

N/A

Conclusion:

The Planning Department recommends that CR437/2023 be amended to remove the said easement as in Recommendation I of this report.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

Greg Atkinson, MCIP, RPP
Manager of Development

Neil Robertson, MCIP, RPP
City Planner

I am not a registered Planner and have reviewed as a Corporate Team Leader

JP JM

Approvals:

Name	Title
Brian Nagata	Planner II - Development Review
Greg Atkinson	Manager of Development/Deputy City Planner
Neil Robertson	City Planner / Executive Director, Planning & Development Services
Kate Tracey	Senior Legal Counsel, Legal Services & Real Estate
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administration Officer

Notifications:

Name	Address	Email
Ward 2 Councillor Fabio Costante	350 City Hall Square West, Suite 220 Windsor, Ontario N9A 6S1	fcostante@citywindsor.ca
List of mailing labels for property owners abutting the alley issued to Clerks office		

Appendices:



Committee Matters: SCM 313/2024

Subject: Amendment to CR26/2024 for Conveyance of north/south alley located between Closed Manitoba Street right-of-way and 1954 Huron Church Road, Ward 10, Closed by Judge's Order No. 2970/87

Moved by: Councillor Angelo Marignani

Seconded by: Councillor Fred Francis

Decision Number: **DHSC 665**

I. THAT CR26/2024, adopted on January 15, 2024, **BE AMENDED** by **DELETING** subparagraphs ii), iii) and iv) under subsection a) of Resolution I in their entirety.
Carried.

Report Number: S 120/2024

Clerk's File: SAA2024

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 11.6 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

Subject: Amendment to CR26/2024 for Conveyance of north/south alley located between Closed Manitoba Street right-of-way and 1954 Huron Church Road, Ward 10, Closed by Judge's Order No. 2970/87

Reference:

Date to Council: October 7, 2024
Author: Brian Nagata, MCIP, RPP
Planner II - Development Review
(519) 255-6543 ext. 6181

Planning & Building Services
Report Date: September 10, 2024
Clerk's File #: SAA2024

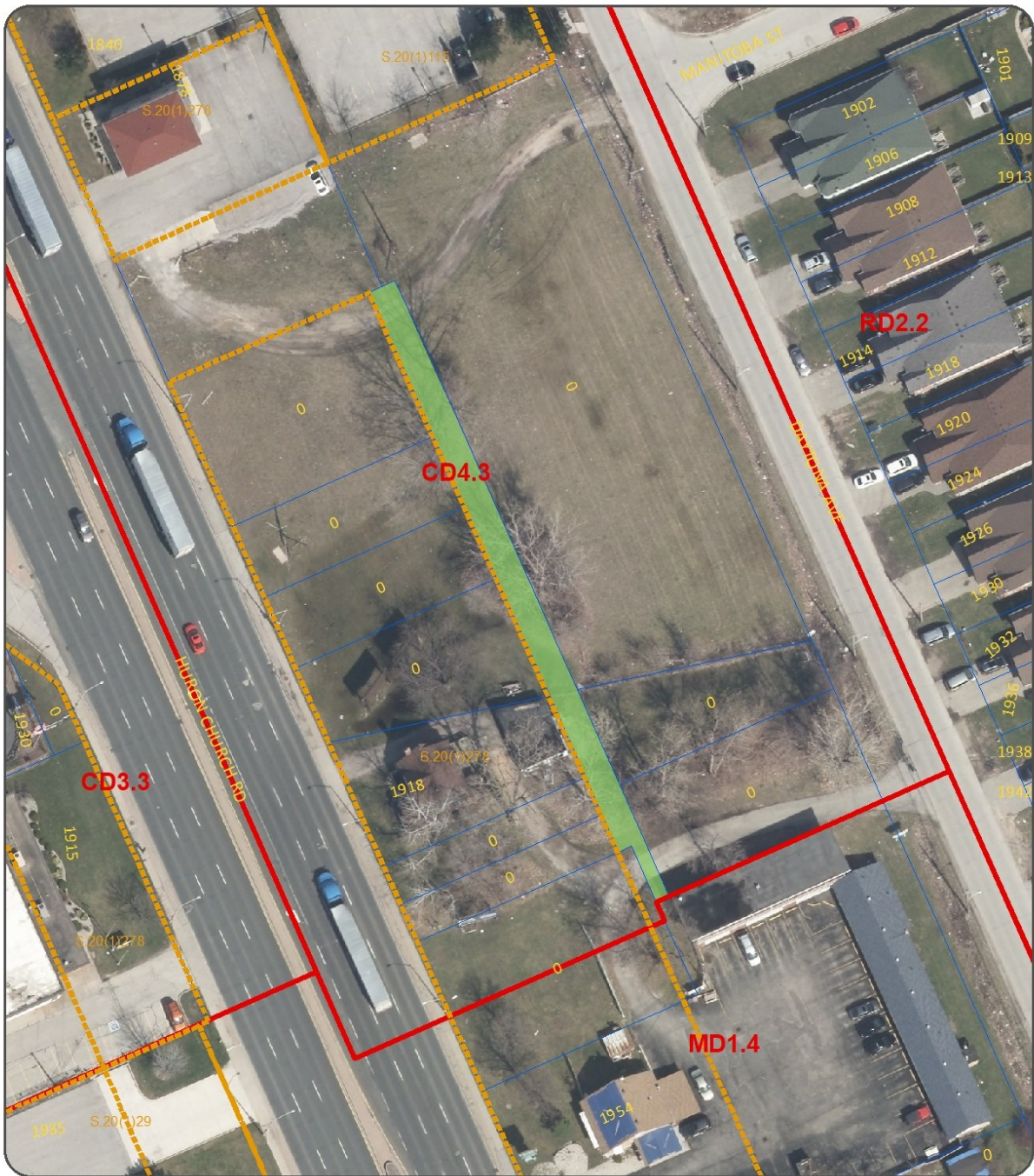
To: Mayor and Members of City Council

Recommendation:

- I. THAT CR26/2024, adopted on January 15, 2024, **BE AMENDED** by **DELETING** subparagraphs ii), iii) and iv) under subsection a) of Resolution I in their entirety.

Executive Summary:

N/A



**STREET & ALLEY CLOSING - 1800/1900 BLOCK BETWEEN
HURON CHURCH ROAD & DAYTONA AVENUE**

1:750

PROPOSED CONVEYANCE (ALLEY)

APPLICANT: CITY OF WINDSOR
 PLANNING DEPARTMENT - DEVELOPMENT DIVISION
 DATE: OCTOBER, 2023



Background:

CR26/2024 was adopted by Council on January 15, 2024, directing administration to undertake the necessary steps to convey the following alley:

- 4.27-metre-wide north/south alley located between the Closed Manitoba Street right-of-way and 1954 Huron Church Road (the alley).

CR26/2024 included a condition requiring the following easements to be granted in favour of the abutting properties:

- 0 Huron Church Road (legally described as Lot 3 and Part of Lot 4 & Closed Alley, Plan 997; Parts 1, 3 & 4, RP 12R-17003) to accommodate the privately owned southerly utility pole and overhead wires serving the standalone billboard on the said property;
- 0 Huron Church Road (legally described as Lot 11, Plan 948) to accommodate the privately owned northerly utility pole and overhead wires serving the two (2) standalone billboards on the said property; and
- 1954 Huron Church Road to accommodate the aforesaid southerly utility pole and overhead wires serving the motel (Bestway Motel) on the said property.

Administration has since concluded that easements in favour of private property owners should not be included as a condition of closure and conveyance of an alley.

The City should not be concerned about private property within an alley unless there is an encroachment agreement in place.

A property owner can submit a [Right-of-Entry Permit Application](#) to the Building Department to request access to an abutting property to maintain or repair privately owned utility infrastructure when denied such access by the adjoining property owner.

Discussion:

CR26/2024 must be amended to remove the said easements to allow for the conveyance of the alley.

Risk Analysis:

The recommended amendment to CR26/2024 poses no known risk to the City.

Climate Change Risks**Climate Change Mitigation:**

N/A

Climate Change Adaptation:

N/A

Financial Matters:

The recommended amendment to CR26/2024 does not impact the conveyance cost.

Consultations:

N/A

Conclusion:

The Planning Department recommends that CR26/2024 be amended to remove the said easements as in Recommendation I of this report.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

*Greg Atkinson, MCIP, RPP
Manager of Development*

*Neil Robertson, MCIP, RPP
City Planner*

I am not a registered Planner and have reviewed as a Corporate Team Leader

JP JM

Approvals:

Name	Title
Brian Nagata	Planner II - Development Review
Greg Atkinson	Manager of Development/Deputy City Planner
Neil Robertson	City Planner / Executive Director, Planning & Development Services
Kate Tracey	Senior Legal Counsel, Legal Services & Real Estate
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administration Officer

Notifications:

Name	Address	Email
Ward 10 Councillor Jim Morrison	350 City Hall Square West, Suite 220 Windsor, Ontario N9A 6S1	jmorrison@citywindsor.ca
List of mailing labels for property owners abutting the alley issued to Clerks office		

Appendices:



Committee Matters: SCM 314/2024

Subject: Amendment to CR372/2023 for Closure of north/south alley located between Algonquin Street and 1429 Randolph Avenue, Ward 10, SAA-7025

Moved by: Councillor Mark McKenzie
Seconded by: Councillor Kieran McKenzie

Decision Number: **DHSC 669**

- I. THAT CR372/2023, adopted on September 5, 2023, **BE AMENDED** by **DELETING** subsection b) of Resolution II in its entirety.

Carried.

Report Number: S 132/2024
Clerk's File: SAA2024

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 11.10 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

Subject: Amendment to CR372/2023 for Closure of north/south alley located between Algonquin Street and 1429 Randolph Avenue, Ward 10, SAA-7025

Reference:

Date to Council: October 7, 2024
 Author: Brian Nagata, MCIP, RPP
 Planner II - Development Review
 (519) 255-6543 ext. 6181

Planning & Building Services
 Report Date: September 19, 2024
 Clerk's File #: SAA2024

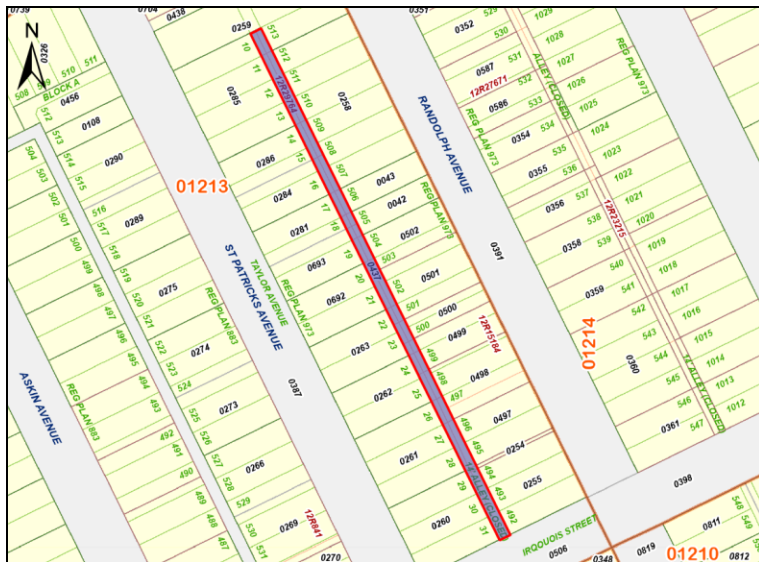
To: Mayor and Members of City Council

Recommendation:

- I. THAT CR372/2023, adopted on September 5, 2023, **BE AMENDED** by **DELETING** subsection b) of Resolution II in its entirety.

Executive Summary:

N/A



Background:

CR372/2023 was adopted by Council on September 5, 2023, directing administration to undertake the necessary steps to assume, close and convey the following alley:

- 4.27-metre-wide north/south alley located between Algonquin Street and the property known municipally as 1429 Randolph Avenue (the alley).

CR372/2023 included a condition requiring an easement to be granted in favour of 1429 Randolph Avenue for access to repair and maintain the south face of the existing building bordering the alley. Administration has since concluded that easements in favour of private property owners should not be included as a condition of closure and conveyance of an alley.

The City should not be concerned about private property within an alley unless there is an encroachment agreement in place. Further, the City should not be concerned about buildings or structures bordering an alley unless they meet one of the criteria under the City's *Classification of Alleys and Suitability for Closure* guideline document and were established legally by a Building Permit.

A property owner can submit a [Right-of-Entry Permit Application](#) to the Building Department to request access to an abutting property to maintain or repair a building or structure when denied such access by the adjoining property owner.

Discussion:

CR372/2023 must be amended to remove the said easement to allow for the closure and conveyance of the alley.

Risk Analysis:

The recommended amendment to CR372/2023 poses no known risk to the City.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

The recommended amendment to CR372/2023 does not impact the conveyance cost.

Consultations:

N/A

Conclusion:

The Planning Department recommends that CR372/2023 be amended to remove the

said easement as in Recommendation I of this report.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

*Greg Atkinson, MCIP, RPP
Manager of Development*

*Neil Robertson, MCIP, RPP
City Planner*

I am not a registered Planner and have reviewed as a Corporate Team Leader

JP JM

Approvals:

Name	Title
Brian Nagata	Planner II - Development Review
Greg Atkinson	Manager of Development/Deputy City Planner
Neil Robertson	City Planner / Executive Director, Planning & Development Services
Kate Tracey	Senior Legal Counsel, Legal Services & Real Estate
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administration Officer

Notifications:

Name	Address	Email
Ward 2 Councillor Fabio Costante	350 City Hall Square West, Suite 220 Windsor, Ontario N9A 6S1	fcostante@citywindsor.ca
List of mailing labels for property owners abutting the alley issued to Clerks office		

Appendices:



Subject: Closure of east/west alley located between Alexis Road and Chandler Road, Ward 5, SAA-7197

Moved by: Councillor Fred Francis
Seconded by: Councillor Mark McKenzie

Decision Number: **DHSC 666**

- I. THAT the 5.59-metre-wide east/west alley located between Alexis Road and Chandler Road, and shown on Drawing No. CC-1851 (attached hereto as Appendix "A"), and hereinafter referred to as the "subject alley", **BE ASSUMED** for subsequent closure.
- II. THAT the subject alley **BE CLOSED AND CONVEYED** in **as is condition** to the abutting property owners and as necessary, in a manner deemed appropriate by the City Planner, subject to the following:
 - a. Easements, subject to being accepted in the City's standard form and in accordance with the City's standard practice, being granted to:
 - i. Bell Canada to accommodate existing aboveground infrastructure;
 - ii. Cogeco Connexion Inc. to accommodate existing aboveground infrastructure;
 - iii. ENWIN Utilities Ltd. to accommodate the existing overhead hydro distribution;
 - iv. Managed Network System Inc. (MNSi.) to accommodate existing aboveground infrastructure;
 - v. The Corporation of the City of Windsor to accommodate existing 250-millimetre PVC sanitary sewer.
- III. THAT Conveyance Cost **BE SET** as follows:
 - a. For alley conveyed to abutting lands zoned CD2.1, \$20.00 per square foot without easements plus HST (if applicable) and \$10.00 per square foot with easements plus HST (if applicable).
 - b. For alley conveyed to abutting lands zoned RD1.2, \$1.00 plus HST (if applicable) and deed preparation fee.
- IV. THAT The City Planner **BE REQUESTED** to supply the appropriate legal description, in accordance with Drawing No. CC-1851.
- V. THAT The City Solicitor **BE REQUESTED** to prepare the necessary by-law(s).

- VI. THAT The Chief Administrative Officer and City Clerk **BE AUTHORIZED** to sign all necessary documents approved as to form and content satisfactory to the City Solicitor.
- VII. THAT the matter **BE COMPLETED** electronically pursuant to By-law Number 366-2003
Carried.

Report Number: S 121/2024
Clerk's File: SAA2024

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 11.7 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

Subject: Closure of east/west alley located between Alexis Road and Chandler Road, Ward 5, SAA-7197

Reference:

Date to Council: October 7, 2024
Author: Brian Nagata, MCIP, RPP
Planner II - Development Review
(519) 255-6543 ext. 6181

Planning & Building Services
Report Date: September 10, 2024
Clerk's File #: SAA2024

To: Mayor and Members of City Council

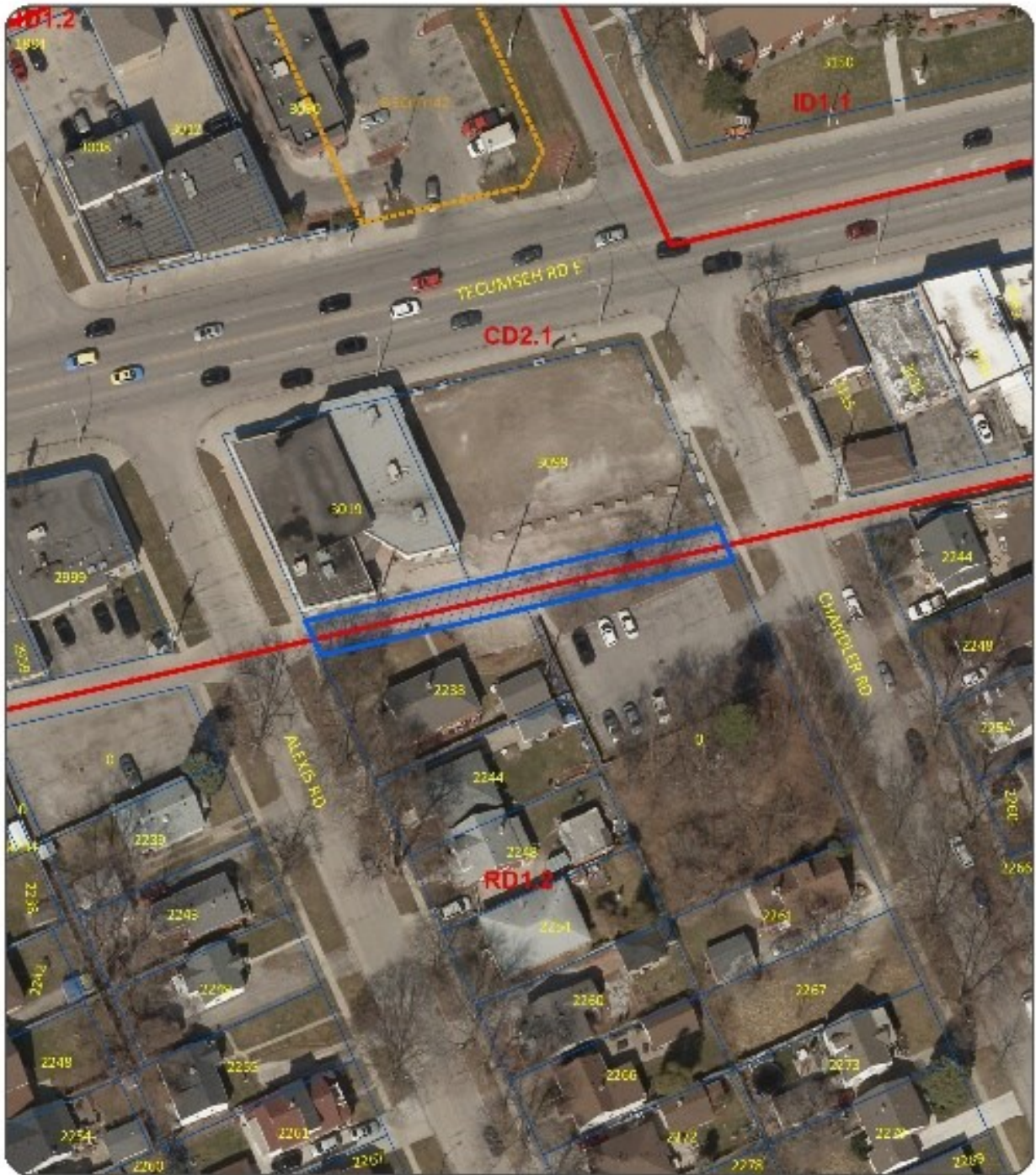
Recommendation:

- I. THAT the 5.59-metre-wide east/west alley located between Alexis Road and Chandler Road, and shown on Drawing No. CC-1851 (attached hereto as Appendix "A"), and hereinafter referred to as the "subject alley", **BE ASSUMED** for subsequent closure;
- II. THAT the subject alley **BE CLOSED AND CONVEYED** in **as is condition** to the abutting property owners and as necessary, in a manner deemed appropriate by the City Planner, subject to the following:
 - a. Easements, subject to being accepted in the City's standard form and in accordance with the City's standard practice, being granted to:
 - i. Bell Canada to accommodate existing aboveground infrastructure;
 - ii. Cogeco Connexion Inc. to accommodate existing aboveground infrastructure;
 - iii. ENWIN Utilities Ltd. to accommodate the existing overhead hydro distribution;
 - iv. Managed Network System Inc. (MNSi.) to accommodate existing aboveground infrastructure;
 - v. The Corporation of the City of Windsor to accommodate existing 250-millimetre PVC sanitary sewer.
- III. THAT Conveyance Cost **BE SET** as follows:
 - a. For alley conveyed to abutting lands zoned CD2.1, \$20.00 per square foot without easements plus HST (if applicable) and \$10.00 per square foot with easements plus HST (if applicable).

- b. For alley conveyed to abutting lands zoned RD1.2, \$1.00 plus HST (if applicable) and deed preparation fee.
- IV. THAT The City Planner **BE REQUESTED** to supply the appropriate legal description, in accordance with Drawing No. CC-1851.
- V. THAT The City Solicitor **BE REQUESTED** to prepare the necessary by-law(s).
- VI. THAT The Chief Administrative Officer and City Clerk **BE AUTHORIZED** to sign all necessary documents approved as to form and content satisfactory to the City Solicitor.
- VII. THAT the matter **BE COMPLETED** electronically pursuant to By-law Number 366-2003

Executive Summary:

N/A



STREET & ALLEY CLOSING (SAA/7197)

1:750

APPLICANT : CITY OF WINDSOR PUBLIC WORKS DEPARTMENT



 REQUEST FOR CLOSURE

PLANNING DEPARTMENT - PLANNING POLICY

DATE: JUNE, 2024

Background:

The Operations Department applied to close 5.59-metre-wide east/west alley located between Alexis Road and Chandler Road (the alley) and shown on Drawing No. CC-1851 attached hereto as Appendix "A" and shown on the aerial photo attached hereto as Appendix "B".

The Operations Department wishes to close the alley due to its maintenance demand being very high and outside the allotted budget. The Operations Department notes that it will be more cost effective for the City to dispose of the alley.

The alley is unmaintained and composed primarily of gravel bordered partially with grass and trees. The alley contains a catch basin, curb cuts off Alexis Road and Chandler Road, overhead hydro and utility lines, 250-millimetre PVC sanitary sewer and utility poles with guy wires and anchors. The alley is bordered by four (4) privately owned properties under common ownership (the subject property). The subject property utilizes the alley for pedestrian and vehicular access as described in the Discussion section of this report. The alley has been encroached on over the years by the subject property with chain-link fences. There are no Encroachment Agreements on record for the use of the alley.

The City has budgeted money to grade its gravel alleys twice a year, which is the extent of maintenance provided. The Operations Department receives several complaints annually from the owner of the subject property around such issues as grading, accessibility, etc. The subject property's use of the alley is the sole contributor to the high maintenance demand. The requested closure will give the owner the opportunity to purchase the alley and develop all of their parcels as one contiguous parcel to suit their needs.

The alley was established by Registered Plan of Subdivision No. 1140, registered on September 3, 1924.

Discussion:

The decision to recommend closure of an alley is derived from the City's *Classification of Alleys and Suitability for Closure* guideline document (the document), attached hereto as Appendix "E". The document includes the following four classifications of alleys based on their usefulness and provides the following corresponding criteria for determining their suitability for closure. The use of the document is referenced under Part I of CR146/2005.

Classification of Public Right-of-Ways

1. Alley that is indispensable.
 - a. Does the alley serve commercial properties?
 - i. The alley serves the commercial property known municipally as 3099 Tecumseh Road East as a secondary vehicular means of access to a gravel parking area.

- ii. Notwithstanding this fact, the parking area was not legally established after the former gas station on the site was demolished in 1996 and as such shall have no bearing on this alley closure.
 - b. Does the alley serve properties fronting on heavily traveled streets i.e. major arterial routes?
 - i. Same response as provided for 1.a. above.
 - c. Does the alley contain sewers, and must the alley remain accessible for servicing?
 - i. The alley contains a 250-millimetre PVC sanitary sewer.
 - ii. The Engineering - Right-of-Way Department has no objection to the closure on the condition that an easement is granted to the City for access to repair and maintain the said sanitary sewer.
 - d. Does the alley serve as the only vehicular means of access to rear parking areas and garages where the property has insufficient lot width for a side drive?
 - i. The alley does not serve as the only vehicular means of access to rear parking areas and garages where the property has insufficient lot width for a side drive.
 - ii. 2238 Alexis Road has a gravel driveway off the alley, however it also has a driveway off Alexis Road.
 - e. Does the alley contain Fire Department connections that are deemed to be necessary for firefighting access?
 - i. The alley does not contain any Fire Department connections.
- 2. Alleys that, have some usefulness, are nevertheless dispensable and may or may not be a complete liability.
 - a. The Engineering - Right-of-Way Department has deemed the alley to have no usefulness.
- 3. Alleys that appear to serve no useful purpose, either now, or anticipated. Such alleys are in residential areas and locations where generally the lots are wide enough for side drives, or those alleys abutting parks and other parcels of land that do not require any servicing from the alley. Remnant or stub-end streets which are dead-ended and do not serve as access to other streets.
 - a. The Engineering - Right-of-Way Department has deemed the alley to serve no useful purpose.
- 4. Alley lying in Holding zones and other similar undeveloped areas where the alley system is clearly obsolete and has never been developed, but where the City needs to keep its options open until new area plans are prepared and development is imminent.

- a. The alley does not lie within a Holding zone or similar undeveloped area.

Suitability for Closing

1. Indispensable alleys should not be closed, conveyed, reduced or otherwise jeopardized through minority interests unless a suitable substitute alley is opened in lieu thereof.
2. Alley having some usefulness should be considered for closing only upon request of abutting owners rather than by encouragement of the City.
3. Alleys that serve no useful purpose should be closed if possible, and in fact the owners abutting thereon should be encouraged to accept conveyance.
4. Alleys that are clearly obsolete should not be closed unless there is a municipal need or specific development proposals acceptable to the City are submitted.

Based on the above, the Planning Department deems the alley dispensable and supports the requested closure.

It is our recommendation that, upon closure, the abutting property owners be given the chance to acquire the alley in the manner described in the Recommendation section herein. Hence, the recommendation is to close and convey the alley in, **as is condition** to the abutting property owners, which is the standard manner of conveyance.

Risk Analysis:

The recommended closure will divest the City of associated liability risks and maintenance costs. The recommended closure poses no known risk to City.

Climate Change Risks

Climate Change Mitigation:

N/A

Climate Change Adaptation:

N/A

Financial Matters:

The rate for an alley conveyed to abutting lands zoned CD2.1 is assessed at \$20.00 per square foot without easements plus HST (if applicable), and \$10.00 per square foot with easements plus HST (if applicable).

The rate for an alley conveyed to abutting lands zoned RD1.2 is assessed at \$1.00 plus HST (if applicable) and deed preparation fee.

It should be noted that all the abutting properties are under the ownership of LucasHB Enterprises Inc. This factor will allow the City to transfer the alley by PIN parcel to one of LucasHB Enterprises Inc.'s properties, thus avoiding the need for a Reference Plan.

Consultations:

Consultations were held with Municipal Departments and Utility Companies, which resulted in the information found in attached hereto as Appendix "C".

Notice of this application was issued to property owners abutting the alley by regular mail, with no objections being received as of the date of writing this report.

Notice of Development & Heritage Standing Committee meeting and Council meeting are published in the Windsor Star prior to each of the meetings. In addition, notice of each of the public meetings will be mailed to the abutting/affected property owners prior to the meetings.

Conclusion:

The Planning Department recommends closure of the alley shown on attached Appendix “A”, subject to easements in favour of Bell Canada, Cogeco Connexion Inc., ENWIN Utilities Ltd., Managed Network System Inc. (MNSi.) and The Corporation of the City of Windsor as in Recommendation II.

The closed alley is to be conveyed in, **as is condition** to the abutting property owners as in Recommendation II report.

Planning Act Matters:

I concur with the above comments and opinion of the Registered Professional Planner.

*Greg Atkinson, MCIP, RPP
Manager of Development*

*Neil Robertson, MCIP, RPP
City Planner*

I am not a registered Planner and have reviewed as a Corporate Team Leader

JP JM

Approvals:

Name	Title
Brian Nagata	Planner II - Development Review
Greg Atkinson	Manager of Development/Deputy City Planner
Neil Robertson	City Planner / Executive Director, Planning & Development Services
Kate Tracey	Senior Legal Council, Legal Services & Real Estate
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administration Officer

Notifications:

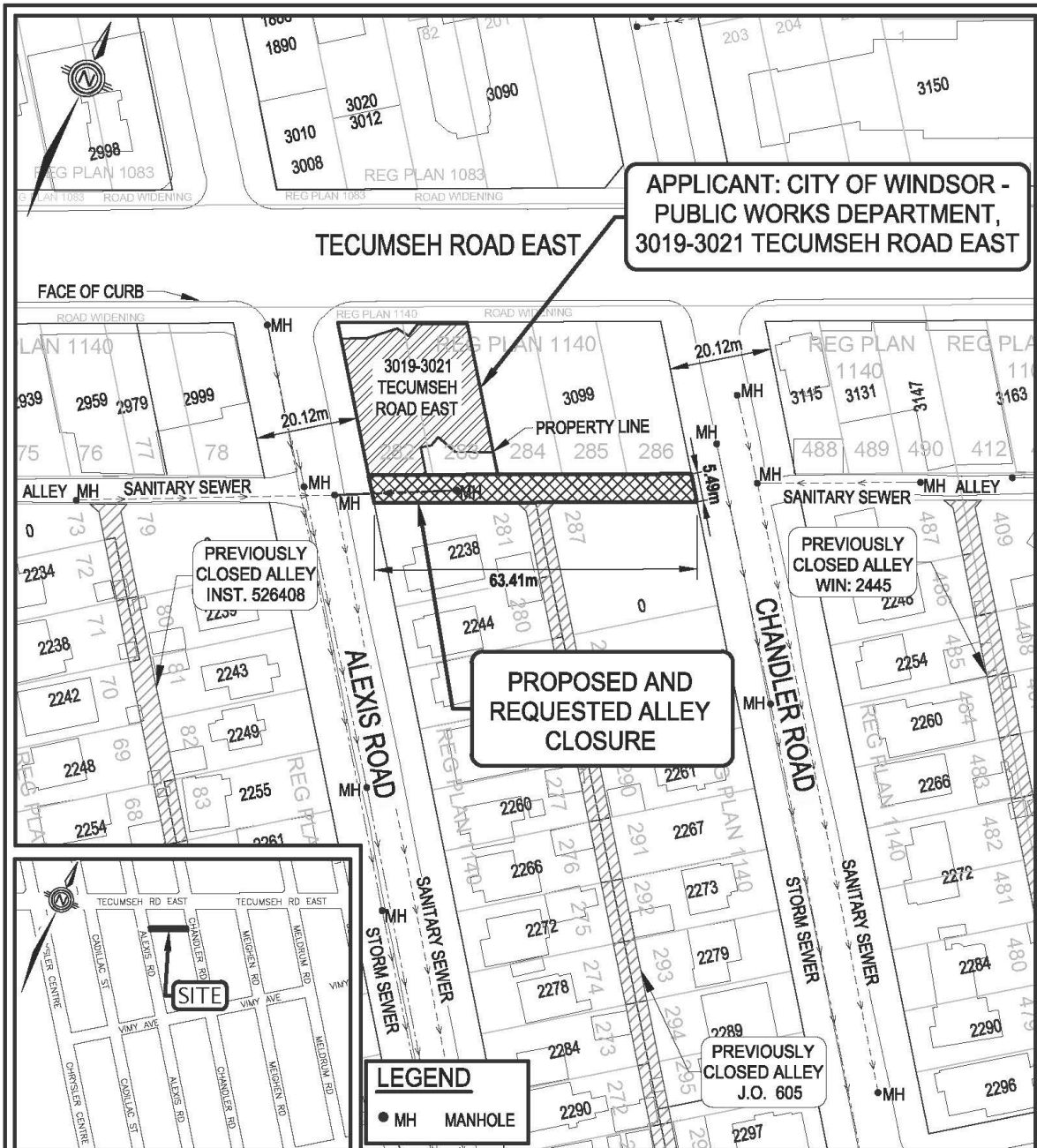
Name	Address	Email
Ward 5 Councillor Ed Sleiman	350 City Hall Square West, Suite 220 Windsor, Ontario	esleiman@citywindsor.ca

	N9A 6S1	
Roberta Harrison Coordinator Maintenance Operations Operations Department	1531 Crawford Avenue Windsor, Ontario N8X 0A2	roharrison@citywindsor.ca
List of mailing labels for property owners abutting the alley issued to Clerks office		

Appendices:

- 1 Appendix A - Drawing No. CC-1851
- 2 Appendix B - EIS Drawing - Aerial Photo
- 3 Appendix C - Consultations with Municipal Departments & Utility Companies
- 4 Appendix D - Site Photos
- 5 Appendix E - Classification of Alleys and Suitability for Closure

APPENDIX "A" Drawing No. CC-1851



KEY PLAN N.T.S.

THE CORPORATION OF THE CITY OF WINDSOR - ENGINEERING DEPARTMENT

Proposed Closure of East/West Alley Located Between Alexis Road and Chandler Road, South of Tecumseh Road East

 Kirk Tamm, Manager of Geomatics	SCALE: 1:1000	DATE: AUG 2024	REVISED: -	DWG. NO. CC-1851
	DWN BY: AZ	CHKD BY: JB / SB	REVISION NO.: -	

APPENDIX "B" EIS Drawing - Aerial Photo



STREET & ALLEY CLOSING (SAA/7197)

1:750

APPLICANT : CITY OF WINDSOR PUBLIC WORKS DEPARTMENT

 REQUEST FOR CLOSURE

PLANNING DEPARTMENT - PLANNING POLICY

DATE: JUNE, 2024



APPENDIX “C”

Consultations with Municipal Departments and Utility Companies

BELL CANADA

No comments provided

COGECO CONNEXION INC.

Cogeco is attached to EnWin/Bell poles and will need an easement for the highlighted area.

[Daniel Haggins - Lead OSP Engineering Windsor and Essex]

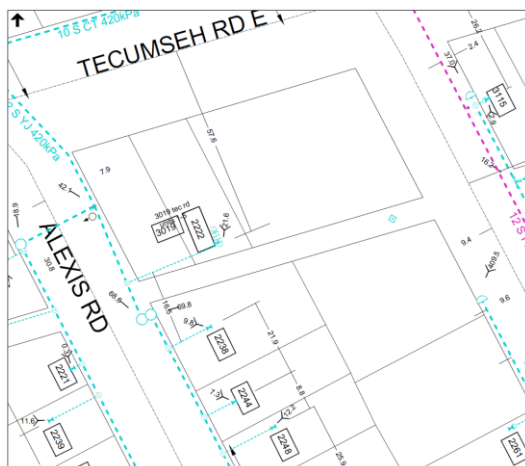
ENBRIDGE GAS INC.

After reviewing the provided drawing at 3019 Tecumseh Rd E and consulting our mapping system, please note that Enbridge Gas has no active infrastructure in the proposed area. A PDF drawing has been attached for reference.

Also, please note the following should you find any abandoned infrastructure in the area:

- Any pipe that is excavated, please assume that it is live
- If during any job, any pipe is found that is not on the locate sheet and conflicts with your work, please call our emergency number (1-877-969-0999), and one of our Union Gas representatives will respond to determine if that plant is in fact live or dead
- Please note that our Enbridge Gas representative will respond to the live or dead call within 1-4 hours, so please plan your work accordingly

Please contact me if you have any further questions or concerns.



[Jose Dellosa - Drafter Estimator]

ENGINEERING (DEVELOPMENT & ROW)

The proposed closure is approximately 63 m long and 5.5 m wide and made of gravel. There is a municipal sanitary sewer located in the western portion of the alley; an easement would be required for the sanitary sewer. There are hydro poles, guy wires and overhead wires in this alley; an easement would be required for utilities. There is a concrete driveway approach on the west side and a gravel approach on the east side of the proposed closure. The alley appears to be used by 3021 Tecumseh Road East and 2238 Alexis Road. Should the abutting owners use this access, they will be required to obtain a permit to maintain the approach as per AS-204 for the commercial property and AS-221 or AS-222 for the residential property. Otherwise, the driveway approaches to the alley will be the responsibility of the city to remove in the future when funds exist. This subject alley has no usefulness by CR146/2005; therefore, Public Works has no objections to the alley closure.

[Adam Pillon - Manager of Right-of-Way]

ENGINEERING (OPERATIONS)

No comments provided

ENVIRONMENTAL SERVICES

No concerns from Environmental Services.

[Anne-Marie Albidone - Manager, Environmental Services]

ENWIN UTILITIES LTD. (HYDRO)

No Objection provided clearances are maintained from our distribution plant. However, an easement named to ENWIN Utilities Ltd., will be required for East to West limit of the proposed alley closure to accommodate for the existing overhead hydro distribution.

ENWINs easement guidelines:

Overhead

A 3 m (10 ft) Easement is required for a straight pole line 1.5 m (5 ft) (on each side). This takes into consideration a 0.3 m (1 ft) pole diameter, 0.46 m (1.5 ft) primary insulator, and 0.9 m (3 ft) clearance from any nearby structure.

Guy and Anchor

The easement for the guy and anchor is 3 m (10 ft) wide easement is required into private property. This easement should extend 1 m (3.3 ft) into the property.

Underground Cable

A 0.6 m (2 ft) easement on either side of a duct bank is required for underground installations.

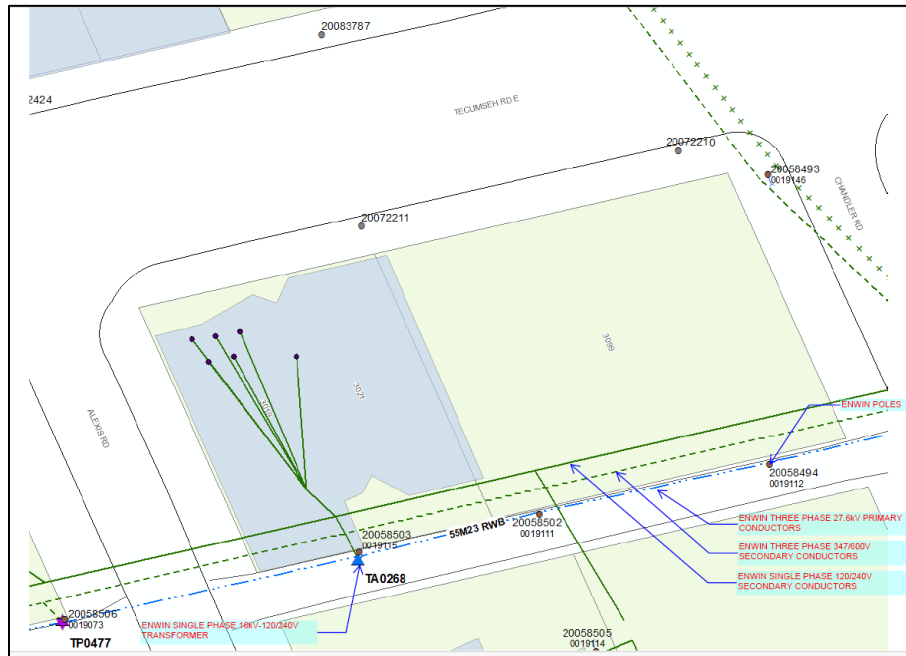
Please note the following.

1. ENWIN has overhead service poles throughout the alley to service each property.
2. ENWIN has 120/240V overhead secondary conductors along the back of the property.
3. ENWIN has 16kV overhead secondary conductors along the back of the property.

Prior to working in these areas, we would suggest notifying your contractor and referring to the *Occupational Health and Safety Act* and Regulations for Construction Projects to confirm clearance requirements during construction.

Also, we suggest referring to the *Ontario Building Code* for permanent required clearances for New Building Construction.

[Keegan Morency Kendall - Hydro Engineering Technologist]



ENWIN UTILITIES LTD. (WATER)

ENWIN Water has no objections.

[Bruce Ogg - Water Project Review Officer]

LEGAL & REAL ESTATE SERVICES

The same price would apply to these lands as well: \$20/sq foot without easements and \$10/sq foot with easements.

[Stephanie Santos - Coordinator Real Estate Services]

MANAGED NETWORK SYSTEM INC. (MNSi)

MNSi will require an aerial easement through the subject properties please.

[Dave Hartleib - Outside Plant Manager]

PARKS

No comments provided

PLANNING (DEVELOPMENT)

No comments provided

[Jim Abbs - Planner III - Development]

PLANNING (LANDSCAPE)

There are no objections from a landscape architectural or urban design perspective. There is no rationale provided by the applicant. However, while the proposed closure is surrounded by 4 properties owned by the same entity, the residence at 2238 Alexis Rd utilizes the alley for parking access. The applicant is to provide more detail as to how this property will be serviced for parking should the closure be approved.

[Stefan Fediuk - Planner III - Senior Urban Designer]

ROGERS

No comments provided

TELECON (TELUS)

TELUS has no infrastructure between Pavement Centerline & ROW line on the same side as the proposal.

Consent expires six (6) months from approval date. If the location of your proposed design changes, it will be necessary to re-apply.

[Frederic Sua - Design Specialist II - Access Engineering]

TRANSPORTATION PLANNING

It appears 2238 Alexis Rd has rear parking and a side entrance accessed from the alley. Also, 0 Chandler Rd parking lot users use the alley.

[Elara Mehrilou - Transportation Planner I]

APPENDIX "D"
Site Photos (Google Street View - November 2023)



Figure 1 - Looking east towards alley from Alexis Road (2238 Alexis Road on right)



Figure 2 - Looking west towards alley from Chandler Road (3099 Tecumseh Road East on right)



Figure 3 - Looking east towards Chandler Road from midpoint of alley (3099 Tecumseh Road East on left)



Figure 4 - Looking west towards Alexis Road from midpoint of alley (2238 Alexis Road on left)

APPENDIX “E”

Classification of Alleys and Suitability for Closure

Classification of Public Rights-of-Ways:

Currently streets and alleys fall into four classifications on the basis of their usefulness:

1. Alleys that are indispensable. These would be alleys serving commercial properties and properties fronting on heavily traveled streets i.e. major arterial routes and alleys which contain sewers and must remain accessible for servicing; alleys or streets which serve as the only vehicular means of access to rear parking areas and garages where the property has insufficient lot width for a side drive; and, alleys which contain Fire Department connections that are deemed to be necessary for firefighting access.
2. Alleys that, have some usefulness, are nevertheless dispensable and may or may not be a complete liability.
3. Alleys that appear to serve no useful purpose, either now, or anticipated. Such alleys are in residential areas and locations where generally the lots are wide enough for side drives, or those alleys abutting parks and other parcels of land that do not require any servicing from the alley. Remnant or stub-end streets which are dead-ended and do not serve as access to other streets.
4. Alleys lying in Holding zones and other similar undeveloped areas where the alley system is clearly obsolete and has never been developed, but where the City needs to keep its options open until new area plans are prepared and development is imminent.

Suitability for Closing:

Following are the criteria and suitability for closing alleys in each of the above classifications:

1. Indispensable alleys should not be closed, conveyed, reduced or otherwise jeopardized through minority interests unless a suitable substitute alley is opened in lieu thereof. They are essential from the viewpoint of fire protection, police protection, emergency services (i.e. ambulance) and loading or unloading of goods, refuse collection, servicing of blocked sewers and utility services. Without such alleys, the above noted services would at least be more costly if not impossible to complete or adequately access; and would noticeably interfere with street traffic, thereby reducing the access capacity of the adjacent arterial, collector, or street for business.
2. Alleys having some usefulness should be considered for closing only upon request of abutting owners rather than by encouragement of the City.
3. Alleys that serve no useful purpose should be closed if at all possible, and in fact the owners abutting thereon should be encouraged to accept conveyance.
4. Alleys that are clearly obsolete should not be closed unless there is a municipal need or specific development proposals acceptable to the City are submitted.



Subject: Brownfield Redevelopment Community Improvement Plan (CIP) application submitted by Rykka Care Centres LP for 0 Hanna St (Ward 3)

Moved by: Councillor Mark McKenzie
Seconded by: Councillor Angelo Marignani
Decision Number: **DHSC 668**

- I. THAT the request made by Rykka Care Centres LP to participate in the Environmental Site Assessment Grant Program **BE APPROVED** for the completion of a proposed Phase II Environmental Site Assessment Study and Remedial Work Plan for the property located at 0 Hanna St E (north of 600 Tecumseh Rd E) pursuant to the City of Windsor Brownfield Redevelopment Community Improvement Plan.
- II. THAT the City Treasurer **BE AUTHORIZED** to issue payment up to a maximum of \$25,000 based upon the completion and submission of a Phase II Environmental Site Assessment Study and Remedial Work Plan completed in a form acceptable to the City Planner and City Solicitor.
- III. THAT the grant funds in the amount of \$25,000 under the Environmental Site Assessment Grant Program **BE TRANSFERRED** from the CIP Reserve Fund 226 to Brownfield Strategy Remediation (project 7069003) when the eligible work is completed to the satisfaction of the City Planner.
- IV. THAT should the proposed Phase II Environmental Site Assessment Study and Remedial Work Plan not be completed within two (2) years of Council approval, the approval **BE RESCINDED** and the funds be uncommitted and made available for other applications.

Carried.

Report Number: S 129/2024
Clerk's File: SPL2024

Clerk's Note:

1. The recommendation of the Development & Heritage Standing Committee and Administration are the same.
2. Please refer to Item 11.9 from the Development & Heritage Standing Committee held on October 7, 2024.
3. To view the stream of this Standing Committee meeting, please refer to:
<https://csg001-harmony.sliq.net/00310/Harmony/en/PowerBrowser/PowerBrowserV2/20241008/-1/10511>

Subject: Brownfield Redevelopment Community Improvement Plan (CIP) application submitted by Rykka Care Centres LP for 0 Hanna St (Ward 3)

Reference:

Date to Council: October 7, 2024
Author: Simona Simion, MCIP, RPP
Planner III – Economic Development Planner (Acting)
ssimion@citywindsor.ca
519-255-6543 x 6397

Planning & Building Services
Report Date: September 16, 2024
Clerk's File #: SPL2024

To: Mayor and Members of City Council

Recommendation:

- I. THAT the request made by Rykka Care Centres LP to participate in the Environmental Site Assessment Grant Program **BE APPROVED** for the completion of a proposed Phase II Environmental Site Assessment Study and Remedial Work Plan for the property located at 0 Hanna St E (north of 600 Tecumseh Rd E) pursuant to the City of Windsor Brownfield Redevelopment Community Improvement Plan.
- II. THAT the City Treasurer **BE AUTHORIZED** to issue payment up to a maximum of \$25,000 based upon the completion and submission of a Phase II Environmental Site Assessment Study and Remedial Work Plan completed in a form acceptable to the City Planner and City Solicitor.
- III. THAT the grant funds in the amount of \$25,000 under the Environmental Site Assessment Grant Program **BE TRANSFERRED** from the CIP Reserve Fund 226 to Brownfield Strategy Remediation (project 7069003) when the eligible work is completed to the satisfaction of the City Planner.
- IV. THAT should the proposed Phase II Environmental Site Assessment Study and Remedial Work Plan not be completed within two (2) years of Council approval, the approval **BE RESCINDED** and the funds be uncommitted and made available for other applications.

Executive Summary:

N/A

Background:

Brownfield Redevelopment Community Improvement Plan (CIP)

Brownfield sites are properties that may be contaminated due to previous industrial or commercial uses such as a manufacturing facility or gas station. City Council approved a Brownfield Redevelopment CIP at its April 19, 2010 meeting for the purpose of encouraging the study, clean-up, and redevelopment of contaminated properties. The approval of the CIP was the result of nearly five years of study and consultation, which began in October 2005.

Importance of Brownfield Redevelopment

Historically, there has been little interest in redeveloping brownfield sites due to the uncertainty surrounding the extent of contamination and the potential cost of clean-up. The Brownfield Redevelopment CIP was adopted in 2010 and provides financial incentives to undertake the necessary studies and remedial work necessary to redevelop brownfield sites and reduce the potential negative impacts to the City's environment and neighbourhoods.

The benefits associated with brownfield redevelopment go far beyond the boundaries of the property. For example, they are often strategically located within existing built-up areas of the City where services and other infrastructure, such as roads, schools, community facilities and public transit are already available, therefore additional infrastructure costs are not incurred to service these areas. The redevelopment of these sites also removes the negative stigma often associated with brownfield properties, which increases the value of the subject property and adjacent properties.

Site Background

The subject site consists of one property parcel located on the south side of Hanna St E Avenue in the block between Howard Ave and Marentette Ave. The property is 1.17 hectares (or 2.89 acres) in size and irregular shaped. It is currently consisting of a parking lot for a commercial medical plaza and landscaping. The site is designated 'Mixed Use Corridor' on Official Plan Schedule D: Land Use, and is zoned Commercial District CD3.3, which permits a range of commercial, and office uses.

The parking lot was severed in 2023 through consent application B-037/23 approved by the Committee of Adjustment on August 16, 2023. A concurrent minor variance application for parking reduction was approved by the Committee of Adjustment (A-054/23 approved on August 16, 2023). The proposed development will be subject to approval of a Zoning By-Law Amendment and Site Plan Control, in addition to approval of a Building Permit application.

Historically, the property was occupied by an industrial facility (iron foundry) and included two rail yards, tracks and spurs. Also noted were the presence of unknown fill material and various hazardous wastes were present on site.

The principal owner is Rykka Care Centres LP. The owner intends to redevelop the property to construct a long-term care facility (196 beds). Since the property is proposed to be redeveloped from commercial use to a more sensitive use, a Record of Site Condition (RSC) is required under Ontario Regulation 153/04.

The owner has now submitted the grant application and will be incurring the eligible Phase II ESA plus Remedial Work Plan costs and, should the application be approved, would receive the grant payment.

Discussion:

Environmental Site Assessment Grant Program

The ESA Grant Program offers a matching grant to property owners of brownfield sites to conduct environmental studies that provide information on the type and extent of contamination and potential remediation costs. The program offers 50% of the cost of an eligible study up to a maximum of \$15,000. If two studies are required, an additional \$10,000 is available for a maximum total grant value of \$25,000.

The applicant proposes to redevelop 0 Hanna St for residential use, and requires a Phase II ESA study as part of their application for a RSC. The applicant has completed a Phase I ESA, which identifies areas of potential environmental concern, and recommends that a Phase II ESA study be completed to assess the existing soil and groundwater conditions at the site, plus Remedial Work Plan to determine the extent of any contamination (if required). Upon completion, the City would retain a copy of the final Phase II ESA study report and Remedial Work Plan.

CIP Goals

City staff is supportive of the application as it meets all of the eligibility requirements specified within the Brownfield Redevelopment CIP. The proposed study of the subject site also supports the following CIP goals:

- To promote the remediation, rehabilitation, adaptive re-use and redevelopment of

brownfield sites throughout the City of Windsor in a fiscally responsible and sustainable manner over the long term;

- Improve the physical and visual quality of brownfield sites;
- Improve environmental health and public safety;
- Provide opportunities for new housing, employment uses, and commercial uses;
- Increase tax assessment and property tax revenues;
- Promote Smart Growth, including the reduction of urban sprawl and its related costs;
- Increase community awareness of the economic, environmental and social benefits of brownfield redevelopment; and
- Utilize public sector investment to leverage significant private sector investment in brownfield remediation, rehabilitation, adaptive re-use, and redevelopment.

Policy Support

The study of brownfield sites to support clean up and redevelopment is supported by policies within the 2020 Provincial Policy Statement and the 2024 Provincial Planning Statement (which takes effect October 20, 2024), the City's Official Plan and the City's Environmental Master Plan.

Risk Analysis:

As with all brownfield sites, there is a degree of risk associated with the potential presence of contamination. The proposed Phase II ESA study and Remedial Work Plan will assist in mitigating the above noted risk by confirming the presence and extent of any contamination. It may also provide an estimated cost for remediation and establish next steps in the remediation process, if required.

Climate Change Risks

Climate Change Mitigation:

The proposed residential redevelopment is supported by the Environmental Master Plan action item, which encourages use of the Brownfields Redevelopment Strategy.

Climate Change Adaptation:

The redevelopment of the existing commercial property may be affected by climate change, in particular with respect to extreme precipitation and an increase in days above 30 degrees. While not the subject of this report, any new construction would be

required to meet the current provisions of the Building Code, which would be implemented through the building permit process.

Financial Matters:

The cost estimate (excluding HST) for completing the proposed Phase II ESA study is \$66,400. The cost estimate (excluding HST) for the Remedial Work Plan is \$20,000. If approved, the maximum grant would total \$25,000 (\$15,000 for the first study and \$10,000 for the second study). Should the actual costs of the study be less than what has been estimated, the grant payments would be based on the lower amount.

If approved, the grant would be paid from the Brownfield Strategy Remediation Fund (Project #7069003). The funds would be transferred from CIP reserve fund 226 for payment when the eligible study is complete. The current uncommitted balance of the CIP reserve fund is \$299,916; however, this balance does not account for other CIP grant requests that are currently being considered by the standing committee or have been endorsed by the standing committee and are not yet approved by City Council.

Consultations:

The development and approval of the Brownfield Redevelopment CIP was subject to extensive stakeholder and public consultation, which sought input from a wide range of stakeholders and internal City departments.

Planning staff have consulted with the applicant's agent from Dillon Consulting prior to accepting the application for the Environmental Study Grant program. Greg Atkinson, Manager of Planning Development; Josie Gualtieri, Financial Planning Administrator, Finance Department; and Kate Tracey, Senior Legal Counsel, Legal Department were consulted in the preparation of this report.

Conclusion:

City Staff recommend Council approve the request from Rykka Care Centres LP to participate in the Environmental Site Assessment Grant Program. In the opinion of planning staff, the proposed study conforms to the Brownfield Redevelopment CIP and assists the City in the achievement of a number of the CIP goals.

Planning Act Matters:

N/A

Approvals:

Name	Title
Simona Simion	Planner III – Economic Development Planner (Acting)
Emilie Dunnigan	Manager Development Revenue
Jason Campigotto	Acting Deputy City Planner - Growth
Neil Robertson	City Planner / Executive Director, Planning & Development Services
Kate Tracey	Senior Legal Counsel, Legal Services & Real Estate
Janice Guthrie	Commissioner, Finance & City Treasurer
Jelena Payne	Commissioner, Economic Development
Joe Mancina	Chief Administration Officer

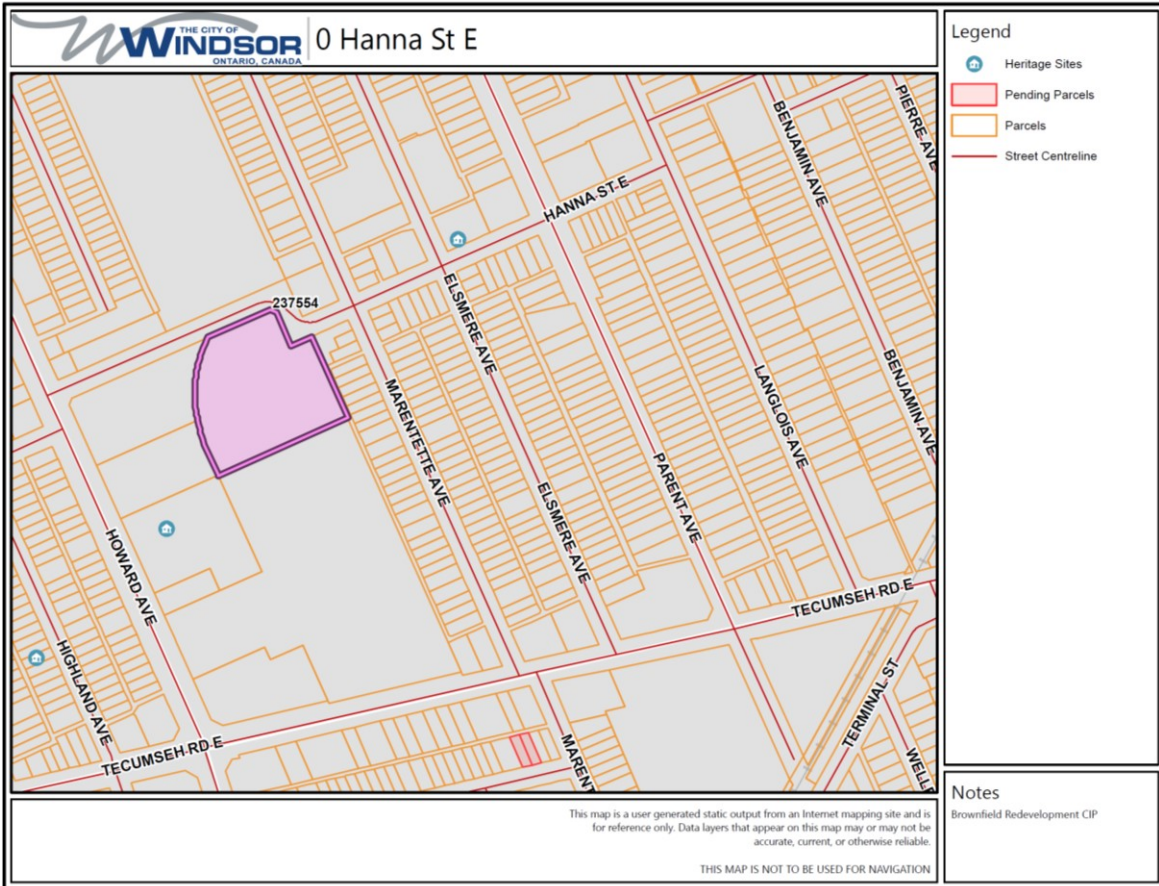
Notifications:

Name	Address	Email
Rykka Care Centres	3760 14 th Avenue, Suite 402, Markham, Ontario L3R 3R7	greg.bowman@reponsivegroup.ca
Matthew Antaya		mantaya@dillon.ca

Appendices:

- 1 Appendix A - Map

Appendix A – Location Map



Subject: Connecting Links Program Intake 2025-2026 Grant Funding - Huron Church Road - City Wide

Reference:

Date to Council: October 28, 2024

Author: Wayne Roy

Asset Coordinator

519-255-6100 ext. 6481

wroy@citywindsor.ca

Asset Planning

Report Date: 9/13/2024

Clerk's File #: SW/12414

To: Mayor and Members of City Council

Recommendation:

- 1) THAT City Council **APPROVE** an application to the Connecting Links 2025-2026 Program for the full reconstruction of Huron Church Road between Industrial Drive intersection and Pool Avenue provided the necessary expenditure is also supported as outlined in Recommendation 3 below; and,
- 2) THAT the Chief Administrative Officer BE **AUTHORIZED** to sign any documents required to submit an application to the Connecting Links 2025-2026 Program subject to the documents being satisfactory in form to the City Solicitor, in financial content to the City Treasurer, and in technical content to the City Engineer, or designates; and,

Whereas on February 2, 2024, the 2024 Capital Budget was deemed approved via Mayoral Decision MD05-2024 and subsequently as a result of the request outlined in this report,

- 3) THAT City Council **SUPPORT** an additional expenditure of \$2,939,000 to allow for application to the Connecting Links 2025-2026 Program, and that the City Treasurer **BE DIRECTED** to affect the following transfers which total \$510,372 representing the City's share of total estimated project costs to the Connecting Links – Intake #10 project, OPS-002-25, with all funding deemed placeholder funding until such time that the City is successful in being awarded the Grant:
 - a) The transfer and pre-commitment of \$352,985 in 2028 Service Sustainability funding, Fund 221, from the Road Rehabilitation Program, OPS-001-07; and,

- b) The transfer of \$152,706 in currently available Service Sustainability funding, Fund 221, from the Traffic Signal Upgrade and Replacement Project, 7209000; and,
 - c) The transfer of \$4,681 in currently available Service Sustainability funding, Fund 221, funding from the Citywide Streetlight Project, 7035011; and,
- 4) THAT in the event the City receives written confirmation on the Grant funding being awarded to the City, that the following additional Recommendations be approved:
- a) THAT the CFO/City Treasurer **BE DIRECTED** to make available for immediate use the identified placeholder amount of 2028 funding in the amount of \$352,985 from the Connecting Links Intake 10 project (OPS-002-25); and,
 - b) THAT the Chief Administrative Officer and City Clerk **BE AUTHORIZED** to take any such action and to sign any agreements, declarations or approvals and any such documents required resulting from receiving grant funding approval for the Connecting Links Program, subject to such documents being satisfactory in form to the City Solicitor, in financial content to the City Treasurer and in technical content to the City Engineer, or designates; and,
 - c) THAT the Mayor, in addition to the CAO and City Clerk, also **BE AUTHORIZED** to sign any agreements, declarations and other such documents required as part of receiving funding for grants noted in this report, and only if deemed required by the grant provider; and,
 - d) THAT the Chief Administrative Officer **BE AUTHORIZED** to delegate signing of all claims, progress reports and applicable schedules and other such documents as may be required as part of receiving funding from the grant provider to the Executive Director, Operations or designate, subject to financial content approval from the area's Financial Planning Manager; and,
 - e) THAT Council **PRE-APPROVE** and **AWARD** any procurement(s) necessary that are related to the grant awarded project, provided that the procurement(s) are within approved budget amounts, pursuant to the Purchasing By-Law 93-2012 and amendments thereto; satisfactory in financial content to the City Treasurer, and in technical content to the City Engineer, or designates; and,
 - f) THAT the Purchasing Manager **BE AUTHORIZED** to issue Purchase Orders as may be required to affect the recommendation noted above, subject to all specification being satisfactory in technical content to the City Engineer and financial content to the City Treasurer, or designates.
- 5) THAT in the event that the City is not successful in their application to the Connecting Links Program 2025-2026, that the identified placeholder funding **BE RETURNED** to its original funding sources.

Executive Summary:

N/A

Background:

Through the Connecting Links program, Ontario is helping municipalities repair their connecting links. The City of Windsor has one road, Huron Church, which is formally designated as a connecting link under section 21 of the *Public Transportation and Highway Improvement Act*, R.S.O. 1900, c. P. 50 as amended.

“Connecting links are municipal roads that connect two ends of a provincial highway through a community or to an international or interprovincial border crossing. These are critical roadways that serve provincial and municipal interests, as they carry long-distance provincial highway traffic moving through communities, as well as local traffic within the community.” *Source: Ministry of Transportation (MTO) Connecting Links Program Guide.*

The Corporation of the City Windsor has received funding from the Connecting Links program since 2018 resulting in over \$11M in grant funding. In August 2024, Administration received notification that the MTO was accepting applications for new projects to be submitted to the 2025-2026 Connecting Links Program (Intake #10).

The Connecting Links Program 2025-26 application submission is to be submitted by November 13, 2024 and notification of funding decisions is expected to be received by early 2025. Upon receiving notification of project approval from the MTO, municipalities can begin the tendering process and incur project costs starting April 1, 2025. Municipalities with one connecting link road, such as Windsor, are allowed to submit one project per year. The program will fund up to 90% of total eligible project costs, to a maximum of \$3M per road project and up to \$5M per bridge project. Projects must be completed by the end the province’s fiscal year 2027-2028. The MTO will prioritize projects that best meet the objectives of the Connecting Links Program, addressing critical and urgent connecting link needs first. Funding decisions will take into consideration the MTO prioritization of the submitted projects, regional connecting links needs and available budget in any year.

Funding will be provided on a milestone payment approach with these deadlines:

- Milestone 1 - Award of First Contact: 50% before June 30, 2025.
- Milestone 2 - Substantial Completion: 35% of awarded funding by December 31 of the fiscal year of completion.
- Milestone 3 – Final Report: 15% of awarded funding by March 8 of the fiscal year of completion.

Discussion:

Through discussion with Operations staff, upcoming projects were assessed and considered for application to the fund. The project outlined in this report was selected

due to alignment with Connecting Links program objectives, available funding and timelines, and departmental priorities.

The City's proposed project submission is for the full reconstruction of Huron Church Road between Industrial Drive intersection and Pool Avenue. This section of road is constantly impacted by the volume of heavy commercial truck traffic which has adversely affected the road and expedited the deterioration. The work will consist of a full road replacement, with sidewalk and curb repairs. The project also includes a full upgrade of the traffic signals at Huron Church Road and Industrial Drive.

The project is expected to be completed in the 2026-2027 fiscal year, subject to the timing of grant approval notification.

This application has a requirement to supply confirmation of various asset management practices and information. As this has become a common requirement for recent senior levels of government funding, the City continues to be in a strong position to meet grant requirements due to strong, readily available asset management information.

Risk Analysis:

There is minimal risk in applying to this funding program. If awarded funding this project will have appropriate staff assigned to it.

Climate Change Risks

Climate Change Mitigation:

There is no impact to the City's GHG emissions inventory as a result of this grant application. Construction will result in GHG emissions that are accounted for within the Community GHG emissions inventory. Construction emissions in general will be offset by improved drivability and functionality of the infrastructure.

Climate Change Adaptation:

There is no climate change adaptation risk associated with this grant application. The life and service levels of road infrastructure may be impacted by a number of climate variables including temperature extremes and precipitation. Maintaining roads in good/excellent condition increases the resiliency of the infrastructure and the road user.

Financial Matters:

The financial information provided below has been calculated based on the City receiving 90% of eligible costs, or \$2,181,352. The City will be responsible for funding 10% of the eligible costs, \$242,372, and 100% of the ineligible costs estimated at \$268,000. The City's total funding responsibility is estimated to be \$510,372. Design engineering could be completed in the 2025-2026 fiscal year pending timely notification

of a successful application, and construction work could then be completed in the 2026-2027 fiscal year.

Summary of Project Estimates, Timing, and Funding:

Cost Description (HST Included)	Estimated Eligible Cost			Estimated Total Ineligible Cost	Estimated Total All Costs
	Apr 1/25 - Mar 31/26	Apr 1/26 - Mar 31/27	Estimated Total Eligible Costs		
Engineering / Design	-	-	-	78,000	78,000
Project Management / Contract Administration / QA	20,000	165,000	185,000	-	185,000
Construction	-	2,486,000	2,486,000	140,000	2,626,000
Interest and Miscellaneous	-	-	-	50,000	50,000
	Totals (including HST)		2,671,000	268,000	2,939,000
	Estimated HST Rebate		247,276	-	247,276
	Total Net Costs (Excluding HST Rebate)		2,423,724	268,000	2,691,724
	Maximum Connecting Links Funding (90% of Eligible Costs or \$3M)				2,181,352
	City Funding (Unfunded Eligible Costs and 100% of Ineligible Costs)				510,372
	Total Net Costs (Excluding HST Rebate)				2,691,724

Administration recommends funding the City’s portion of this project, \$510,372, from previously approved in principle funding in the Road Rehabilitation project OPS-001-07, available uncommitted funds remaining in the Traffic Signal Upgrade and Replacement Project 7209000 and the Citywide Streetlight Project 7035011, as outlined below:

Road Rehabilitation, OPS-001-07, Fund 221, 2028 Funding	\$352,985
Traffic Signal Upgrade and Replacement Project 7209000	\$152,706
Citywide Streetlight Project 7035011	\$ 4,681
Total City funding (unfunded eligible costs and 100% of ineligible costs)	<u>\$510,372</u>

The funding for the road rehabilitation work, Project OPS-001-07, was previously approved in principle in the 2024 10-year capital budget. The funding from the Traffic Signal Upgrade and Replacement project and Citywide Streetlight projects is existing funding in the programs. All capital programs, on an ongoing annual basis, are reassessed and where necessary, funding and/or projects are realigned based on new information and/or opportunities presented, which may affect project prioritization.

Administration has reviewed and determined the opportunity to potentially leverage the \$2,181,352 in grant funding to complete the project outlined in this report is a priority, and as such, Administration recommends the use of a portion of funding from the above noted projects to fund the City’s portion of the overall project costs.

Consultations:

CJ Hartford – Contracts Coordinator Operations
Prem Patel – Manager of Traffic Operations
Cindy Becker – Financial Planning Administrator – Public Works
Mike Dennis – Manager, Strategic Capital Budget Development & Control
Joshua Meloche – Senior Legal Counsel

Conclusion:

Huron Church Road is a vital corridor in the City of Windsor. If the City is successful with this application for the available Connecting Links funding it would provide the necessary funds needed to upgrade this section of roadway. Administration recommends that City Council approve the submission of this project for the current Connecting Links Program.

Approvals:

Name	Title
Natasha Gabbana	Senior Manager Asset Planning
Mark Spizzirri	Manager, Performance Measurement & Business Case Analysis
Wira Vendrasco	City Solicitor
Phong Nguy	Acting Executive Director Operations, Deputy City Engineer
David Simpson	Commissioner, Infrastructure Services & City Engineer
Janice Guthrie	Commissioner, Finance & City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email

Appendices:



Subject: Update Regarding the Divestment of the East Riverside Shorewall; Supplementing Report C77/2023 and C149/2023 - Ward 7

Reference:

Date to Council: October 28, 2024
 Author: Adam Mourad
 Engineer III - Design Standards Lead
 (519) 255-6257 Ext. 6641
amourad@citywindsor.ca
 Design – Engineering
 Report Date: September 27, 2024
 Clerk's File #: SL2024

To: Mayor and Members of City Council

Recommendation:

- I. THAT City Council **RECEIVE** this report to supplement reports with respect to Council Decisions B14/2019, CR444/2023 and CR260/2023, in regards to the City-owned shorewall along Lake St. Clair; and,
- II. THAT City Council **APPROVE** the additional costs for the required Reference Plans approved by CR444/2023, and that such amounts be charged to project 7192007 (Riverside Breakwall Study); and,
- III. THAT City Council **APPROVE** the transfer of \$65,000 from project 7191024 (Wellesley Rehab – Terminal to Ypres) to project 7192007 (Riverside Breakwall Study); and,
- IV. In order to correct the title deficiencies on title to portions of the Shorewall which appear to belong to the City:
 - a) That City Council **DIRECT** the City Solicitor or designate to prepare the required Document Generals; and,
 - b) That the required transactions **BE COMPLETED** electronically, pursuant to By-Law 366-2003; and,
 - c) That the Chief Administrative Officer and the City Clerk **BE AUTHORIZED** to execute all documents necessary to complete the transactions, as required; and,
 - d) That the City Solicitor or designate **BE AUTHORIZED** to execute documents standard to a real estate transaction; and,

- V. THAT City Council **AUTHORIZE** the City Solicitor to commence legal proceedings in order to obtain Judge's Orders for portions of the Shorewall where there is potential for a claim of ownership by the City; and,
- VI. THAT the City Solicitor **BE AUTHORIZED** to execute and submit any forms, applications or other documents necessary, or take any steps as required in order to carry out the Recommendations herein.

Executive Summary:

N/A

Background:

The East Riverside Shorewall (the "Shorewall") includes a 1ft. wide section of land upon which the concrete shorewall is situated and is located between the south shore of Lake St. Clair and the lots municipally known as 10870 to 11906 Riverside Drive East.

On March 31, 1931, the Lieutenant Governor in Council signed a Letters Patent document restricting the sale of the Shorewall without prior approval by the Lieutenant Governor. The Letters Patent site the reasoning behind this restriction is to protect the rights of the public to access and enjoy the adjacent navigable waters. As the access to the water is now restricted by private property, these restrictions are no longer applicable to the public.

At its meeting on October 30, 2023, City Council adopted resolution CR444/2023 (report C149/2023) directing Administration to divest the Shorewall and provide property owners the opportunity to purchase the same from the City. In order to divest the Shorewall, new Reference Plans are first required in order for the release of the Letters Patent to be registered on title.

The report presented to Council was based on a preliminary title search commissioned by the City. In accordance with CR444/2023, Administration retained Verhaegen Land Surveyors ("Verhaegen") to prepare the required Reference Plans.

Discussion:

An initial title search commissioned by the City suggested that 29 of the 70 portions of the Shorewall belonged to the abutting owners, while the remainder appeared to be owned by the City. This information was included in Report C149/2023.

Since being retained, Verhaegen has conducted a significantly more extensive title search of the Shorewall in order to prepare the required Reference Plans. This matter has proved to be much more sophisticated and complicated than originally anticipated and will require significantly more time and resources than originally estimated. Verhaegen's revised quote for the Reference Plans is now \$130,000.

Based on Verhaegen's search, it now appears that ownership of the Shorewall differs from what was reported to Council in October 2023. Five (5) separate Reference Plans will be required in order to describe the entire Shorewall. Verhaegen has assembled ownership charts for the first two (2) of the five (5) portions of the Shorewall, which are attached as Appendices A and B. A summary of the results are as follows:

- 13 parcels appear to be owned by the City;
- 12 parcels have the potential for a claim of ownership by the City; and,
- 4 parcels appear not to be owned by the City.

Parcels appearing to be owned by the City

For the parts that appear to be owned by the City, such portions of the Shorewall were not included in the original transfers from the Town of Riverside to private owners, and also are not included in the current transfers on the abutting properties' parcel registers.

Verhaegen has been in direct communication with the Land Registry Office (the "LRO") on this matter. Upon the Reference Plans being deposited, the LRO has confirmed that the term "No PIN" will appear in the parts schedule and on the face of the plans for these portions of the Shorewall. Attached to this report as Appendix C and D are letters of approval from the LRO confirming the same for both the first two (2) Reference Plans.

Once the Reference Plans are deposited, the City will then register a Document General on each such parcel, following which a new PIN will be opened by the LRO showing ownership in the name of the City.

Parcels with potential for a claim of ownership by the City

For the parcels that have the potential for a claim of ownership by the City, such portions of the Shorewall were not included in the original transfers from the Town of Riverside to private owners, but are included in the current transfers on the abutting properties' parcel registers.

For these parcels, the City will be required to obtain Judge's Orders in order for the City to claim ownership. This would involve the City bringing an application to the court for each parcel. Upon the Reference Plans being deposited, these parcels will appear to form part of the property belonging to the abutting owners, until such time as Judge's Orders are obtained.

Parcels appearing not to be owned by the City

For the parcels that appear not to be owned by the City, such portions of the Shorewall were included in the original transfers from the Town of Riverside to private owners. Accordingly, the City has no ownership nor a claim to ownership of such portions of the Shorewall.

Once all five (5) Reference Plans are deposited and PINs have been opened for the parcels belonging to the City, the Ministry may proceed with registering the release of

the Letters Patent. The Letters Patent will be released from all portions of the Shorewall regardless of ownership.

The City will then be in a position to commence the required applications to the Court in order to seek Judge's Orders confirming that such parcels belong to the City, as they were never transferred to the abutting owners by the Town of Riverside or the City. If successful, the Judge's Orders will be registered on title and ownership will thereafter appear in the name of the City. Unless and until such Judge's Orders are obtained, the portions of the Shorewall that have potential for a claim of ownership will continue to appear to be owned by the abutting owners.

Risk Analysis:

Should the recommendations herein not be approved by Council, there is a risk that the portions of the Shorewall will never be legally described, and accordingly the restrictions in the Letters Patent will not be released by the Ministry.

Climate Change Mitigation:

There are no mitigation risks associated with divesting the Shorewall.

Climate Change Adaptation:

More frequent and intense rain events, higher lake levels and wave action can accelerate erosion and increase the need for enhanced shoreline protection. Future shorewall improvements should consider any increasing risks associated with climate change, including taking any action that may be required by permitting agencies.

Financial Matters:

By CR444/2023, Council approved divestment of each portion of the Shorewall currently owned by the City, and further approved an expenditure in the amount of approximately \$65,000 in order to retain Verhaegen to prepare the required Reference Plans. Verhaegen has since commenced the work, and advised the City that task would require significantly more time and resources than originally estimated. Verhaegen's revised quote for the Reference Plans is now \$130,000. Administration is seeking approval for this additional amount herein.

Although there is approximately \$287,000 left in the project, these funds are earmarked for additional work approved with CR444/2023. Without the proposed transfer of funding, insufficient uncommitted funding is available in the Riverside Breakwall Study project, 7192007, to address this additional ask. If approved by council, a total of \$65,000 will be transferred from the Wellesley Rehab – Terminal to Ypres project, 7191024, to the Riverside Breakwall Study project, 7192007, to cover the additional costs for Verhaegen as outlined above. The Financial Planning Administrator for Engineering has confirmed that there is sufficient funding in project 7191024 – Wellesley Rehab – Terminal to Ypres to transfer as proposed.

Consultations:

Kathy Buis Financial Planning Administrator

Karina Richters Supervisor Environmental Sustainability and Climate Change

Kate Tracey Senior Legal Council

Denise Wright Manager of Real Estate Services

Conclusion:

Administration recommends divesting the Shorewall to the interested abutting property owners at the nominal cost of \$1. To do this, additional funding is required to cover the costs of the Reference Plans needed to lift the restrictions and properly convey each portion of the Shorewall.

Planning Act Matters:

N/A

Approvals:

Name	Title
Adam Mourad	Engineer III - Design Standards Lead
Michael Dennis	Manager, Strategic Capital Budget Development & Control
Mark Spizzirri	Manager, Performance Measurement & Business Case Development
Fahd Mikhael	Manager of Design
Stacey McGuire	Executive Director of Engineering/Deputy City Engineer
David Simpson	Commissioner, Infrastructure Services & City Engineer
Ray Mensour	Commissioner, Community Services
Wira Vendrasco	City Solicitor
Janice Guthrie	Commissioner, Finance & City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Address	Email
	Verhaegen Land Surveyors	
	Lands and Business Services Section Ministry of Natural Resources and Forestry	

Appendices:

- 1 Appendix A - Shorewall Chart of Ownership - Plan A
- 2 Appendix B - Shorewall Chart of Ownership - Plan B
- 3 Appendix C - Letter of Approval - Plan A
- 4 Appendix D - Letter of Approval - Plan B

**OLD TOWN OF RIVERSIDE BREAKWALL CHART OF OWNERSHIP
 PREPARED BY VERHAEGEN LAND SURVEYORS, A DIVISION OF J.D. BARNES LTD.
 IN RELATION TO PLAN OF SURVEY FOR PARCELS 1 to 13 ON DEPOSIT PLAN 4118
 FILE No. 23-47-628-00A (PLAN A - FIRST OF FIVE PLANS)**

MUN No. ON RIVERSIDE DRIVE	PIN	PARCEL No. ON DEPOSIT PLAN 4118	OLDEST DISCOVERED TRANSFER DESCRIPTION	DATE	NORTH LIMIT DESCRIBED IN TRANSFER OR A SAVE AND EXCEPT NOTED IN TRANSFER	BREAKWALL INCLUDED IN FIRST DISCOVERED TRANSFER	CURRENT TRANSFER DESCRIPTION	DATE	NORTH LIMIT DESCRIBED IN CURRENT TRANSFER OR A SAVE AND EXCEPT NOTED IN TRANSFER	BREAKWALL INCLUDED IN CURRENT TRANSFER DESCRIPTION	BREAKWALL IN CITY OWNERSHIP	POTENTIAL FOR A CLAIM OF OWNERSHIP OF BREAKWALL BY THE CITY OF WINDSOR
10870	01054-0826	PARCEL 1	RI 23223	SEPT. 1954	SOUTH FACE OF BREAKWALL	NO	RI 23223	SEPT. 1954	SOUTH FACE OF BREAKWALL	NO	NO*	YES
		PARCEL 2	RI 18639	JUNE 1952	14" SOUTH OF SOUTH FACE OF BREAKWALL	NO	PARTS 3 & 4, 12R-25038	MARCH 2012	NORTH FACE OF BREAKWALL	YES	NO	YES
10884	01054-0827	PARCEL 3	R354487	MARCH 1966		NO	PARTS 1 & 2, 12R-25038					
10910	01054-0290	PARCEL 4	RI 7183	NOV. 1931	SAVE & EXCEPT BREAKWALL	NO	R198514	MAY 1959	NORTH FACE OF BREAKWALL	YES	NO	YES
10930	01054-0291	PARCEL 5	RI 11645	FEBRUARY 1946	SOUTH FACE OF BREAKWALL	NO	PART 1, PLAN 12R-6941	JUNE 1982	NORTH FACE OF BREAKWALL	YES	NO	YES
10950	01054-0292						PART 2, PLAN 12R-6941		NORTH FACE OF BREAKWALL	YES	NO	YES
10960	01054-0331						PARCEL 6		PART 3, PLAN 12R-6941	NORTH FACE OF BREAKWALL	YES	NO
10976	01054-0212	PARCEL 7	RI 17633	JUNE 1951	SOUTH FACE OF BREAKWALL	NO	R217831	MARCH 1960	SOUTH FACE OF BREAKWALL	NO	YES	N/A
10988	01054-0213						R445140	JULY 1969	SOUTH FACE OF BREAKWALL	NO	YES	N/A
11000	01054-0214	PARCEL 8	RI 8618	NOVEMBER 1931	SAVE & EXCEPT BREAKWALL	NO	R425049	AUGUST 1968	SAVE & EXCEPT BREAKWALL	NO	YES	N/A
11014	01054-0215						R1516242	JULY 2001	NORTH FACE OF BREAKWALL	YES	NO	YES
11030	01054-0216	PARCEL 9	R309813	JULY 1964	SAVE & EXCEPT BREAKWALL	NO	R1210587	SEPT. 1992	SAVE & EXCEPT BREAKWALL	NO	YES	N/A
11044	01054-0217	PARCEL 10	RI 16356	JUNE 1950	SAVE & EXCEPT BREAKWALL	NO	R447824	AUGUST 1969	NORTH FACE OF BREAKWALL	YES	NO	YES
11060	01054-0218	PARCEL 11	RI 7038	NOV. 1931	SAVE & EXCEPT BREAKWALL	NO	R438927	APRIL 1969	NORTH FACE OF BREAKWALL	YES	NO	YES
		PARCEL 12	R415452	JULY 1968	NORTH FACE OF BREAKWALL	YES						NO
11080	01054-0219	PARCEL 13	R349487	JAN. 1966	NORTH FACE OF BREAKWALL	YES	R983991	AUGUST 1986	NORTH FACE OF BREAKWALL	YES	NO	NO
			RI 7043	NOV. 1931	SAVE & EXCEPT BREAKWALL	NO						YES

* The registry office is of the opinion that since Plan 12R-25038 includes the breakwall the breakwall is included in PIN 01054-0826 although the transfer document RI 23223 does not include the breakwall.

**OLD TOWN OF RIVERSIDE BREAKWALL CHART OF OWNERSHIP
 PREPARED BY VERHAEGEN LAND SURVEYORS, A DIVISION OF J.D. BARNES LTD.
 IN RELATION TO PLAN OF SURVEY FOR PARCELS 14 to 27 ON DEPOSIT PLAN 4118
 FILE No. 23-47-628-00B (PLAN B - SECOND OF FIVE PLANS)**

MUN No. ON RIVERSIDE DRIVE	PIN	PARCEL No. ON DEPOSIT PLAN 4118	OLDEST DISCOVERED TRANSFER DESCRIPTION	DATE	NORTH LIMIT DESCRIBED IN TRANSFER OR A SAVE AND EXCEPT NOTED IN TRANSFER	BREAKWALL INCLUDED IN FIRST DISCOVERED TRANSFER	CURRENT TRANSFER DESCRIPTION	DATE	NORTH LIMIT DESCRIBED IN CURRENT TRANSFER OR A SAVE AND EXCEPT NOTED IN TRANSFER	BREAKWALL INCLUDED IN CURRENT TRANSFER DESCRIPTION	BREAKWALL IN CITY OWNERSHIP	POTENTIAL FOR A CLAIM OF OWNERSHIP OF BREAKWALL BY THE CITY OF WINDSOR
11120	01054-0220	PARCEL 14	RI 10575	APRIL 1944	NORTH FACE OF BREAKWALL	YES	PARTS 1 & 2, 12R-1309	JANUARY 1974	NORTH FACE OF BREAKWALL	YES	NO	NO
		PARCEL 15	R106367	APRIL 1955	NORTH FACE OF BREAKWALL	YES						
11134	01054-0272	PARCEL 16	RI 11488	MAY 1944	SOUTH FACE OF BREAKWALL	NO	R1330715	DECEMBER 1995	SOUTH FACE OF BREAKWALL	NO	YES	N/A
11150	01054-0260	PARCEL 17					R788334	SEPTEMBER 1979	SOUTH FACE OF BREAKWALL	NO	YES	N/A
11166	01054-0261	PARCEL 18	RI 7113	NOVEMBER 1931	SAVE & EXCEPT BREAKWALL	NO	R1393416	JULY 1997	SOUTH FACE OF BREAKWALL	NO	YES	N/A
11178	01054-0262	PARCEL 19	RI 8129	OCTOBER 1937	SOUTH FACE OF BREAKWALL	NO	R1069184	DECEMBER 1988	SOUTH FACE OF BREAKWALL	NO	YES	N/A
11194	01054-0263	PARCEL 20	R663187	JANUARY 1951	SOUTH FACE OF BREAKWALL	NO	R1385205	MAY 1997	SOUTH FACE OF BREAKWALL	NO	YES	N/A
11200	01054-0415	PARCEL 21	R109058	JUNE 1955	SAVE & EXCEPT BREAKWALL	NO	PART 1, 12R-28034	DECEMBER 2019	SOUTH FACE OF BREAKWALL	NO	YES	N/A
	01054-0834	PARCEL 22	RI 8609	AUGUST 1939	NORTH FACE OF BREAKWALL (WATER'S EDGE)	YES	PART 2, 12R-28034	DECEMBER 2019	NORTH FACE OF BREAKWALL	YES	NO	NO
11218	01054-0835						PART 3, 12R-28034	DECEMBER 2019	NORTH FACE OF BREAKWALL	YES	NO	NO
11228	01054-0265	PARCEL 23	RI 21699	NOVEMBER 1953	SOUTH FACE OF BREAKWALL	NO	RI 22899	AUGUST 1954	SOUTH FACE OF BREAKWALL	NO	YES	N/A
11246	01054-0814	PARCEL 24	RI 9642	MARCH 1942	SOUTH FACE OF BREAKWALL	NO	PART 2, 12R-23957	MAY 2009	NORTH FACE OF BREAKWALL	YES	NO	YES
11262	01054-0813	PARCEL 25	R388462	FEBRUARY 1947	SOUTH FACE OF BREAKWALL	NO	PART 1, 12R-23957	MAY 2009	NORTH FACE OF BREAKWALL	YES	NO	YES
11280	01054-0275	PARCEL 26	RI 6978	NOVEMBER 1931	SAVE & EXCEPT BREAKWALL	NO	R524806	FEBRUARY 1972	SAVE & EXCEPT BREAKWALL	NO	YES	N/A
11310	01054-0310	PARCEL 27	RI 7005	NOVEMBER 1931	SAVE & EXCEPT BREAKWALL	NO	R1486332	MARCH 2000	SOUTH FACE OF BREAKWALL	NO	YES	N/A

Ministry of
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Land Registration
Services Branch

Direction des
services
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Telephone:
519-675-7600

Téléphone:
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July 27, 2024

My File No. S-4907

Verhaegen Land Surveyors
944 Ottawa Street
Windsor, ON, N8X 2E1
ATTN: Roy A. Simone, O.L.S.

RE: Plan Approval under S. 6(3) or S. 6(8) or S. 12 of O.Reg. 43/96 made under the 'Registry Act'

Dear Sir;

With reference to S. 6(3) or S. 6(8) or S. 12 of O.Reg. 43/96, I hereby grant my approval for your reference plan bearing file no. E-Wind-1-141 and reference no. 23-47-628-00 in the Water Lot in front of Lots 141-142 in Concession 1 in the Geographic Township of Sandwich East to include the term "No PIN" in the 'Schedule' and on the 'Face' of the plan.


If you have any further questions, please do not hesitate to contact the undersigned.

Yours Sincerely,



Hugh Beaumont Goebelle
Hons. B.A., B.Sc., M.A.
Ontario Land Surveyor
Ontario Land Information Professional
Canada Lands Surveyor

Hugh Beaumont Goebelle
an ASSISTANT EXAMINER OF SURVEYS
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100 Dundas Street, Ground Floor
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Telephone:
519-675-7600

Téléphone:
519-675-7600



July 15, 2024

My File No. S-4907

Verhaegen Land Surveyors
944 Ottawa Street
Windsor, ON, N8X 2E1
ATTN: Roy A. Simone, O.L.S.

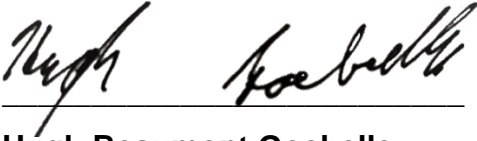
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If you have any further questions, please do not hesitate to contact the undersigned.

Yours Sincerely,



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Website / site Web: www.ServiceOntario.ca

Subject: 2025 Stormwater and Wastewater Rate Setting Report - City Wide

Reference:

Date to Council: October 28, 2024

Author(s):

Carrie McCrindle

Financial Planning Administrator

(519) 255-6100 Ext. 6153

cmccrindle@citywindsor.ca

Marc Di Domenico

Project Administrator

(519) 255-6100 Ext. 6452

mdidomenico@citywindsor.ca

Engineering

Report Date: October 11, 2024

Clerk's File #: SW2024

To: Mayor and Members of City Council

Recommendation:

- I. THAT the following wastewater rates **BE APPROVED** and **IMPLEMENTED** as of January 1, 2025:
 - A. Fixed Charge - To be based on the meter size as detailed in Appendix A (\$12.89 for residential customers)
 - B. Water Consumption Charge - To be based on a rate per cubic metre of water (\$2.01 per m³ of water for residential users and \$1.66 per m³ for commercial customers); and,
- II. THAT City Council **DIRECT** the City Treasurer to bring forth the 2025 Wastewater budget based on the approved Wastewater Rates as part of the annual Budget process; and,
- III. THAT in order to avoid charging a surcharge on the water that is estimated to not have been returned to the sewer system, water consumption for the purpose of calculating the wastewater bills for the extended summer months (May through

October) continue to **BE BASED** on the lower of actual consumption or average winter usage (November through April) and that Administration **DIRECT** Enwin Utilities Ltd. (acting for the Windsor Utilities Commission) to continue to use the appropriate billing methodology to achieve this goal; and,

- IV. THAT the City Solicitor **BE DIRECTED** to prepare the Wastewater Bylaw (formerly known as the Sewer Surcharge Bylaw) to reflect the new rates and the segregation of the Stormwater component from this rate; and,
- V. THAT the following Stormwater monthly rates **BE APPROVED** and **IMPLEMENTED** as of January 1, 2025:
 - A. Residential Rate - To be based on tiered Impervious Area
 - a. Tier 1: \$22.50
 - b. Tier 2: \$28.17
 - c. Tier 3: \$33.83
 - B. Multi-Residential/Non-Residential/Other Rate - To be based on measured impervious area at a rate of \$1.26 per square meter of impervious area; and,
- VI. THAT City Council **DIRECT** the City Treasurer to bring forth the 2025 Stormwater budget based on the approved Stormwater Rates as part of the annual Budget process; and,
- VII. THAT the City Solicitor **BE DIRECTED** to create a new Stormwater Surcharge Bylaw to reflect the rates and policies approved in this report; and,
- VIII. THAT City Council **APPROVE** the transfer of 44% of the balance in the Sewer Surcharge Reserve (F153) as of December 31, 2024 to the Stormwater Reserve (F234); and,
- IX. THAT the City Treasurer **BE AUTHORIZED** to process transfers of funds between the Wastewater Reserve (F153) and the Stormwater Reserve (F234) during the fiscal year, which do not change the overall approved Wastewater and Stormwater rates, to allow for the transition of funding to the stormwater financing program; and,
- X. THAT City Council **DIRECT** the City Treasurer to effect the transfers of pre-commitments from the Wastewater Reserve (F153) to be funded from the Stormwater Reserve (F234) as detailed in Appendix D; and,
- XI. THAT City Council **APPROVE** in principle the Stormwater Financing Incentives program for residential properties described in this report and **DIRECT** the City Treasurer to bring forth the required budget to implement the Stormwater Financing Incentives program during the annual Budget process; and,
- XII. THAT City Council **APPROVE** the amended Stormwater Fee Credit Program Manual (dated October 8, 2024) attached in Appendix B and **AUTHORIZE** the

City Engineer to make future amendments to the forms and templates contained in the Appendices of the Stormwater Fee Credit Program Manual; and,

- XIII. THAT City Council **APPROVE** the finalized Stormwater Financing Definitions and Policies described in Appendix C.

Executive Summary:

Council endorsed the stormwater funding study in 2021. Since then, City Administration has performed public outreach and has been working to implement this program, which changes the stormwater and wastewater funding models. This report recommends the stormwater and wastewater rates for 2025 and provides an update on implementing the stormwater funding program.

The City's current model for funding both wastewater and stormwater projects is through the sewer surcharge fee. Starting January 1, 2025, the new calculation for the stormwater portion of the sewer surcharge fee will be based on the amount of impervious area on a property, rather than being based on water usage as a combined sanitary and storm sewer surcharge fee (current fee structure). In effect, the existing sewer surcharge fee will be split into separate wastewater and stormwater rates based on water usage and impervious area, respectively. **It is important to note that the stormwater fee is not a new fee but rather a different way of calculating the fee that property owners currently pay.** Separating these fees ensures that the appropriate stormwater and wastewater system budgets are properly funded in a manner that is fair and equitable.

Impervious areas are defined as hard or compacted surfaces that limit the amount of rainwater/snowmelt that can infiltrate into the ground, and thus increase surface runoff, especially during storm events. The City's stormwater management system captures this runoff and directs it away from populated urbanized areas. The City's stormwater infrastructure benefits everyone, where a properly functioning drainage system is critical for City-wide stormwater resiliency and flood reduction mitigation.

As a result of the change in billing structure, most residential properties and many small to medium sized businesses will see a savings in their overall wastewater and stormwater costs in 2025. On average, residential properties will realize the following savings on their overall wastewater and stormwater fees.

Average Annual Residential Total Wastewater and Stormwater Fees			
	2024	2025	Change
Residential (Tier 1)	\$848	\$775	(\$73)
Residential (Tier 2)	\$933	\$893	(\$39)
Residential (Tier 3)	\$1,017	\$1,011	(\$5)

Since impermeable surface areas include buildings, paved surfaces, compacted ground and parking lots, the stormwater fee for large industrial or commercial properties can be higher as the new stormwater rate will be applied on a per square metre of impervious area basis (as opposed to the property's current sewer surcharge fee which is based solely on water usage). Resulting fee increases for large industrial and commercial businesses are deemed proportionally reasonable and fair since these properties produce a notably higher volume and rate of runoff, which is captured and managed by the City's stormwater management system.

Under the proposed rate structure, a more equitable system will be developed wherein properties with large impervious areas (e.g. parking lots) will pay more towards stormwater than those with smaller impervious areas (e.g. residential properties).

The wastewater portion of the former sewer surcharge fee will continue using the City's historical model in order to calculate the new Wastewater Sewer Surcharge. Since the former sewer surcharge calculation included funding towards the stormwater budget, the rate for the wastewater component will decrease significantly in 2025 compared to 2024.

This new model includes a review of projected water consumption trends, which is completed annually in conjunction with the Windsor Utilities Commission (WUC). Water consumption trends are important in developing the annual Wastewater Budget, as the City's wastewater revenues are largely based on water usage. While this model represents a true usage-based fee, it also leaves a large portion of the sewer surcharge revenue vulnerable to changes in consumption patterns.

This report recommends the 2025 wastewater rates and expected revenues based on meter and water consumption projections received from WUC, along with the 2025 stormwater rates (based on impervious area) and projected revenue. Details of the resulting expenditures that make up the expected revenues will inform the 2025 Budget approval process.

Background:

The current sewer surcharge has been in place since January 1, 1994. Prior to 1994, stormwater and sewage collection and treatment costs were funded from the property tax levy. That is, all property owners would fund costs associated with both wastewater and stormwater in the same manner as all other property tax funded services by way of property assessment values. The intent of the surcharge is to recover, based upon a defined user fee, costs associated with the estimated amount of both wastewater and stormwater that is discharged into the sewer system and responsibly treated prior to being released back into the environment.

The City's capital program for both wastewater and stormwater has grown from approximately \$5 million in 2002 to the current \$62.9 million in 2024. In addition to the sewer surcharge the City leverages financial grants (e.g. Provincial and Federal) to fund

costs associated with managing, maintaining and replacing both the sanitary and stormwater sewer systems.

The sewer surcharge methodology is based on water consumption and is consistent with a user pay model that provides a measure of control over the costs by allowing users to proactively manage their water consumption. The current sewer surcharge model, which is a good measure of impact to the sanitary sewer system, is not commensurate with a property's impact on the stormwater system. The City of Windsor is flat and has mostly clay underlying soils, resulting in a substantial stormwater management system (pumping stations, sewers, drains, retention basins, etc.) being necessary to move water away from urbanized areas and to natural waterways to minimize flooding. These stormwater assets have an estimated \$2 billion replacement value.

Since 2018, City staff along with support from consultants have been separating the stormwater and wastewater expenditures with a goal of establishing a separate dedicated stormwater fee based on impervious area of a given property. The wastewater fee will continue using the City's historical model as detailed in previous Sewer Surcharge Reports to Council.

The following is a summary of the milestones to achieve this objective:

- 2018-2020: The City's consultant, WSP E&I Canada Limited (WSP) and Watson & Associates Economists Ltd. (Watson), undertook the Stormwater Financing Study (Study) to provide an assessment of Windsor's existing stormwater management level of service (LOS) and explore potential funding models capable of providing dedicated and better distributed funding.
- 2019-Present: Public engagement, Stormwater Advisory Group stakeholder meetings, enhanced education and outreach initiatives, public information centres.
- January 2021 (CR42/2021): Council endorsed the Study which included key elements: segregation of stormwater from wastewater funding; proposed enhanced LOS program; five-year phase-in period for an enhanced future stormwater program; and proposed new stormwater fee funding model based on impervious area.
- December 2021 (B31/2021): Council approved the plan and project budget to implement a dedicated stormwater financing model.
- June 2023 (CR250/2023): A project update was provided, and Council approved postponing the program launch date to January 2025 in order to perform additional public outreach and education activities.
- March 2024 (CR124/2024): A project update was provided, and Council approved the Credit Policy and hiring of two staff in Fall 2024 to begin supporting the credit program.

The new methodology for calculating the stormwater fee is based on the amount of impervious area on a property, rather than water usage. Impervious areas are hard or compacted surfaces that limit the amount of rainwater/snowmelt that can infiltrate into the ground, and thus increase runoff especially during storm events. The City's

stormwater management system captures this runoff and directs it away from populated areas.

Industry standards now place a greater emphasis on managing stormwater at the source (where it falls) rather than allowing the full runoff amount to enter sewers, pumping stations and treatment plants, which leads to more costly management of the water and increases the risk of basement flooding. This is why the amount of impervious surface area, which prevents the natural infiltration of stormwater into the surrounding soils, is central to the new stormwater fee calculation.

Since impervious surfaces include buildings, paved surfaces and parking lots, large commercial/industrial/retail properties may experience a larger financial impact compared to smaller properties with less impervious surfaces. This is proportionally reasonable and aligns with the principle of better distributing the cost based on the amount of stormwater runoff produced.

As a system that benefits the entire population, an effective and properly functioning drainage system is critical for City-wide stormwater management resiliency and flood reduction mitigation measures which afford residents greater levels of property protection and more reliable access to the City during and following intense storm events. As such, all property owners contribute to funding the public storm sewer system to ensure a level of reliability and performance. Non-use of the system does not exempt properties from the stormwater fee, as it is a municipal-wide public system where stormwater services are broadly available to everyone.

The purpose of this report is to seek City Council's approval of the 2025 Stormwater and Wastewater rates which will come into effect January 1, 2025. Lead time will be needed to ensure that the billing systems are updated with the new rates. The approval of the rates will then inform the upset limits for each respective operating and capital budgets. Details on the budgets will be brought forward as part of the 2025 Budget approval process.

Discussion:

City of Windsor Sewer Network Overview

The City's sewer network consists of approximately 1,800 kilometres of the following four types of sewers:

- 1) **Storm Sewers** carry storm water runoff only. Storm sewers eventually drain to the Detroit River, untreated. There are approximately 820 kilometres of storm sewers within the City of Windsor.
- 2) **Sanitary Sewers** are designed to convey residential, commercial and industrial waste (e.g. from toilets, sinks, showers and industrial processes) to the City's wastewater treatment facilities for treatment prior to discharge into a watercourse. The City of Windsor maintains approximately 750 kilometres of sanitary sewers.
- 3) **Combined Sewers** were constructed throughout the City until the 1960s. Combined sewers carry both storm water and sanitary waste in a single pipe.

Storm water and sanitary water flow together to the City's wastewater treatment plants through approximately 200 kilometres of combined sewers.

- 4) **Over-and-Under Sewers** consist of a dedicated sanitary sewer pipe with a larger, separate storm pipe installed directly over it. There are approximately 30 kilometres (included in storm and sanitary totals) of over-and-under sewers in Windsor, which flow to the City's wastewater treatment plants or untreated directly to the Detroit River.

Together, combined and over-and-under sewers represent approximately 13% of the entire sewer system. During large storm events these types of sewers contribute to combined sewer overflows meaning a certain amount of the water in the pipes must bypass treatment at the wastewater treatment plants and be discharged directly into the Detroit River untreated. In 2011, the City constructed a Retention Treatment Basin (RTB) to capture, store and treat combined sewer overflows from the east end of Windsor that, prior to its construction would otherwise have discharged directly to the Detroit River. As part of the Disaster Mitigation and Adaptation Fund, the City will construct a second RTB to further mitigate against combined sewer overflows for an additional drainage area representing approximately 40,000 homes with basements in Windsor's west end.

Windsor's unique flat topography and clay-underlying soils requires a robust and effective stormwater management system to collect, manage and divert stormwater runoff away from urbanized areas and towards watersheds. This includes a network of costly pumping stations less common in other urbanized Cities, which require ongoing maintenance and operating expenditures such as utilities and component replacements to operate.

The Sewer and Coastal Flood Protection Master Plan (SMP), completed in November 2020, and the Stormwater Financing Study, completed in January 2021, identified the LOS and capital works required over the short and long-term time horizons in order to address sewers, pumping stations, treatment plants and storm water systems. These plans also estimate the additional funding that will be required to undertake that work. Many of the Sewer Master Plan's most immediate priorities have now been incorporated into the City's 10-year Capital Plan and future priorities will continue to be incorporated into future Capital Budgets. This plan is reviewed annually to ensure priority work is addressed and projected costs are updated to reflect inflationary pressures.

Stormwater Fee Public Communication and Engagement

Throughout all phases of this project, the City has welcomed and encouraged feedback from the community. As reported in the previous update to Council through C29/2024, the City has engaged in a variety of outreach initiatives to date.

Direct outreach to non-residential and multi-residential property owners was also initiated with the Enhanced Education sessions undertaken in November 2023. Regular communication and outreach with property owners continues to this day, providing education and fee estimates. The City included informational bill inserts in the April 2024 ENWIN utility bill and the June 2024 Property Tax bill in attempt to reach as many

residents and property owners as possible. Further, bill inserts are planned this fall and winter to continue educating and informing property owners.

A Public Information Centre (PIC) open house was held on June 12, 2024 at the WFCU Centre with over 60 people in attendance. Participants had the opportunity to learn and ask questions of both City Administration and the project consultants about the new stormwater fee program, proposed rate structure and the stormwater management services provided by the City.

An online fee estimator tool has been developed to provide property owners the ability to view their property, impervious area layers and estimated stormwater fee amount, giving them the ability to verify the data the City is using to calculate their stormwater fee. This tool provides a visual representation of how the stormwater fee is determined and provides complementary information to further educate property owners about the program. Note that this tool only provides the stormwater component of the sewer surcharge amount, as the wastewater component is still based on water usage, which is property specific and varies throughout the year. This tool will be available through the project website and released to the public upon Council's approval of the stormwater rates.

Stormwater Incentives Program (Residential)

Incentives programs are used to encourage voluntary actions by residential property owners willing to make changes on their property to achieve a public objective of managing runoff and building flood resiliency. Administration has developed an Incentives Program for **residential** property owners only that implements simple stormwater management practices. This Incentives Program is separate and distinct from the Credit Policy for **non-residential** properties previously approved by Council (CR124/2024). The Incentives Program offers a one-time financial incentive (per Program type) to the property owner and is based on existing and new programs run by the City as follows:

1. Enhancement of Existing Subsidy Programs:

- Basement Flooding Protection increased to \$3,500 max amount (from \$2,800)
- Sanitary Sewer Private Drain Connection (PDC) Replacement increased to \$4,000 for private sewer replacement outside the mandatory downspout disconnect area (from \$2,000)
- Culvert Rehabilitation Subsidy Program increased to:
 - \$1,000 for 0-18" diameter culverts (from \$500)
 - \$2,000 for 18-48" diameter culverts (from \$1,000)
 - \$3,000 for +48" diameter culverts (from \$2,000)
 - \$7,500 for bridges (from \$5,000)

2. Rain Barrel Program (New)

- A rebate of up to \$120 (limit one rain barrel per property owner) on a rain barrel that is purchased by a residential property owner at their discretion. The rain barrel can be any make or model with a minimum volume of 132 Litres (25

gallons). The rain barrel program will be administered through the Right-Of-Way department.

3. *Tree Program (New)*

- Each residential property owner is entitled to a tree (limit one tree per property owner) for planting on their private property (i.e. not on the public right-of-way area). Trees will be supplied by the Parks Department, will be a native species and be available for pickup at a City Parks location with instructions on how to plant the tree. The tree program will be administered through the Right-Of-Way and Parks departments.

This Stormwater Incentives Program provides residential property owners the opportunity to participate and help positively contribute to the City's efforts to manage stormwater and reduce flood risks across the city. Not all municipalities with dedicated stormwater funding programs provide an incentives program, but Administration acknowledges the importance of flood resiliency to the residents of Windsor and is recommending this program for Council's approval.

Incremental costs associated with the Incentives Program have been included in the estimated 2025 Stormwater budget. The City anticipates it can administer this Incentives Program with current staffing resources. Any additional resources, should they be required in future years based on unanticipated increases in Program uptake, will be brought to Council during the respective annual budget.

Enhancements to the Water Rate Assistance Program (WRAP)

The Water Rate Assistance Program (WRAP) provides financial assistance to qualifying residential households with regards to their water, stormwater and wastewater bill payment. The City and Enwin have expanded the program to include relief towards the stormwater fee component of the sewer surcharge.

The City's contribution towards the program is being recommended to increase from \$37,500 to \$50,000 with the incremental cost included as part of the 2025 Stormwater budget. A maximum benefit of \$250 (previously \$187.50) in financial aid towards sewer assistance is available to vulnerable households.

Stormwater Credit Policy Amendment (Non-Residential)

The Credit Policy, which was approved by Council on March 18, 2024 (C29/2024, CR124/2024), was developed to encourage enhanced measures of stormwater management onsite at the source (on private property), as this adds resiliency by slowing and decreasing the volume of stormwater runoff entering the municipal sewer system during a storm event.

Recent consultations with various non-residential and multi-residential property owners at the PIC, private meetings and emails, led Administration to review the Credit Policy to consider a credit for properties that discharge their stormwater directly into the Detroit River or Lake St. Clair (without a connection to a municipal storm sewer).

A new Direct Discharge credit of up to 40% is being recommended for properties that directly discharge their stormwater into the Detroit River or Lake St. Clair. The Direct Discharge credit may be combined with the Water Quality Treatment credit (up to 10%) as previously defined in the credit program. Property owners would be required to provide proof (including but not limited to stormwater management reports, CCTV video of the adjacent sewer system, servicing drawings, grading plans etc.) that their property drains directly to the watercourse without a connection to a municipal sewer.

No changes are recommended to the overall credit cap of 50%, as identified previously, recognizing that there are ongoing costs that the City must maintain across the entire system, regardless of the specific drainage pattern of the property.

The Credit Policy manual has been modified to reflect the above recommendation and the proposed revision is attached as Appendix B.

Impervious Area Definition Refinements

In progressing through the Stormwater Financing Program Implementation Phase and considering comments received through public consultation, Administration reviewed the previously endorsed impervious area (IA) layer classification and eligibility used to calculate the stormwater fee. From this review, two changes are being proposed to what was endorsed in Council report C95-2023, CR250/2023 (June 12, 2023) as follows:

- Pools – Administration proposes to exclude Pool IA from the total IA calculation in recognition that pools act to retain stormwater during rain events; and,
- Construction on the Property – Administration proposes to include areas noted to be under construction in the calculation of IA for a property. This would remain consistent with the principle that the stormwater rate is based on the presence of impervious surfaces on the property, recognizing that footings, buildings under construction or parking lots are impervious surfaces that don't permit water to infiltrate into the ground. It should be noted, that for reasons indicated, inclusion of this area is for purposes of setting the overall rates and is necessary for purposes of determining the annual rate and **is not** indicative as to when the area will be subject to billing of the new fee. The billing will be determined based upon active use of the property (i.e. construction completion and/or occupancy as defined in the corresponding by-law).

Data Analysis

Over the course of this project, three years' worth of aerial data has been collected and analyzed. With IA driving the stormwater fee calculation, data collected from aerial imagery contributes principally to this data-centric funding model. Billing variables are then derived from this data and used to determine the Billing Unit Fee rate for non-residential and multi-residential properties as well as the residential property tier structure and ratio.

The Billing Unit Fee is the rate required to meet the revenue needs of the stormwater budget and is dependent on the number of Billing Units across the City. The Tier Ratio value determines the proportion of the billing unit that is assigned to each residential tier (Small, Medium, Large). The stormwater fee for a residential property is calculated as:
Tier Ratio X Billing Unit Fee

Administration is proposing to use Tier Ratios of 0.8 for Tier 1 (Small), 1.0 for Tier 2 (Medium), and 1.2 for Tier 3 (Large). Reassessment and evaluation of Tier Ratio values will be undertaken annually alongside the rate setting approvals for the subsequent years.

The updated Stormwater Financing Definitions and Policies are attached in Appendix C to reflect the items above.

Enhanced Level of Service (LOS)

A key component of the Stormwater Financing Study (2021) was the review and assessment of Windsor's stormwater management level of service (LOS). This included feedback and consultation with consultants and community stakeholders. Up to 30 Service Elements (services offered by the City and/or 3rd parties related to the operation and maintenance of the City's stormwater systems) were evaluated, where Study findings resulted in the following:

- 11 new Service Elements were identified to overcome gaps in existing service, where a summary of these new or improved service offerings are highlighted in the section below
- 9 existing Service Elements were identified as high priority with recommended increase in LOS
- 7 existing Service Elements were identified as being currently effective with no proposed change in LOS
- 3 existing Service Elements were identified as being candidates for a decrease in LOS with little to no impact to the system

A general summary of new or improved LOS offerings is provided below:

- Increased funding for sewer upgrades, rehabilitation and lining repairs
- Increased separation of combined sewers
- Regular inspections and increased maintenance of municipal drains, ditches, culverts, and natural drainage systems
- Establish a pond monitoring and inspection program
- Increased sewer infrastructure inspections and sewer cleaning program
- Increased street sweeping program

The financial impact to implement this enhanced LOS is \$15.9 million phased-in over a five-year period to allow for Service Elements to be sequenced effectively and smoothen out the financial impact to manageable levels. The LOS budget items will be brought forth to Council during budget deliberations and are subject to annual budget approvals.

Recommended Rates

1) Residential Rates

As a result of the changes to the rate structure resulting from the implementation of the separate stormwater fee and increases as proposed to the wastewater budget, the 2025 Wastewater rates for residential customers are recommended as follows:

Residential Customer Rates – Wastewater		
Wastewater Rates	2024 Current Monthly Rates	2025 Proposed Monthly Rates
Fixed Charge	\$21.65	\$12.89
Variable Charge	\$3.37 per cubic metre of water used (reduced for excess summer consumption)	\$2.01 per cubic metre of water used (reduced for excess summer consumption)

The “Winter Average Daily Usage” calculation will continue to be used which allows the wastewater rates to be applied to the **lower** of actual water usage or winter average for each customer. This ensures that excess summer water usage (for watering lawns, washing cars, etc.) is not used in calculating the wastewater sewer surcharge rates.

As part of the 2019 Sewer Surcharge Budget, Administration began the process of adjusting the split between residential / commercial for the wastewater allocation model to levy the costs in a way that more accurately reflects consumption patterns. These consumption patterns will continue to be monitored and will factor into future adjustments as Administration moves to re-align the budget to better match actual consumption splits. The 2025 recommended wastewater budget reflects a split of 55% residential and 45% commercial, which is the same split as prior year.

The 2025 Stormwater Sewer Surcharge rates for residential customers are recommended as follows:

Residential Customer Rates – Stormwater		
Stormwater Rates	2024 Current Monthly Rates Note A	2025 Proposed Monthly Rates
Tier 1	N/A	\$22.50
Tier 2	N/A	\$28.17
Tier 3	N/A	\$33.83

Note A: Prior to 2025 Stormwater rate was included as part of the Wastewater Sewer Surcharge Rates

With the introduction of a separate wastewater and stormwater fee the 2025 wastewater rates have **decreased** significantly compared to 2024 rates. In order to obtain an accurate comparison, both Wastewater and Stormwater rates will need to be considered together. The annual impact of these rate changes to the average residential consumer shown by Stormwater Residential Tier, can be found in Appendix E.

Under the proposed rates, consumers using the same quantity of water in 2025 as in 2024 will likely see a decrease on their total sewer cost on their Enwin bills regardless of which tier the resident is in.

2) Multi-Residential/Non-Residential/Other customers

Given that consumption and impervious area for Multi-Residential/Non-Residential/Other customers varies significantly, rates for the average Multi-Residential/Non-Residential/Other customer is shown below using a typical 1” diameter water service.

Typical Commercial Customer Rates		
Sewer Rates	2024 Current Rates Note A	2025 Proposed Rates
Fixed Sewer Charge	\$194.85 for typical 1” service	\$116.57 for typical 1” service
Variable Sewer Charge	\$3.15 per cubic metre of water used (reduced for excess summer consumption)	\$1.66 per cubic metre of water used (reduced for excess summer consumption)
Stormwater Fee	N/A	\$1.26 per square meter of impervious area

Note A: Prior to 2025 Stormwater rate was included as part of the Wastewater Sewer Surcharge Rates

The estimated fee impact on non-residential (i.e. commercial, industrial, institutional) and multi-residential property owners will vary depending on property type, water usage, and amount of impervious area. It is expected that many small and medium sized businesses will see a reduction to their combined stormwater and wastewater fees in 2025. However, those having large impervious areas such as very large facilities and/or parking lots can expect to see an increase. Properties that currently do not have a water service and use no water, will have a new fee as a result of this new method of calculating the stormwater fee. This aligns with the principle of proportionally distributing the cost under the new model.

Property Owner Type	Water Usage	Fee Impact (estimate)*
Manufacturing	High	Decrease
Manufacturing	Low	Increase
Retail with parking lot	Low	Increase
Institutional	Medium/High	Decrease
Parking Lot	None	New fee
Logistics / Storage	Low	Increase

** - based on average property type, and subject to actual water usage and impervious area. Examples shown in table may not be reflective of all these property types.*

City facilitates are also subject to the sewer surcharge (wastewater + stormwater). Under the new model commencing in January 2025, the total combined sewer surcharge for City owned properties is expected to increase significantly due to large impervious areas such as parking lots. Administration is working to identify the impact

on each department and determine, where appropriate, any opportunities for recovery of the fee through allocations to tenants leasing space on City-owned properties and/or increases in user fees. This information will be brought forward as part of the current and future budget processes.

Comparison of Charges

The chart below provides a comparison of combined sewer, water and property tax costs. It is important to highlight that a higher rate is not indicative of inefficiencies. The funds are used to fund projects aimed at maintaining and updating our stormwater and wastewater management assets. As an older municipality with aging infrastructure, the portion of Windsor’s Stormwater and Wastewater surcharge revenues that fund capital projects ranks as one of the highest in the province. The tables in Appendix F provide a comparison of the proposed wastewater and stormwater rates to the projected provincial averages. The following factors contribute to Windsor’s capital expenditures compared to other municipalities:

- Flat local topography requires additional pumping stations
- Clay underlying soils throughout much of Windsor do not allow for effective infiltration of rainwater into the ground during and after storm events
- SMP priority projects being implemented to address recent flooding events
- Rehabilitation and separation of old combined, and over/under sewers that newer municipalities do not have in their sewer systems

In addition to the above, some municipalities may use revenues collected through property taxes to pay for their sewer infrastructure and therefore, their sewer surcharge fees may not be entirely reflective of the costs to operate and maintain the municipalities’ respective sewer infrastructure systems.

Further, based on the estimated 2025 rates, when comparing the combined costs of property taxes, water, and the sewer surcharge, the average Windsor property owner is anticipated to pay **less** in total charges (\$4,835) than the provincial average (\$6,686). This comparison is outlined in the chart below.

Combined Water, Sewer and Property Tax Costs (Residential – Estimated 2025)			
	Windsor	Provincial Average**	Windsor Over / (Below) Average
Water**	\$621	\$704	(\$84)
Wastewater (200m3 annually)	\$556	\$752	(\$196)
Stormwater (Tier 2)	\$338	\$127	\$211
Taxes*,**	\$3,320	\$5,102	(\$1,782)
Total	\$4,835	\$6,686	(\$1,851)

Source: 2023 BMA Municipal Study

* Taxes shown are for a single-detached bungalow for municipalities with a population

of greater than 100,000.
**using 5% for inflation over 2 years

All of this information was used to inform the development of the Stormwater and Wastewater Sewer Surcharge rates.

Risk Analysis:

There are several risks to be considered in developing the 2025 Wastewater and Stormwater Sewer Surcharge rates, some of which are summarized below:

Operating Expenditure Risks – The projections put forward are based on current estimates of the required expenditures relative to Pollution Control operations, sewer maintenance and repair, etc. These estimates are expected to be reflective of final actual costs, however there is a moderate risk that fluctuations in expenditures as compared to budget may occur. Mitigation for this risk comes from quarterly variance monitoring and the Stormwater and Wastewater reserve funds.

Water Consumption Risk – Reduced consumption of water is an ongoing positive trend which unfortunately places pressure on Wastewater revenues. Annual water consumption is an estimate and is subject to considerable variability. An additional variable has been introduced in recent years with the COVID-19 pandemic, as residential water usage has increased, while commercial volumes have decreased. While the usage patterns are expected to return to normal as we recover from the pandemic imposed restrictions, it is too early to determine if any of these usage shifts, due to employees continuing to work from home, will remain longer term. As such, it should be considered a moderate risk with respect to the model. Mitigation for this risk comes from regular variance monitoring, with variances being mitigated with funding from the Wastewater Reserve Fund. This risk is further mitigated by the establishment of the Stormwater Financing Fee that is based on impervious area, which is much less variable when compared to water consumption.

Capital Project Risks – The capital budget reflects the best estimate of the capital costs required to complete the various projects under the capital plan. As with all budgets, these represent Administration's best estimates of the expected capital costs; however, there is a moderate risk that costs may increase due to unforeseen issues that could not have been reasonably predicted. While this risk has been amplified in recent years as inflationary pressures not seen in decades have impacted construction prices, recent tenders appear to be stabilizing and slowly returning to more historical CPI levels. Recommendations to mitigate this risk include increasing the annual capital funding for sewer projects and increasing the annual Stormwater and Wastewater Sewer Surcharge Reserve transfer. In addition, ongoing review of capital project costs is managed through the Capital Variance report and annual budget process.

Risks from Possible Reduction in Capital Program – Council may consider reducing the rates by reducing the Capital Budget component of the Stormwater and Wastewater programs. Such reductions must consider:

- existing and future grant matching agreements,
- significant negative impacts on the condition of existing infrastructure,

- elimination or deferral of projects previously approved in principle by Council,
- inability to improve basement flooding resiliency and the associated financial and social impacts, and
- resulting reduction in the pace of eliminating combined or leaking sewers.

Mitigation for this risk comes from the development of the SMP and the Asset Management Plan that will, on an ongoing basis, assist with the prioritization of capital projects.

Risks related to the Pollution Control Reserve – The Pollution Control Reserve funds the capital program for wastewater treatment plants and pumping stations. Funding requirements continue to increase due to aging infrastructure and higher inflation rates, placing additional pressure on the reserve. Future funding requirements continue to be assessed to ensure adequate funds are available.

Risks from Depleting the Stormwater and Wastewater Sewer Surcharge Reserves – Options may be considered to reduce / deplete the stormwater and wastewater sewer surcharge reserves to maintain, or even reduce, both rates. This would leave the Corporation without adequate dedicated reserves to fund any shortfalls. This is especially risky given the historical trend of declining revenues due to decreasing water consumption on the wastewater side. As well, this would compromise the Corporation's ability to fund the City's share of projects funded by federal/provincial grants that are announced periodically for sewer purposes. It is important to note that \$3.5M from the Sewer Surcharge Reserve was used in 2017 to help fund the Basement Flooding Prevention Subsidy Program. This would not have been possible without an appropriate reserve fund. While considered a moderate risk, mitigation comes from the development of a five-year forecast to anticipate future pressures. The current balance in the Sewer Surcharge Reserve (F153) as of September 20, 2024 is a surplus of \$10 million.

Risks related to High Uptake of Stormwater Fee Credit Policy – With some properties seeing a significant increase in their fee, there may be a high uptake on the credit program in the first year. While Administration has budgeted for a credit uptake reflective of what other municipalities have seen, actual participation levels could result in reduced revenues compared to what were budgeted. It must be noted that while the Credit Policy is a mechanism to be used by all non-residential and multi-residential property owners to reduce their stormwater fee, the resulting reduction in revenue stream must then be distributed to all other eligible property owners.

Risks related to Impervious Area Changes – Since the stormwater fee is based on IA, it is possible that the construction or/and demolition of buildings and/or hard surfaces will vary throughout the year impacting IA values and therefore the annual rates which will apply. While not all IA changes are able to be tracked contemporaneously through permits and formal processes, Administration will be utilizing aerial imaging each year to ensure data is current and accurate mitigating the risk of material fluctuations. An appeals process is also available to allow property owners the ability to dispute and review their IA assessment. As indicated in the discussion section, changes in IA as it relates to new construction will be picked up as part of the data analysis used in setting annual rates. The billings associated with new construction will be tied to active use of the property (i.e. constructions completion and/or date of occupancy)

Climate Change Risks

Climate Change Mitigation:

Analysis of historic emissions from wastewater facilities have indicated that emissions per litre of wastewater treatment have remained relatively consistent at approximately 0.02 Tonnes CO₂/Megalitre. However, overall emissions have fluctuated since 2014 levels due to varying volumes received at the wastewater treatment plants due to the quantity of stormwater/ground water inflow into the system. Higher wastewater volumes result in increases to treatment costs in part due to increased energy requirements to move higher volumes of water. Actions identified to mitigate risks associated with Climate Change Adaptation will have a co-benefit of reducing overall emissions from the reduction of stormwater and river water received at the wastewater treatment plants. There will be no notable impacts to the City's greenhouse gas inventories or mitigation actions as a result of implementing the Stormwater financing program.

Climate Change Adaptation:

Future climate change projections for Windsor predict an increase in annual rainfall, with more rain falling during most seasons with the exception of summer where a long-term decrease is predicted. The recent modelling of the region's rainfall intensity, duration and frequency (IDF) curves also indicates increases in storm intensities over the long-term. Annual precipitation has a direct impact on treatment costs. As well, the severity of the storms may also increase the risk that additional flooding may occur in our area.

Mitigation for this risk comes from the establishment of a budget that is based on historical averages and trends and monitoring through the quarterly variance reporting. In addition, there is the Sewer Surcharge reserve fund, if necessary. It should also be noted that as the City further implements the recommendations of the SMP, less stormwater will be directed to the treatment plants for processing, which is expected to reduce treatment costs. Implementation of the SMP is a key initiative of the City's Climate Change Adaptation Plan and its objective to Strengthen Infrastructure Resiliency.

The City's Climate Change Adaptation Plan, Action 7.2, recommends that the City explore options to implement stormwater financing mechanisms including effectively communicating and educating the public of any stormwater financing implementation decisions. As noted above, stormwater financing is one method to encourage property owners to minimize impermeable surfaces allowing for stormwater to infiltrate where it falls, reducing flow into the City's sewer system. Understanding that Windsor's climate change projections show increasing annual rainfall amounts, managing stormwater where it falls will add resiliency of the current system.

Financial Matters:

As indicated in the Discussion section, the purpose of this report is to seek City Council's approval of the 2025 Wastewater and Stormwater rates. Approval is necessary so as to be able to incorporate the rates in the billing cycles effective January 1, 2025.

In order to determine the rates, Administration was required to develop budget estimates. Information as to the estimates are provided within the Financial Matters section below. Further details on the budgets will be provided as part of the 2025 Budget approval process.

Operating Expenditures

The City makes improvements and repairs annually to the complex system of underground pipes, sewers, municipal drains, ditches, stormwater management facilities (ponds) and catch basins. This requires an operating budget to not only maintain the operation of the wastewater treatment plants and pumping stations, but also for the routine maintenance of sewer and drainage systems on an ongoing basis. These items are funded through a mixture of the Stormwater and Wastewater Budgets.

Capital Expenditures

Prior to 2019, the sewer surcharge contributed \$21.6M annually to fund sewer related projects in the capital budget (compared to approximately \$5M in the early 2000s). As of the 2024 approved Sewer Surcharge Budget, \$45.3M is contributed annually to fund sewer related projects in the capital budget, which now include implementing recommendations of the SMP. This annual contribution is required to be split between funding Stormwater related capital projects and Wastewater related capital projects. Using the 2024 Approved 10-Year Capital Budget, it was determined that of the sewer related projects in the budget approximately 65% were Stormwater and 35% were wastewater.

2025 Stormwater and Wastewater Sewer Surcharge Budget Development

The 2024 Approved Budget for Sewer Surcharge was split into Stormwater and Wastewater budget components as shown in the chart below. These splits form the base budget for the 2025 Stormwater and Wastewater.

Sewer Surcharge-Funded Expenditures			
	2024	2024	2024
	Approved Budget*	Stormwater Budget	Wastewater Budget
Operating	\$ 41,918,361	\$ 12,343,706	\$ 29,574,655
Contribution to the Pollution Control Reserve Fund	\$ 11,067,745	\$ 1,030,696	\$ 10,037,049
Contribution to the Sewer Surcharge Reserve Fund (F153)	\$ 6,500,000	\$ 3,250,000	\$ 3,250,000
Capital	\$ 45,337,751	\$ 29,469,538	\$ 15,868,213
Total Operating & Capital	\$ 104,823,857	\$ 46,093,940	\$ 58,729,917

*The 2024 Approved Budget has been adjusted to reflect post-budget administrative balancing adjustments.

To determine the rates for 2025, Administration has included an increase of \$6,693,960 for Stormwater and \$3,962,971 for Wastewater budgets as shown in the tables below. These increases support enhanced levels of service as outlined in the discussion section. Specific details of these increases will be brought forward to Council as part of the 2025 budget process.

Stormwater Sewer Surcharge-Funded Expenditures				
	2024	2025 Recommended	Change	Change
	Stormwater Budget	Stormwater Budget	(\$)	(%)
2024 Base Budget	\$ 46,093,940	\$ 46,093,940		
2025 Proposed Increase		\$ 6,693,960		
Total Operating & Capital	\$ 46,093,940	\$ 52,787,900	\$ 6,693,960	14.52%

Wastewater Sewer Surcharge-Funded Expenditures				
	2024	2025 Recommended	Change	Change
	Wastewater Budget	Wastewater Budget	(\$)	(%)
2024 Base Budget	\$ 58,729,917	\$ 58,729,917		
2025 Proposed Increase		\$ 3,962,921		
Total Operating & Capital	\$ 58,729,917	\$ 62,692,838	\$ 3,962,921	6.75%

Stormwater and Wastewater Sewer Surcharge Reserves

As the 2024 Approved Budget for Sewer Surcharge was split into a Stormwater and Wastewater budget components, some of the existing dollars in the Wastewater Sewer Surcharge Reserve (F153) should also be moved to the newly created Stormwater Sewer Surcharge Reserve (F234). Administration recommends that 44% of the balance

in the Sewer Surcharge Reserve (F153) as of December 31, 2024 be transferred to the Stormwater Sewer Surcharge Reserve (F234) to fund balances for initial setup as well as any other pressures or opportunities that may arise for Stormwater items, such as future grant matching agreements.

During the transition of funding to the stormwater financing program, it is expected that there may be some years where the Wastewater Reserve or Stormwater Reserve may fluctuate. This is due to actual expenditures being different than historical averages that were used to allocate the sewer surcharge budgeted splits. Administration is recommending that the City Treasurer be authorized to process transfers of funds between the Wastewater Reserve (F153) and the Stormwater Reserve (F234) within the fiscal year, in order to ensure that the balances in each reserve remain balanced.

Additionally, some capital projects that were previously approved by Council for pre-commitments from the Wastewater Sewer Surcharge Reserve (F153) should be funded through the newly created Stormwater Sewer Surcharge Reserve (F234) beginning in 2025. These capital projects have either fully or have components of Stormwater works and therefore the funding should be coming from the related funding sources. Appendix D outlines the projects and amounts that are recommended to have the pre-commitments be transferred from Wastewater Sewer Surcharge Reserve (F153) to be funded from the Stormwater Sewer Surcharge Reserve (F234).

Consultations:

Engineering
Asset Planning
Pollution Control
Public Works Operations
Economic Development
Legal
Windsor Utilities Commission
ENWIN Utilities Ltd
WSP Environmental & Infrastructure
Watson & Associates Economists, Ltd.
Stormwater Advisory Group Committee

Conclusion:

In order to implement the new Stormwater financing program, City Council approval of the rates is required at this time. Property owners will begin to see the new charges on their Enwin bills effective January 1, 2025. Following approval of the rates, Administration will finalize the components of each of the respective budgets which will be brought forward as part of the 2025 Budget approval process.

Planning Act Matters:

N/A

Approvals:

Name	Title
Carrie McCrindle	Financial Planning Administrator
Marc Di Domenico	Project Administrator
Mark Spizzirri	Manager of Performance Measurement & Business Case Development
Colleen Middaugh	Manager of Corporate Projects
Stacey McGuire	Executive Director Engineering, Deputy City Engineer
Tony Ardovini	Deputy Treasurer, Financial Planning
Wira Vendrasco	City Solicitor
David Simpson	Commissioner, Infrastructure Services
Janice Guthrie	Commissioner, Finance & City Treasurer
Joe Mancina	Chief Administrative Officer

Notifications:

Name	Email
Elizabeth Treadway, Senior Vice President, WSP	elizabeth.treadway@wsp.com
David Bulova, Project Manager/Senior Environmental Planner, WSP	david.bulova@wsp.com
Peter Simcisko, Managing Partner, Watson & Associates Economists Ltd.	simcisko@watsonecon.ca
Jeff Predote, Manager, Customer Care, ENWIN Utilities Ltd	jpredote@enwin.com
Chris Routliffe, Manager, Billing, ENWIN Utilities Ltd	croutliffe@enwin.com
SAG Project Notification List	(List provided to Clerks)

Appendices:

- 1 Appendix A - 2025 Fixed Sewer Surcharge Rates (1 page)
- 2 Appendix B - Windsor Stormwater Fee Credit Program Manual (44 pages)
- 3 Appendix C - Stormwater Financing Definitions and Policies (4 pages)
- 4 Appendix D - Capital Pre-commitment Funding Changes (1 page)
- 5 Appendix E - Average Monthly Residential Total Sewer Cost by Tier (1 page)
- 6 Appendix F - Comparison of Wastewater and Stormwater Rates to Projected Provincial Averages (1 page)
- 7 Appendix G - Stormwater Fee Municipal Comparators (4 pages)

Appendix A: 2025 Fixed Wastewater Rates

Residential Accounts

Stand-Alone Fixed Wastewater Rate: \$12.89

Commercial Accounts

Meter Size		Stand-Alone Fixed Wastewater Rate
Less than 1"	Less than 25mm	\$ 12.89
1"	25mm	\$ 116.57
1 1/2"	40mm	\$ 273.07
2"	51mm	\$ 455.84
3"	75mm	\$ 819.25
4"	100mm	\$ 1,450.72
6"	150mm	\$ 2,648.92
8"	200mm	\$ 4,413.61
10"	250mm	\$ 7,270.84
12"	300mm	\$ 10,470.00

City of Windsor

STORMWATER FEE CREDIT PROGRAM MANUAL



October 8, 2024





STORMWATER FEE CREDIT PROGRAM MANUAL

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Appendices

Appendix A – Stormwater Control Credit Application Form

Appendix B – Direct Discharge Credit Application Form

Appendix C – Engineering Certification Template

Appendix D – Maintenance Commitment Template

Appendix E – Maintenance Verification Form

Appendix F – Credit Calculation Examples

FREQUENTLY ASKED QUESTIONS

<p>Is my property eligible for credit?</p>	<ul style="list-style-type: none"> • Eligible properties include multi-family residential (three or more residential units, including condominiums) and non-residential properties.
<p>What do I need to do for my property to receive credit?</p>	<ul style="list-style-type: none"> • Structural Control Credit. Credit is granted for the installation, operation, and maintenance of physical Stormwater Management Structures that control and/or treat runoff from impervious (hard) area on your property. The structures must control and/or treat runoff beyond that required by regulatory requirements. • Direct Discharge Credit. Credit is granted for the installation, operation, and maintenance of Stormwater Conveyance Infrastructure that captures runoff from impervious area on your property and discharges it directly to Detroit River or Lake St. Clair. The stormwater may not, at any point, enter the City's municipal stormwater management system.
<p>How much credit can I get?</p>	<ul style="list-style-type: none"> • The maximum credit is 50% of your stormwater fee. • The amount of credit is based on how well the practices on your property (defined in Section 1) meet the performance criteria in Table 1 or Table 2 of this manual.
<p>Will I automatically get credit if I meet the criteria?</p>	<ul style="list-style-type: none"> • No, a property owner must apply for credit and the City must approve the credit.
<p>How do I apply?</p>	<ul style="list-style-type: none"> • An application form is in the appendix and available online. • A Professional Engineer (PEng) must verify that all practices meet performance criteria and are functioning as designed. • The City reserves the right to inspect your practices as a condition of receiving credit.
<p>What are the long-term responsibilities?</p>	<ul style="list-style-type: none"> • You will need to commit to ongoing maintenance of the on-site Stormwater Management Structures, Stormwater Conveyance Infrastructure, and/or property grading to receive credit. • This commitment will attest to the level and frequency of maintenance and reporting requirements to the City.
<p>When does the credit go into effect?</p>	<ul style="list-style-type: none"> • Credit goes into effect once the application is approved and is applied to the next billing cycle. • An exception is made for conditional pre-approvals before January 1, 2025. See the manual for details.
<p>Who do I contact for questions?</p>	<ul style="list-style-type: none"> • Contact the Right-of-Way Department at (519) 255-6257 or rowprograms@citywindsor.ca.

DRAFT STORMWATER FEE CREDIT PROGRAM MANUAL

1. INTRODUCTION

The City of Windsor (the City) has implemented a stormwater fee to provide a stable, adequate, and equitable source of revenue to rehabilitate and improve the City’s aging stormwater management infrastructure. **This manual provides guidance for how eligible property owners can reduce their stormwater fee through participation in the City’s Stormwater Fee Credit Program (hereinafter “the Credit Program”).**

Stormwater management is key to protecting public safety and health by reducing flood risk, controlling erosion, and maintaining water quality. The City’s stormwater program includes planning, designing, constructing, operating, and maintaining a wide range of stormwater management structures. The program also includes system mapping, regulatory compliance, spill and dumping response, street sweeping, and public education and outreach.

The Credit Program recognizes that certain private on-site stormwater management investments and practices can enhance public safety and reduce the cost of the City’s stormwater program over the long-term. The amount of credit reflects the priorities of the City’s stormwater management program.



Windsor’s Stormwater Infrastructure

- Over 1,025 kilometres of pipe
- Over 15,300 manholes
- Over 22,615 catch basins
- 29 stormwater management ponds
- 39 pump stations
- Approximately 124 kilometres of municipal drains
- Approximately 254 kilometres of roadside ditches

The City’s Credit Program was developed with the assistance of a Stormwater Advisory Group and is based on the following guiding principles:

- There must be a rational relationship between the credit amount and the benefit to the publicly funded stormwater management program.
- Credit should be targeted to meet the most pressing needs of the City.
- Stormwater management benefits must be verifiable.
- The program should not place an unreasonable administrative burden on City staff.
- The amount of credit should not diminish the purpose of the charge, which is to adequately fund the public stormwater management program/system.

Participation in the Credit Program is by application only. Credit will not be granted without an application and approval by the City.

Types of Credit

There are two types of credit available to City of Windsor property owners through the Credit Program. A property may be eligible for one or a combination of the credit types below but **in no case shall the total credit amount for a property exceed 50% of the property’s stormwater fee.**



Structural Control Credit

Credit is granted for the installation, operation, and maintenance of physical Stormwater Management Structures (Section 2) that control and/or treat runoff from impervious (hard) area on your property. The structures must control and/or treat runoff beyond that required by regulatory requirements.



Direct Discharge Credit

Credit is granted for the installation, operation, and maintenance of Stormwater Conveyance Infrastructure (Section 3) that captures runoff from impervious area on your property and discharges it directly to Detroit River or Lake St. Clair. The stormwater may not, at any point, enter the City’s municipal stormwater management system.

The term “practice” is used to reference creditable Stormwater Management Structures and Stormwater Conveyance Infrastructure.

The City reserves the right to modify the Credit Program or to eliminate the Credit Program altogether. The City will honor credit, subject to the Credit Program at the time of approval, to a property owner for a minimum of twenty (20) years provided that the practice continues to be operated and maintained as designed.

2. STRUCTURAL CONTROL CREDIT

Eligible Properties

All multi-family residential (three or more residential units, including condominiums) and non-residential properties (for example, parking lots, mixed-use, institutional, industrial, and commercial properties) are eligible to participate in the Structural Control Credit Program if they meet the Technical Criteria below, except for any portion of a property that is exempt from the stormwater fee.

Single-family residential properties, which pay a flat fee based on three tiers of density, are not eligible for the Credit Program.

Technical Criteria

A **Stormwater Management Structure** (often referred to as a structural stormwater best management practice “BMP”) is defined as a permanent physical device or practice that is installed to control stormwater runoff. Controls include the capture, management, and/or treatment of stormwater to reduce flooding, prevent erosion, and/or improve water quality.

The following Technical Criteria must be met to receive credit:

- 1** The Stormwater Management Structure must exceed minimum regulatory requirements in place at the time of original installation; and,
- 2** The Stormwater Management Structure must be designed in accordance with a City-recognized standard such as the Ministry of Environment, Conservation, and Parks (MECP) Stormwater Management Planning and Design Manual and Windsor/Essex Region Stormwater Manual; and,
- 3** The Stormwater Management Structure must be fully maintained and operated by the property owner. Structures that have been assumed by the City for maintenance are not eligible for credit.

The following are common Stormwater Management Structures that may be eligible for the Structural Control Credit. This is not an exhaustive list of the types of Stormwater Management Structures that will be accepted.



Common Stormwater Structures



Urban Filter Strip



Tree Box Filter



Oil/Grit Separator



Cistern/Greywater



Underground Stormwater Detention System

Additional manufacturer information and/or case studies may be requested in support of new or emerging technologies and the City may require a trial or monitoring program to prove a technology's effectiveness at storing, infiltrating, or treating runoff. The City of Windsor reserves the right to accept or reject any Stormwater Management Structure type at its sole discretion.

Performance Criteria and Credit Amount

The credit amount is based on how well Stormwater Management Structures on a property achieve the performance criteria in Table 1. The level of control required to achieve credit depends on whether the project controls stormwater runoff from existing impervious (hard) area or controls stormwater runoff from new or expanded impervious area associated with a new development/site expansion:

- **Voluntary Control of Existing Impervious Surface:** No new impervious area is proposed. The property owner controls stormwater runoff from existing impervious surfaces above requirements at the time of initial development (structures that have already been installed) or above existing conditions (new structures).
- **New Development/Site Expansion:** New impervious area is created as part of new development or a site expansion. Control is required by regulation, but the property owner voluntarily enhances control above local minimum standards.

The maximum available credit summed across all categories cannot exceed 50%.

Credit is not available for controlling off-site impervious area for which the property is not assessed a stormwater fee.

Table 1 – Structural Control Credit Schedule

Category	Voluntary Control of Existing Impervious Surface	New Development/Site Expansion	Total Credit (50% Maximum)	Total of no more than 50%
Peak Flow Reduction	Percentage reduction of 100-year peak flow from the contributing impervious area to pre-development conditions.	Allowable peak flow for the site reduced by 10% to 40% during the 100-year and Climate Change 150 mm events.	Up to 40%	
Runoff Volume Reduction	Percentage reduction of runoff volume from the contributing impervious area through capture of the first 0.015 metre (m) to 0.03 m of rainfall during a single rain event.	Percentage of capture for the first 0.03 m to 0.05 m of rainfall during a single rain event for the site.	Up to 40%	
Water Quality Treatment	Improve water quality controls (or implement new controls where none exist) to an enhanced level of treatment (80% Total Suspended Solids (TSS) removal).	Design water quality controls for the site to an enhanced level of treatment (80% TSS removal); or, exceed the minimum Regional SWM Standard at the time of design for new development or site expansion areas where no quality control currently exists.	Up to 10%	

*Note: **Peak Flow Reduction Category:** Voluntary Control of Existing Impervious Surfaces to consult with the City at the pre-consultation stage to confirm the storm event target to be used for pre-development peak flows.*

Detailed Evaluation Criteria

The following calculations are used to determine the credit amount depending on whether the site currently has Stormwater Management Structures in place to control existing impervious area or new impervious area as part of a new development/site expansion. Examples are shown in the appendix.

Peak Flow Reduction – Voluntary Control of Existing Impervious Surface

The amount of credit, up to 40%, is based on how well the 100-year post-development flow from impervious areas is controlled compared to the estimated pre-development condition flows based on the target control storm event approved by the City. A runoff co-efficient of 0.25 (or an impervious area equal to 0%) is used to establish pre-development conditions. Calculations should reflect only the impervious area controlled by stormwater structures.

- Existing = Existing flow from impervious area in L/s (Litres per second)
 - To account for an existing Stormwater Management Structure that controls stormwater beyond minimum requirements at the time of installation, increase flow by that amount (e.g., if the calculated existing flow is 100 L/s but would have been 110 L/s without control beyond minimum requirements, then use 110 L/s for the calculation)
- Pre-development = Flow from impervious area using 0.25 runoff co-efficient in L/s
- Proposed Voluntary = Flow from impervious area based on new Stormwater Management Structure or new enhancement to existing Stormwater Management Structure in L/s

$$\frac{\text{existing} - \text{proposed voluntary}}{\text{existing} - \text{predevelopment}} * 40\% = \% \text{ credit}$$

The percent of credit is applied to the stormwater fee generated by the impervious area controlled by Stormwater Management Structures.

Peak Flow Reduction – New Development/Site Expansion

The amount of credit, up to 40%, is based on reducing the allowable peak flow for the entire site by between 10% and 40% during the 100-year and Climate Change 150 mm events, where the credit is calculated as the average reduction value between the two events. The site is defined as the geographic area required to meet the City’s stormwater management requirements at the time of development/expansion. Credit is based on the reduction amount, with 10% credit for a reduction of 10% up to 40% credit for a reduction of 40%. Calculations apply to all impervious areas on the site.

- Percent Reduction = Allowable peak flow reduction percentage

$$\text{percent reduction (max 40, min 10)} = \% \text{ credit}$$

The percent credit is applied to the stormwater fee generated by the site.

Runoff Volume Reduction – Voluntary Control of Existing Impervious Surface

The amount of credit, up to 40%, is based on how much volume of stormwater runoff from impervious areas can be retained or re-used on the site at the onset of a storm event. Credit is scaled depending on the reduction amount. No credit is provided for less than a 0.015 m reduction of volume falling over the area from any single storm event. Full credit is provided for a 0.03 m reduction or greater of volume over the area. The property owner may take credit for existing stormwater detention or volumetric re-use controls that go beyond minimum regulatory requirements. Calculations should reflect only the impervious areas where volumetric controls are proposed.

$$\text{rainfall (m)} * \text{impervious area (m}^2\text{)} = \text{volume reduction (m}^3\text{)}$$

- Existing = Existing runoff reduced (m³) from impervious area beyond the minimum requirements based on the proposed mm rainfall target.
 - For example, if existing initial volume runoff reduced from the site is during the first 0.01 metre (m) of a storm event, however it would have been 0.005 m without detention volume controls beyond the minimum requirements, then use 0.005 m for the calculation.
- Proposed Voluntary = Proposed runoff reduced (m³) from impervious area by new detention or re-use systems, or an enhancement to the existing system in mm.

$$\frac{(\text{existing m}^3 + \text{proposed voluntary m}^3) - \text{min volume reduction m}^3}{\text{max volume reduction m}^3 - \text{min volume reduction m}^3} * 40\% = \% \text{ credit}$$

Note: The applicant must also provide accompanying calculations of existing and proposed runoff volumes (m³) from the impervious area based on the rainfall target and the expected reduction off the site. The above equation is to be used as a general summary of runoff reduction for credit review.

The percent of credit is applied to the stormwater fee generated by the impervious area controlled by Stormwater Management Structures.

Runoff Volume Reduction – New Development/Site Expansion

The amount of credit, up to 40%, is based on how much volume of stormwater runoff from the entire site can be retained or re-used at the onset of a storm event. The site is defined as the geographic area required to meet the City’s stormwater management requirements at the time of development/expansion. Credit is scaled depending on the reduction amount. No credit is provided for less than a 0.03 m reduction of volume falling over the area from any single storm event. Full credit is provided for a 0.05 m reduction or greater of volume over the area. Calculations apply to all impervious areas on the site.

$$\text{rainfall (m)} * \text{impervious area (m}^2\text{)} = \text{volume reduction (m}^3\text{)}$$

- Proposed = Proposed runoff reduced (m³) by new stormwater detention or re-use systems from the entire site in mm

$$\frac{(\text{proposed m}^3) - \text{min volume reduction m}^3}{\text{max volume reduction m}^3 - \text{min volume reduction m}^3} * 40\% = \% \text{ credit}$$

Note: The applicant must also provide accompanying calculations of existing and proposed runoff volumes (m^3) from the impervious area based on the rainfall target and the expected reduction off the site. The above equation is to be used as a general summary of runoff reduction for credit review.

The percent credit is applied to the stormwater fee generated by the site.

Water Quality Treatment

The amount of credit, up to 10%, is based on achieving **enhanced water quality levels (80% removal of TSS)** in accordance with the MECP Stormwater Management Planning and Design Manual. There is no credit for a structure that does not achieve enhanced water quality treatment.

For voluntary control of existing impervious surfaces, the 10% credit is applied to the stormwater fee generated by the impervious area controlled by Stormwater Management Structures.

For a new development/site expansion, the entire site must meet the enhanced level of treatment. The 10% credit is applied to all impervious areas on the site.

3. DIRECT DISCHARGE CREDIT

Eligible Properties

Multi-family residential (three or more residential units, including condominiums) and non-residential properties (for example, parking lots, mixed-use, institutional, industrial, and commercial properties) directly adjacent to Detroit River or Lake St. Clair are eligible to participate in the Direct Discharge Credit Program if they meet the Technical Criteria below, except for any portion of a property that is exempt from the stormwater fee.

Technical Criteria

Credit is granted for the installation, operation, and maintenance of private Stormwater Conveyance Infrastructure that captures stormwater from impervious area on a property and discharges it directly to Detroit River or Lake St. Clair. Stormwater Conveyance Infrastructure may include but is not limited to curbs, gutters, swales, ditches, inlets, depressed areas, soakaway pits, infiltration trenches, retaining walls, manholes, storm sewer pipes, and outfalls.

The following Technical Criteria must be met to receive credit*:

- 1** The stormwater runoff from area of the site subject to the Direct Discharge Credit may not, at any point, enter the City of Windsor municipal stormwater management system; and,
- 2** Stormwater Conveyance Infrastructure constructed prior to January 1, 2025 is not required to be designed to a specific standard. However, it must be confirmed to operate and function as originally designed, per engineering drawings and Stormwater Management Report, and may be confirmed through a site inspection by the City; and,
- 3** Stormwater Conveyance Infrastructure constructed on or after January 1, 2025 shall be designed in accordance with a City-recognized standard. Stormwater Conveyance Infrastructure must be able to capture and convey flows from the 5-year design storm event; and,
- 4** The Stormwater Conveyance Infrastructure must be fully maintained and operated by the property owner.

*If the Technical Criteria are not met the property may still be eligible for a Structural Control Credit if it meets the Technical Criteria for a Structural Control Credit.

Performance Criteria and Credit Amount

The property owner must demonstrate that runoff from the impervious area will be conveyed directly to Detroit River or Lake St. Clair and that flow restrictions and storage requirements are not (or would not be) required in general accordance with the specifications in the Windsor/Essex Region Stormwater Manual.

- For properties with an existing City-approved Stormwater Management Report, the Stormwater Management Report may be used to satisfy this requirement. A site servicing drawing/lot grading plan may be requested if it does not form part of the approved Stormwater Management Report.
- For properties without a City-approved Stormwater Management Report, the property owner must submit a Stormwater Management Report to the City's satisfaction. For specific requirements of the Stormwater Management Report visit: <https://www.citywindsor.ca/business/buildersanddevelopers/stormwater-management-requirements>.

Credit is not available for controlling off-site impervious area for which the property is not assessed a stormwater fee.

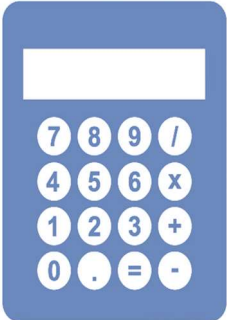
Direct discharge is eligible for a credit of up to 40%. The Direct Discharge Credit may be combined with the Water Quality Treatment category from Section 2. **The maximum available credit summed across all categories cannot exceed 50%.**

Table 2 – Direct Discharge Credit Schedule

Category	Voluntary Control of Existing Impervious Surface	New Development/Site Expansion	Total Credit (50% Maximum)	Total of no more than 50%
Direct Discharge	Demonstrate, through a City-approved Stormwater Management Report, that no flow restrictions or storage is required in accordance with the Windsor Essex Region Stormwater Manual. If a Direct Discharge Credit is given to a portion of land, then that portion of land is not eligible for a Runoff Volume Reduction or Peak Flow Reduction credit.		Up to 40%	
Water Quality Treatment	Improve water quality controls (or implement new controls where none exist) to an enhanced level of treatment (80% TSS removal).	Design water quality controls for the site to an enhanced level of treatment (80% TSS removal); or, exceed the minimum Regional SWM Standard at the time of design for new development or site expansion areas where no quality control currently exists.	Up to 10%	

4. TOTAL CREDIT CALCULATOR

The following calculation is used to determine the total credit given to a property. Separate calculations should be made for properties with multiple practices with different credit amounts.



(A)	Sum of Credit Amounts (Maximum of 50%)	%
(B)	Impervious Area Controlled on the Property	ha
(C)	Total Impervious Area on the Property	ha
(D)	Proportion of Impervious Area Eligible for Credit = (B)/(C)	%
(E)	Percent Reduction on Total Fee = (A)*(D)	%

5. FUNCTION VERIFICATION AND MAINTENANCE

A practice must function as designed to receive credit. This requirement is initially satisfied through certification by a Professional Engineer licensed in the Province of Ontario or other professional designated by the City using the Engineering Certification Template.

The Maintenance Verification Form must be submitted to and approved by the City at least once every five years after initial certification for the property to continue to receive credit.

The property owner must agree to maintain a practice so that it continues to function as designed using the Maintenance Commitment Template. As part of the commitment, the property owner must authorize City staff to enter the premises to verify that the practice is functioning as designed. The City may establish practice-specific maintenance requirements, more frequent submittal of the Maintenance Verification Form, and any other requirements deemed appropriate at the discretion of the City.

The City may require an existing Maintenance Commitment to be updated as a condition for continued credit based on changes in maintenance best practices or the result of an inspection by City staff.

If the property owner fails to abide by the commitment terms, the City will revoke the credit if corrective actions are not taken within the time specified by the City.

6. INITIAL APPLICATION AND APPROVAL PROCESS

Application Form

The City will accept a completed application form by mail or online and will accept supporting documentation in either hard-copy or digital (PDF) format. Applications may be submitted at any time. Application forms are located in the Appendix and at <https://www.citywindsor.ca/business/buildersanddevelopers/stormwater-management-requirements>.

The applicant is solely responsible for costs incurred in the preparation of the required documentation and/or the submission of the credit application. There is no application fee.

Approval Process

Once an application is received by the City, the Right-of-Way Programs Coordinator or designate will conduct an initial screening to ensure completeness. An application is deemed complete when it is verified that all appropriate sections of the application form have been filled out and

the applicant has submitted the relevant supporting documents and reports. The applicant may be contacted to provide missing or additional information or documents.

A complete application will be registered as such, and the applicant notified that a technical review is being undertaken to verify the proposed practices and associated credit calculations. The technical review of an application is expected to be completed within 60 calendar days following determination of completeness, subject to the volume of requests received by the City.

An applicant may be requested to submit additional information to enable review and evaluation of their application. If an applicant fails to provide the necessary information within 60 calendar days of the request to submit, the application will be rejected.

If the review results in a request for additional information or clarification on matters from the applicant, a 30-calendar day period will be added to the review period upon receipt of all information requested.

By submitting the application, the applicant grants the City permission to conduct a site inspection during normal business hours (9:00 a.m. to 5:00 p.m. Monday through Friday) to verify that a practice is in conformance with the documentation provided and is operating in accordance with documented performance criteria. Failure to provide access to the site for inspection will result in the credit application being closed.



Conditional Pre-Approval

Applicants are strongly encouraged to be conditionally pre-approved in advance of the construction of a practice. The credit will not become effective until such time that it has been demonstrated by the applicant, to the satisfaction of the Stormwater Fee Manager, that the practice approved for credit has been installed, meets the objectives of its approved design, and is in service.

Effective Date of Approved Credit

The stormwater fee is billed monthly. Once approved by the City, the credit adjustment will be applied to the next monthly bill, or the following month's bill if the adjustment is approved past the bill print date.

Conditional Pre-Approvals Before January 1, 2025

Credit for a practice that is conditionally pre-approved before January 1, 2025, and where the practice is certified by the City to be in service before January 1, 2026, will be retroactive to the first date of billing. Charges paid by the property owner will be reimbursed by the City.

Stormwater Fees Billed During Application Review

A pending credit application shall not constitute a valid reason for non-payment of the current Stormwater Fee. Any Stormwater Fee bill that is received during the credit application process must be paid in full.

7. CREDIT UPDATE APPLICATION

A credit holder is responsible for notifying the City of any Material Change to a practice for which a credit was approved and is in effect. **Material Change** means actions taken by a property owner, those occurring through lack of action by a property owner, or actions taken by others unrelated to any action of the property owner. Material Change includes, but is not limited to, alteration, improvement, deficiency, or failure.

No later than 90 calendar days after any Material Change has been undertaken or occurs, the holder of a stormwater credit must submit an updated application form (see Appendix and <https://www.citywindsor.ca/business/buildersanddevelopers/stormwater-management-requirements>). Late submission of the application may result in a discontinuance of the credit amount. The City shall have full and absolute discretion to adjust (increase or decrease) the credit amount.

8. COMPLIANCE INSPECTIONS

The City may, during normal business hours (9:00 a.m. to 5:00 p.m. Monday through Friday), enter and inspect any property with an approved credit for purposes of assessing whether a practice is being maintained as to function, is in a state of good repair, and is operating in accordance with the performance criteria established in the credit approval. If the practice fails a City inspection, or the owner fails to submit documents as required in the maintenance agreement, the City will revoke the credit if corrective actions are not taken within the time specified by the City.



APPENDICES

APPENDIX A – STORMWATER CONTROL CREDIT APPLICATION FORM

APPENDIX B – DIRECT DISCHARGE CREDIT APPLICATION FORM

APPENDIX C – ENGINEERING CERTIFICATION TEMPLATE

APPENDIX D – MAINTENANCE COMMITMENT TEMPLATE

APPENDIX E – MAINTENANCE VERIFICATION FORM

APPENDIX F – CREDIT CALCULATION EXAMPLES



APPENDIX A

STORMWATER CONTROL CREDIT APPLICATION FORM

STORMWATER CONTROL CREDIT APPLICATION FORM

Use this form for an initial credit application or to update information about an existing credit.

Section 1. Applicant Information

Applicant Name: Date:

Mailing Address:

Email Address:

Phone Number:

- I am the owner of the property.
- I am the authorized agent for the property (if agent, provide owner information below).

Owner Name:

Mailing Address:

Email Address:

Phone Number:

Section 2. Site Information

Property Address:

Property ID:

Section 3. Credit Application Type

- New Credit – if new credit:
 - Pre-Approval
 - Structure in Service
- Updated Credit

Section 4. Property Eligibility

- I confirm that the property type is multi-family residential or non-residential.

Section 5. Technical Criteria and Project Description

Structure Type:

Structure Maintenance:

- I confirm that the City is not responsible for maintaining the structure.

Type of Project:

City of Windsor Draft Stormwater Fee Credit Program Manual

- Existing impervious surface – existing Stormwater Management Structure provides control above regulatory minimum at time of installation.
- Existing impervious surface – proposed new Stormwater Management Structure.
- New impervious surface – proposed enhancement above current regulatory minimum.

Project Summary:

Impervious Area:

Total On-Site Impervious Area m²

Impervious Area Controlled by Stormwater Management Structure m²

Section 6. Credit Proposal

Credit Type	Maximum Possible	Percent Applied For*
Peak Flow Reduction	40%	<input style="width: 50px;" type="text"/> %
Runoff Volume Reduction	40%	<input style="width: 50px;" type="text"/> %
Water Quality	10%	<input style="width: 50px;" type="text"/> %
Total Maximum	50%	<input style="width: 50px;" type="text"/> %

* Notwithstanding the above, the final credit amount will be determined by the City at its full discretion based on the Credit Program Technical Criteria

Section 7. Supporting Documentation

- Site Plan/Lot Grading Plan
- Engineering Drawings
- Details of Stormwater Management Structure(s)
- Supporting Calculations
- Operation and Maintenance Plan
- Engineering Certification (if the structure is in service)
- Maintenance Commitment

Section 8. Certification and Inspection Agreement

Application Form – Stormwater Control Credit

City of Windsor Draft Stormwater Fee Credit Program Manual

- I am the legal owner, or I am duly authorized to act on behalf of the legal owner.
- I have reviewed the information contained in this application and the supporting documentation, and to the best of my knowledge believe that it is true and accurate.
- If this is an application for pre-approval, I understand that I must submit an Engineering Certification prior to final credit approval.
- I authorize the City or its representative to enter the site for the sole purpose of visually inspecting the Stormwater Management Structure.
- I understand that if I fail to implement the terms of the maintenance commitment, or if an inspection by the City indicates that the Stormwater Management Structure is not properly maintained, that the Stormwater Management Structure will no longer be eligible for credit if deficiencies are not corrected within the timeframe provided by City staff.

Section 9. Professional Engineer Stamp

- The application package must be stamped by a Professional Engineer.

Name/Title:

Signature _____ Date _____

Return this form and supporting documentation to:

City of Windsor
Attn: ROW Programs
350 City Hall Square West, Suite 210
Windsor, ON
N9A 6S1



APPENDIX B

DIRECT DISCHARGE CREDIT APPLICATION FORM

DIRECT DISCHARGE CREDIT APPLICATION FORM

Use this form for an initial credit application or to update information about an existing credit.

Section 1. Applicant Information

Applicant Name: Date:

Mailing Address:

Email Address:

Phone Number:

- I am the owner of the property.
- I am the authorized agent for the property (if agent, provide owner information below).

Owner Name:

Mailing Address:

Email Address:

Phone Number:

Section 2. Site Information

Property Address:

Property ID:

Section 3. Credit Application Type

- New Credit – if new credit:
 - Pre-Approval
 - Existing Direct Discharge
- Updated Credit

Section 4. Property Eligibility

- I confirm that the property type is multi-family residential or non-residential.
- I confirm that the property is directly adjacent to Detroit River or Lake St. Clair.

Section 5. Technical Criteria and Project Description

Technical Criteria:

- I confirm that the City is not responsible for maintaining the practice.

City of Windsor Draft Stormwater Fee Credit Program Manual

- I confirm that stormwater from the impervious area for which credit is claimed does not, at any point, enter the City of Windsor municipal stormwater management system.
- If constructed on or after January 1, 2025, I confirm that the Stormwater Conveyance Infrastructure is constructed in accordance with a City-recognized design standard and is able to capture and convey flows from the 5-year design storm event.
- If constructed prior to January 1, 2025, I confirm that the Stormwater Conveyance Infrastructure is operating and functioning as originally constructed.

Date of Construction:

Performance Criteria:

- Existing City-approved Stormwater Management Report.
- New Stormwater Management Report.

Project Summary:

Impervious Area:

Total On-Site Impervious Area m²
 Impervious Area Controlled by Practice m²

Section 6. Credit Proposal

Credit Type	Maximum Possible	Percent Applied For*
Direct Discharge	40%	<input style="width: 100%; height: 25px;" type="text"/> %
Water Quality	10%	<input style="width: 100%; height: 25px;" type="text"/> %
Total Maximum	50%	<input style="width: 100%; height: 25px;" type="text"/> %

* Notwithstanding the above, the final credit amount will be determined by the City at its full discretion based on the Credit Program Technical Criteria

Section 7. Supporting Documentation

- Stormwater Management Report
- 5-Year Design Storm Conveyance (if applicable)
- Construction Standard (if applicable)

- Detailed Site Drawing (must include, but not limited to the following):
 - Impervious surface area
 - Topographic contours
 - Existing grades
 - Drainage areas
 - Flow patterns
 - Location of private Stormwater Conveyance Infrastructure
- CCTV video, if required
- Engineering Certification (if the practice is in service)
- Maintenance Commitment

Section 8. Certification and Inspection Agreement

- I am the legal owner, or I am duly authorized to act on behalf of the legal owner.
- I have reviewed the information contained in this application and the supporting documentation, and to the best of my knowledge believe that it is true and accurate.
- If this is an application for pre-approval, I understand that I must submit an Engineering Certification prior to final credit approval.
- I authorize the City or its representative to enter the site for the sole purpose of visually inspecting the practice.
- I understand that if I fail to implement the terms of the maintenance commitment, or if an inspection by the City indicates that the structure is not properly maintained, that the practice will no longer be eligible for credit if deficiencies are not corrected within the timeframe provided by City staff.

Section 9. Professional Engineer Stamp

- The application package must be stamped by a Professional Engineer.

Name/Title:

Signature _____ Date _____

Return this form and supporting documentation to:

City of Windsor
Attn: ROW Programs
350 City Hall Square West, Suite 210
Windsor, ON
N9A 6S1



APPENDIX C

ENGINEERING CERTIFICATION TEMPLATE

ENGINEERING CERTIFICATION TEMPLATE

Use this template to certify a new practice or changes to an existing practice. Completion of this certification is required prior to final approval of credit.

Date:

To: City of Windsor
350 City Hall Square West, Suite 210
Windsor, ON
N9A 6S1

Attention: ROW Programs

Subject: Stormwater Practice Certification
[Credit Application Number]
[Address]
[Property ID]
[Structure Type]

This letter confirms that I/we have inspected [stormwater practice] on the above noted property and do hereby certify that all systems have been designed and constructed in accordance with [drawing number _____, dated _____].

I/we further certify that all structure components are completed and operational in accordance with sound engineering practices and principles and are based on guidance from [applicable design and/or standards manual].

Further, I/we hereby confirm that the [practice type] has been implemented into service and is operational as of [date].

Should you have any questions or concerns regarding this letter, please do not hesitate to contact me/this office at [phone number and email].

Sincerely,
[Company Name]

Signature

Printed Name

Professional Engineer Stamp



APPENDIX D

MAINTENANCE COMMITMENT TEMPLATE

MAINTENANCE COMMITMENT TEMPLATE

Use this template to establish general maintenance responsibilities and any additional practice-specific maintenance requirements.

Property Owner:

Property Address:

Property ID:

Mailing Address:

Email Address:

Phone Number:

The property owner commits to the following in consideration of being granted a credit by the City against the stormwater fee charged to the above referenced property:

- The practice will not be altered from the site plan, engineering drawings, or Stormwater Management Structure details referenced in the Stormwater Structure Credit Application Form approved by the City unless the property owner has been given prior written approval by the City.
- The practice will be maintained in good working order in accordance with the operations and maintenance plan, if applicable, referenced in the Stormwater Structure Credit Application Form approved by the City.
- If applicable, the following additional maintenance requirements (reference manual, manufacturer's recommendations, additional City instructions, etc.) will apply to the practice:

- The Maintenance Verification Form in the most recent version of the Stormwater Fee Credit Program Manual must be submitted to the City at least once every five years after initial credit approval.
- If applicable, the following additional maintenance verification requirements (documentation, reporting frequency, sampling, etc.) will apply to the practice:

City of Windsor Draft Stormwater Fee Credit Program Manual

- The City may, during normal business hours (9:00 a.m. to 5:00 p.m. Monday through Friday), enter the property for the sole purpose of assessing whether the practice is being maintained in good working order and that the practice has not been altered from the approved site plan, engineering drawings, or stormwater structure details.
- The City may require a new or updated maintenance commitment as a condition for continued credit based on alterations to the practice, changes in maintenance best practices, or the result of an inspection by the City.
- If the practice fails a City inspection, the owner fails to provide access to the practice for inspection, or the owner fails to submit documents as required in this commitment, the City will revoke the credit if corrective actions are not taken within the time specified by the City.

Name/Title:

Signature _____ Date _____

Return this form to:

City of Windsor
Attn: ROW Programs
350 City Hall Square West, Suite 210
Windsor, ON
N9A 6S1



APPENDIX E

MAINTENANCE VERIFICATION FORM

MAINTENANCE VERIFICATION FORM

This form may be used to verify that a stormwater management practice has been properly maintained and is operating in accordance with original design specifications. Verification is required at least once every five years after initial certification or more frequently at the discretion of the City. Alternative forms specific to the practice may be utilized provided that the form is stamped by a professional engineer.

Property Address:

Property ID:

Structure Type :

General Condition:	Yes	No	N/A
Is the primary outfall pipe/ ditch clear and functioning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are the inflow pipes/ ditches clear and functioning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the water quality pool at the correct height (if present)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are structure components such as control weirs, pipes, etc. working properly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are emergency overflow devices clear and functional (if present)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the structure clear of sediment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the structure clear of trash?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are embankments free of erosion, woody vegetation (unless called for in the design), animal burrows, or signs of deterioration?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is vegetation being managed in a manner appropriate to the facility?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If the structure is a bioretention facility, is the water quality control filter media and/or water quantity soakaway pit in good working condition and clear of debris?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Specific requirements as specified by City:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Specific requirements as specified by manufacturer:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Certification

This certification must be made by a Professional Engineer licensed in the Province of Ontario or other licensed professional recognized by the City, at its sole discretion, to make this certification.

Based on an inspection of the above structure conducted on ,
I certify that the practice is currently operational and functioning as designed.

Attach documentation of the practice inspection, including photographs.


Name:	<input type="text"/>
Qualification	<input type="text"/>
Address of Inspector:	<input type="text"/>
Email:	<input type="text"/>
Phone:	<input type="text"/>

Signature _____ Date _____

Professional Stamp or
Certification Number

Return this form and supporting documentation to:

City of Windsor
Attn: ROW Programs
350 City Hall Square West, Suite 210
Windsor, ON
N9A 6S1



APPENDIX F

CREDIT CALCULATION EXAMPLES

CREDIT CALCULATION EXAMPLES

Example 1 – Installation of Bioretention Facility to Control Existing Impervious Surface

An existing commercial property has total uncontrolled impervious area of 10,000 m². The property owner proposes a new bioretention facility that will treat runoff from 4,000 m² of impervious area.

The existing condition peak flow from the impervious area proposed to be controlled is 370 L/s. Through pre-consultation with the City, the pre-development target storm event was determined to be the 1:25 year event. The pre-development peak flow is calculated to be 100 L/s. Proposed peak flow will be 200 L/s.

The bioretention facility achieves a runoff volume reduction of 0.02 m but only achieves a TSS reduction of 70% (below enhanced). Any volume runoff reduction is contingent of infiltration testing of the underlying soils and type of plant species.

The following shows the credit for each category, the total credit, and the percent reduction on the total stormwater fee for the property.

Peak Flow Reduction - Control of Existing Impervious Surface (Up to 40% Credit)

Existing Flow (L/s)	Proposed Voluntary Flow (L/s)	Pre-Development Flow (L/s)	
370	200	100	

$$\frac{370 \text{ L/s existing} - 200 \text{ L/s proposed voluntary}}{370 \text{ L/s existing} - 100 \text{ L/s predevelopment}} * 40\% = 25\% \text{ credit}$$

Percent of 40% Credit	63%		
Credit Applied	25%		

Runoff Volume Reduction - Control of Existing Impervious Surface (Up to 40% Credit)

Impervious Area Draining to Retrofit (m ²)	4,000	
Existing Rainfall Retention (m)	0	
Additional Rainfall Retention (m)	0.02	
Total Rainfall Retention (m)	0.02	

$$0.02 \text{ m rainfall} * 4,000 \text{ m}^2 \text{ impervious area} = 80 \text{ m}^3 \text{ volume reduction}$$

Total Proposed Volume Reduction (m ³)	Min. Retention for Credit Based on 0.015 m Rainfall (m ³)	Max. Retention for Credit Based on 0.03 m Rainfall (m ³)
80	60	120

$$\frac{80 \text{ m}^3 - \text{min } 60 \text{ m}^3}{\text{max } 120 \text{ m}^3 - \text{min } 60 \text{ m}^3} * 40\% = 13\% \text{ credit}$$

City of Windsor Draft Stormwater Fee Credit Program Manual

Percent of 40% Credit	33%		
Credit Applied	13%		

Water Quality Treatment (Up to 10% Credit)

Proposed Treatment		Minimum Treatment for Credit	
70		80	
Percent of 10% Credit	0%		
Credit Applied	0%		

Credit Summary - Control of Existing Impervious Surface	
Sum of Credits	39%
Sum of Credits (Max 50%)	39%
Impervious Area - Structure (m ²)	4,000
Impervious Area - Property (m ²)	10,000
Proportion Property IA Treated	40%
Percent Reduction on Total Charge	15%

Example 2 – Enhancement of Structures Installed for New Development

A vacant property is being developed for commercial purposes. The total impervious area will be 10,000 m². The property owner proposes to design and install multiple structures that will treat all runoff from the site.

The Climate Change 150 mm event peak flow will be reduced by 10% and the 100-year event peak flow will be reduced by 30%. The allowable peak flow (as determined by the 100-year and Climate Change 150 mm events) will be reduced by an average of 20%.

The structures achieve a runoff volume reduction of 0.04 m and a TSS reduction of 80% (enhanced water quality level).

The following shows the credit for each category, the total credit, and the percent reduction on the total stormwater fee for the property.

Peak Flow Reduction - New Development/Site Expansion (Up to 40% Credit)

Percent Reduction Proposed Above Required		Minimum Reduction for Credit (%)	Maximum Reduction for Credit (%)
20		10	40
Credit Applied	20%		

$$\frac{10\% + 30\%}{2} = 20\% \text{ credit}$$

Runoff Volume Reduction - New Development/Site Expansion (Up to 20% Credit)

Impervious Area of Site (m ²)	10,000	
Additional Rainfall Retention Above Required (m)	0.04	
Total Rainfall Retention (m)	0.04	

0.04 m rainfall * 10,000 m² impervious area = 400 m³ volume reduction

Total Proposed Volume Reduction (m ³)		Min. Retention for Credit Based on 0.03 m Rainfall (m ³)	Max. Retention for Credit Based on 0.05 m Rainfall (m ³)
400		300	500

$$\frac{400 \text{ m}^3 - \text{min } 300 \text{ m}^3}{\text{max } 500 \text{ m}^3 - \text{min } 300 \text{ m}^3} * 40\% = 20\% \text{ credit}$$

Percent of 40% Credit	50%		
Credit Applied	20%		

Water Quality Treatment (Up to 10% Credit)

Proposed Treatment		Minimum Treatment for Credit	
80		80	
Percent of 10% Credit	100%		
Credit Applied	10%		

Credit Summary - New Development/Site Expansion	
Sum of Credits	50%
Sum of Credits (Max 50%)	50%
Impervious Area - Structure (m ²)	10,000
Impervious Area - Property (m ²)	10,000
Proportion Property IA Treated	100%
Percent Reduction on Total Charge	50%

Example 3 – Aesthetic Pond with Existing Peak Flow Reduction

An existing commercial property has total impervious area of 10,000 m².

An existing aesthetic pond, not built for regulatory purposes, drains 4,000 m² of impervious area. Existing peak flow from the impervious area is 370 L/s. However, after analysis, the property owner can demonstrate that peak flow without the pond would be 400 L/s. As a result, the property owner may take credit for the 30 L/s reduction.

The aesthetic pond does not achieve a runoff volume reduction and does not achieve enhanced water quality for TSS.

The following shows the credit for each category, the total credit, and the percent reduction on the total stormwater fee for the property.

Peak Flow Reduction - Control of Existing Impervious Surface (Up to 40% Credit)

Existing Flow (L/s)	Proposed Voluntary Flow (L/s)	Pre-Development Flow (L/s)	
400	370	100	

$$\frac{400 \text{ L/s existing} - 370 \text{ L/s proposed voluntary}}{400 \text{ L/s existing} - 100 \text{ L/s predevelopment}} * 40\% = 4\% \text{ credit}$$

Percent of 40% Credit	10%		
Credit Applied	4%		

Runoff Volume Reduction - Control of Existing Impervious Surface (Up to 40% Credit)

Impervious Area Draining to Retrofit (m ²)	4,000	
Existing Rainfall Retention (m)	0	
Additional Rainfall Retention (m)	0	
Total Rainfall Retention (m)	0	

$$0.00 \text{ m rainfall} * 4,000 \text{ m}^2 \text{ impervious area} = 0 \text{ m}^3 \text{ volume reduction}$$

Total Proposed Volume Reduction (m ³)	Min. Retention for Credit Based on 0.015 m Rainfall (m3)	Max. Retention for Credit Based on 0.03 m Rainfall (m3)
0	60	120

$$\frac{0 \text{ m}^3 - \text{min } 60 \text{ m}^3}{\text{max } 120 \text{ m}^3 - \text{min } 60 \text{ m}^3} * 40\% = 0\% \text{ credit}$$

Percent of 40% Credit	0%		
Credit Applied	0%		

Water Quality Treatment (Up to 10% Credit)

Proposed Treatment		Minimum Treatment for Credit	
0		80	
Percent of 10% Credit	0%		
Credit Applied	0%		

Credit Summary - Control of Existing Impervious Surface

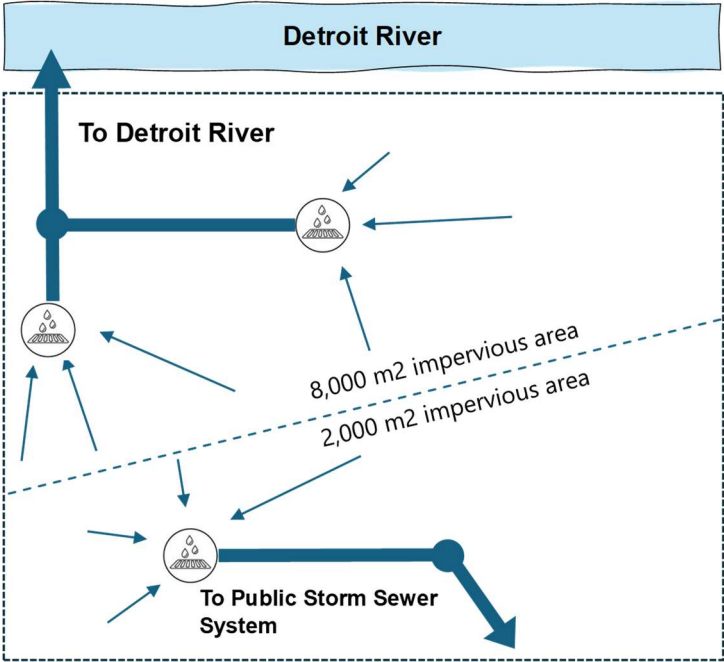
Sum of Credits	4%
Sum of Credits (Max 50%)	4%
Impervious Area - Structure (m ²)	4,000
Impervious Area - Property (m ²)	10,000
Proportion Property IA Treated	40%
Percent Reduction on Total Charge	2%

Example 4 – Direct Discharge to Detroit River

An existing industrial property is directly adjacent to Detroit River. The total impervious area is 10,000 m². However, 8,000 m² of the impervious area drains directly to Detroit River through Stormwater Conveyance Infrastructure that is owned, operated, and maintained by the property owner. The remainder of the property drains to the City’s municipal stormwater management system.

The Stormwater Conveyance Infrastructure was constructed prior to January 1, 2025. No specific design standard is required; however, the infrastructure (inlets, pipes, outfalls, etc.) is in good working condition. The City has confirmed this through a site visit.

The property owner has demonstrated, through a Stormwater Management Report certified by a Professional Engineer, that no flow restrictions or storage would be required if the impervious area was proposed for development under current requirements in the Windsor/Essex Region Stormwater Manual.



No water quality control is provided or proposed.

Credit Summary - Direct Discharge	
Sum of Credits	40%
Sum of Credits (Max 50%)	40%
Impervious Area to Direct Discharge (m ²)	8,000
Impervious Area - Property (m ²)	10,000
Proportion Property IA Treated	80%
Percent Reduction on Total Charge	32%

Appendix C: Stormwater Financing Definitions and Policies

Updated: October 2024

Policies and definitions derived to develop the new stormwater financing funding model.

Property Type Classification: Residential Property

A property that contains residential homes, including:

- single detached homes
- townhomes
- rowhouses
- semi-detached homes
- linked homes

Property Type Classification: Multi-Residential, Non-Residential & Other Property

A property that satisfies either condition:

a) contains three or more residential units, including:

- multi-residential
- condominium

or,

b) contains, or is zoned for, industrial, commercial or institutional uses, including:

- non-residential
- mixed-use properties
- institutional
- industrial
- commercial
- parking lots

Property Owner

The registered owner of property.

Developed Property

A property (Residential or Multi-Residential, Non-Residential & Other) exceeding the Billing Unit Minimum Threshold value for impervious area.

Undeveloped/Vacant Property

A property (Residential or Multi-Residential, Non-Residential & Other) having less than the Billing Unit Minimum Threshold value for impervious area is exempt from the stormwater charge.

Impervious Area

Total area of paved or hard surfaces, disturbed or compacted soil stripped of vegetation and other surfaces on a property which decreases the amount of water that infiltrates into the ground, increasing stormwater runoff. Please refer below to the Impervious Area

Layer Definition and Rationale Table for rationale and qualification of each impervious area layer.

Property Type Designation

Each property is designated an MPAC Property Code based on its classification and use. The Property Code was used as the first criteria to determine the appropriate Property Type designation: Residential; or Multi-Residential, Non-Residential & Other. Parcels were then further reviewed by their zoning designation and ownership type to confirm they were appropriately allocated to the correct Property Type designation for stormwater billing purposes.

Billing Unit

Calculated as the average impervious area for single family detached homes. *Currently, the Billing Unit is 267 square meters.*

Billing Unit Minimum Threshold

Calculated as 10% of the Billing Unit. Properties having Impervious Area value below the Billing Unit Minimum Threshold are not subject to the stormwater charge. *Currently, the Billing Unit Minimum Threshold is less than 27 square meters.*

Residential Tier Fee Structure

Three-tier fee structure was selected as it better balances and proportions property sizes, by impervious area, across the sample size. This balanced distribution across each tier is shown in the table below. A three-tier fee structure was also deemed to be less complex and more efficient to administer.

Item	Tier-1	Tier-2	Tier-3
Percentile (# properties*)	Smallest 25%	Next 50%	Largest 25%
Impervious Area Range	27 - 200 sqm	201 - 325 sqm	326+ sqm
Tier Ratio	0.8	1	1.2
Charge (\$) = Tier Ratio x Billing Unit Fee	0.8 x Billing Unit Fee	1 x Billing Unit Fee	1.2 x Billing Unit Fee

* parcel size by impervious area

Note: Tier Ranges and Tier Ratio subject to change and will be assessed annually

Legal Exemptions

Education Properties

- Section 58 of the Education Act states “a by-law imposing fees and charges passed under those provisions does not apply to a board”. As a result, primary and secondary school boards in Windsor are exempt from the stormwater fee, and include the property owners listed below:
 - **Greater Essex County District School Board** – English public school board
 - **Windsor Essex Catholic District School Board** – English Catholic school board
 - **Conseil Scolaire Catholique Providence** – French Catholic school board
 - **The Conseil Scolaire Viamonde** – French public school board

- The Ontario Ministry also notes “John McGivney Children’s Centre School Authority” as a board located in Windsor (Board Number B80047), and thus the property owner listed below is exempt from the stormwater fee:
 - **John McGivney Children’s Centre**

Impervious Area Layer Definition and Rationale Table

Layer Name	Layer Definition	IA Layer Eligible	Rationale
Accessway	Long paved or gravel driveways	Yes	Paved or hard surface, compacted soil, compacted gravel, per Impervious Area definition
Artificial Turf (stadium)	All artificial turf surfaces used in stadiums or sports fields	Yes	Used in situations where a drainage system exists under the artificial turf and water flows into a stormwater management asset
Artificial Turf (permeable)	All artificial turf surfaces used in residences, parks or non-sports field use	No	Used in situations where a drainage system does not exist under the artificial turf; artificial grass is typically permeable and laid over screening, which allows for water infiltration
Building	All building structures that prevent water from penetrating the ground including houses, buildings, detached garages, workshops, and permanent/semi-permanent structures (gazebos, shed, dog houses, etc)	Yes	Hard surface, per Impervious Area definition
Compacted Ground and Material Stockpiles	All compacted ground such as that used for transportation (parking lot, roads, accessways) and areas covered by material stockpiles	Yes	Ground compacted from vehicle use or prolonged storage of material (aggregate, stone, sand, etc) preventing water from infiltrating the ground beneath the stockpile, per Impervious Area definition
Construction	Properties, or areas on a property, that are under construction and will result in new impervious surfaces, such as those defined in this table	Yes	Surfaces under construction which are impervious surfaces, preventing water from infiltrating into the ground, per Impervious Area definition
Driveway	All asphalt, interlocking brick, concrete or gravel driveways	Yes	Paved or hard compacted surfaces, per Impervious Area definition
Parking Lot (Gravel)	All public, private, commercial, industrial lots that are gravel	Yes	Compacted soil or gravel from vehicle use, per Impervious Area definition
Parking Lot (Paved)	All public, private, commercial, industrial lots that are asphalt, concrete, interlocking brick, etc	Yes	Paved or hard surface, per Impervious Area definition
Patio	Private patios in backyards made up of asphalt, brick, concrete, etc	Yes	Paved or hard surface, per Impervious Area definition; excludes non-compacted gravel surfaces

Pool	Both in-ground and above ground pools (public and private)	No	Pools hold and retain water during storm events, which reduces the burden on the system during periods of demand.
Road (Gravel)	All public gravel roads.	Yes	Hard surface, compacted soil or compacted gravel from vehicle use, per Impervious Area definition; any property with a road on it qualifies; includes unassumed or private road
Road (Paved)	All public asphalt roads captured at outer edges	Yes	Paved or hard surface, per Impervious Area definition; any property with a road on it qualifies; includes unassumed or private road
Shoulder	Extent of paved, gravel, or combination of the two shoulders	Yes	Paved or hard surface shoulder adjacent to a road; if Shoulder is along a private road then it will be assessed; if Shoulder is along a public road and encroaches on private property, then that segment will be excluded from IA value
Sidewalk	All sidewalks made up of gravel, asphalt, concrete, brick, etc	Yes	Includes any sidewalk or hard surface located on private property such as private sidewalk, walking area, parking lot island, etc, per the Impervious Area definition
Silo (Farm & Industrial)	All silos	Yes	Hard surface, per Impervious Area definition; silo is treated similar to a Building, per Impervious Area definition
Tank (Petroleum & Water)	All tanks	Yes	Hard surface which prevents water infiltration into the ground, per Impervious Area definition

Appendix D: Capital Pre-commitment Funding Changes

Previously Approved Pre-Commitments from Wastewater Sewer Surcharge Reserve Fund 153

Project # & Title	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
ECP-022-07 - Prince Rd./Totten St. Storm Sewer Improvements (SMP)	\$ 1,687,500			\$ 1,000,000						
FIN-001-23 - Corporate Inflation Mitigation	999,630	764,939	1,396,043							
ECP-002-08 - Provincial Rd./Division Rd. Corridor Infrastructure Improvements	3,000,000	4,500,000								
ECP-003-09 - Cabana Road Infrastructure Improvements	674,308									
ECP-014-07 - University Ave/Victoria Ave				500,000						
ECP-023-07 - Parent Ave./McDougall Ave. Storm Sewer (SMP)	500,000	561,000								
ECP-035-07 - City Wide Sewer Rehabilitation Program	8,555,000	1,230,000								
ENG-002-19 - Sewer Master Plan Implementation (SMP)	5,890,000	5,000,000	5,000,000	7,915,471		2,084,529				
ENG-002-22 - Jefferson Drainage Area (SMP)	751	-	1,630,000							
ENG-005-19 - Enhanced Flooding Mitigation Program - DMAF 1	10,550,000	10,550,000	10,550,000	7,634,529	9,000,000	6,915,471	4,000,000	4,000,000	4,000,000	4,000,000
ENG-005-22 - DMAF 4 Large-Scale Stream Retention Treatment Basin LRWRP	-	-	3,751,701	5,887,751	8,587,751	11,987,751	12,000,000	13,585,046	-	-
Total	\$ 31,857,189	\$ 22,605,939	\$ 22,327,744	\$ 22,937,751	\$ 17,587,751	\$ 20,987,751	\$ 16,000,000	\$ 17,585,046	\$ 4,000,000	\$ 4,000,000

Amount of Existing Pre-commitment to be funded from Stormwater Sewer Surcharge Reserve Fund 234

Project # & Title	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
ECP-022-07 - Prince Rd./Totten St. Storm Sewer Improvements (SMP)	\$ 1,687,500			\$ 1,000,000						
FIN-001-23 - Corporate Inflation Mitigation	499,815	382,470	698,022							
ECP-002-08 - Provincial Rd./Division Rd. Corridor Infrastructure Improvements	2,400,000	3,600,000								
ECP-003-09 - Cabana Road Infrastructure Improvements	539,446	-								
ECP-023-07 - Parent Ave./McDougall Ave. Storm Sewer (SMP)	375,000	420,750								
ECP-014-07 - University Ave/Victoria Ave				250,000						
ECP-035-07 - City Wide Sewer Rehabilitation Program	4,705,250	590,400								
ENG-002-19 - Sewer Master Plan Implementation (SMP)	2,945,000	2,500,000	2,500,000	3,957,736		1,042,265				
ENG-002-22 - Jefferson Drainage Area (SMP)	451		978,000			-				
ENG-005-19 - Enhanced Flooding Mitigation Program - DMAF 1	10,550,000	10,550,000	10,550,000	7,634,529	9,000,000	6,915,471	4,000,000	4,000,000	4,000,000	4,000,000
ENG-005-22 - DMAF 4 Large-Scale Stream Retention Treatment Basin LRWRP	-	-	937,925	1,471,938	2,146,938	2,996,938	3,000,000	3,396,262	-	-
Total	\$ 23,702,462	\$ 18,043,620	\$ 15,663,947	\$ 14,314,202	\$ 11,146,938	\$ 10,954,673	\$ 7,000,000	\$ 7,396,262	\$ 4,000,000	\$ 4,000,000

Appendix E: Average Monthly Residential Total Sewer Cost by Tier

The annual impact of the recommended 2025 rates is shown below for each Residential Tier. A negative value indicates a reduction/savings compared to 2024.

Average Monthly Residential Total Sewer Cost – Tier 1				
	2024	2025	Change (\$)	Annual Change (\$)
Wastewater - Fixed	\$21.65	\$12.89	(\$8.76)	(\$105.12)
Wastewater - Variable*	\$49.09	\$29.24	(\$19.85)	(\$238.20)
Stormwater - Tier 1	Note A	\$22.50	\$22.50	\$270.00
Total	\$70.74	\$64.63	(\$6.11)	(\$73.32)

* Assumed average monthly consumption of 14.58m³ or of 175m³ annually

Note A: Prior to 2025, the Stormwater rate was included as part of the Wastewater Sewer Surcharge Rates

Average Monthly Residential Total Sewer Cost – Tier 2				
	2024	2025	Change (\$)	Annual Change (\$)
Wastewater - Fixed	\$21.65	\$12.89	(\$8.76)	(\$105.12)
Wastewater - Variable*	\$56.17	\$33.43	(\$22.74)	(\$272.88)
Stormwater - Tier 2	Note A	\$28.17	\$28.17	\$338.04
Total	\$77.82	\$74.49	(\$3.33)	(\$39.96)

* Assumed average monthly consumption of 16.67m³ or of 200m³ annually

Note A: Prior to 2025, the Stormwater rate was included as part of the Wastewater Sewer Surcharge Rates

Average Monthly Residential Total Sewer Costs – Tier 3				
	2024	2025	Change (\$)	Annual Change (\$)
Wastewater - Fixed	\$21.65	\$12.89	(\$8.76)	(\$105.12)
Wastewater - Variable*	\$63.13	\$37.60	(\$25.53)	(\$306.36)
Stormwater - Tier 3	Note A	\$33.83	\$33.83	\$405.96
Total	\$84.78	\$84.32	(\$0.46)	(\$5.52)

* Assumed average monthly consumption of 18.75m³ or of 225m³ annually

Note A: Prior to 2025, the Stormwater rate was included as part of the Wastewater Sewer Surcharge Rate

Appendix F: Comparison of Recommended Wastewater and Stormwater Rates to Projected Provincial Averages

The following charts provides a comparison of the proposed wastewater and stormwater rates to projected provincial averages:

Comparison of Projected 2025 Wastewater Costs, based on proposed 2025 Rates			
	Residential	Commercial	Industrial
Annual Usage	200 m ³	10,000 m ³	30,000 m ³
Provincial Average ^{1, 2}	\$752	\$25,077	\$72,828
Windsor	\$556	\$22,070	\$59,631
Annual Difference	(\$196)	(\$3,007)	(\$13,197)

Source: 2023 BMA Municipal Study

¹ The Provincial Average has been taken from the annual BMA Study, which looks at various sets of comparative data across all municipalities in Ontario.

² In order to provide comparable data, the Provincial Average for 2025 has been assumed to increase by 5.0% over two years of the reported 2023 BMA Study results. This increase is reflective of the actual annual increases reported for the BMA Provincial Average of Wastewater Costs, in all categories, since 2012.

Comparison of Projected 2025 Stormwater Costs, based on proposed 2025 Rates			
2025 Annual Storm Residential Tier	Provincial Average^{1, 2}	Windsor	Difference
Tier 1	\$127	\$270	\$143
Tier 2	\$127	\$338	\$211
Tier 3	\$127	\$406	\$279

Source: 2023 BMA Municipal Study

¹ The Provincial Average has been taken from the annual BMA Study, which looks at various sets of comparative data across all municipalities in Ontario.

² In order to provide comparable data, the Provincial Average for 2025 has been assumed to increase by 5.0% over two years of the reported 2023 BMA Study results. This increase is reflective of the actual annual increases reported for the BMA Provincial Average of Wastewater Costs, in all categories, since 2012.

Appendix G: Stormwater Fee Municipal Comparators

Annual Wastewater & Stormwater Bills

Average Single Detached House

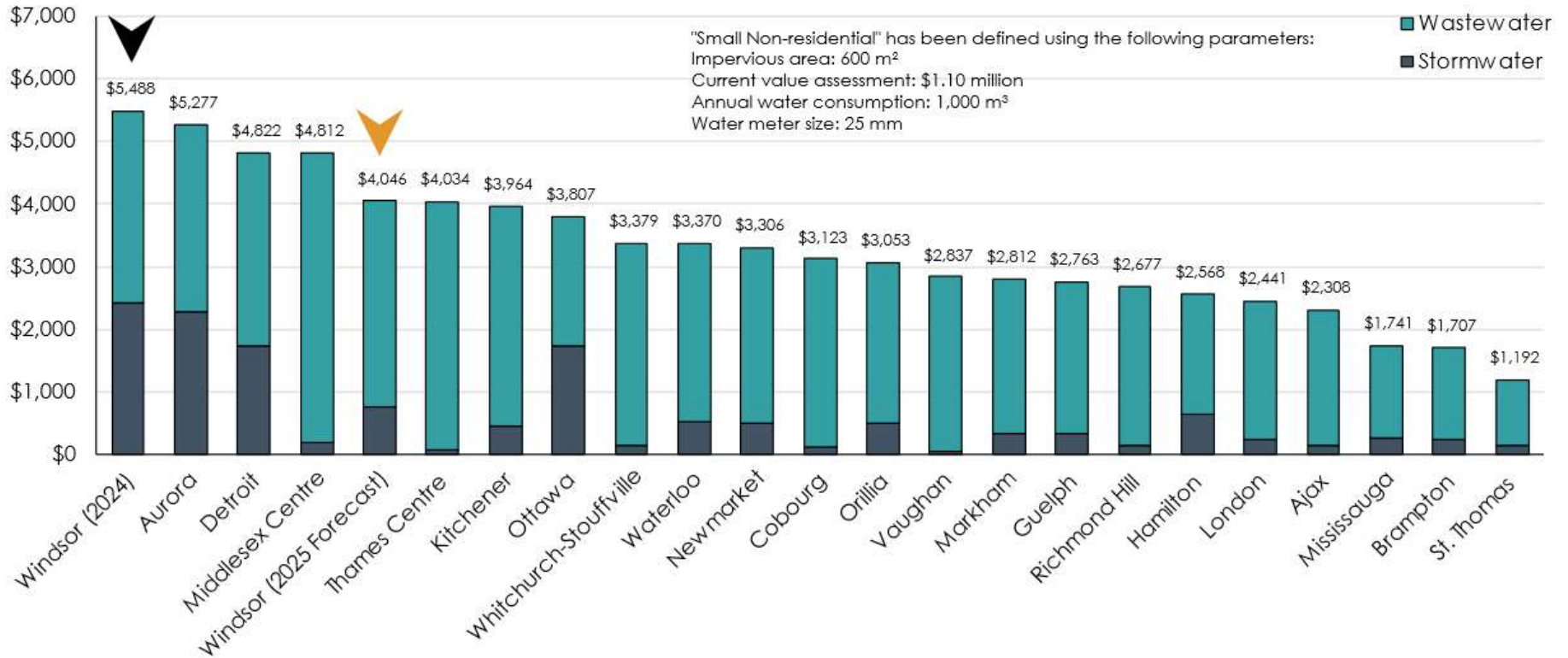
- 2024 wastewater and stormwater bill based on 2024 Sewer Surcharge rates.
- 2025 wastewater and stormwater bill based on projected 2025 Sewer Surcharge rates and Stormwater Fees with first year of phase-in to proposed Levels of Service.



Annual Wastewater & Stormwater Bills

Small Non-residential Property (e.g., fast-food restaurant)

- 2024 wastewater and stormwater bill based on 2024 Sewer Surcharge rates.
- 2025 wastewater and stormwater bill based on projected 2025 Sewer Surcharge rates and Stormwater Fees with first year of phase-in to proposed Levels of Service.



Annual Wastewater & Stormwater Bills

Medium Non-residential Property

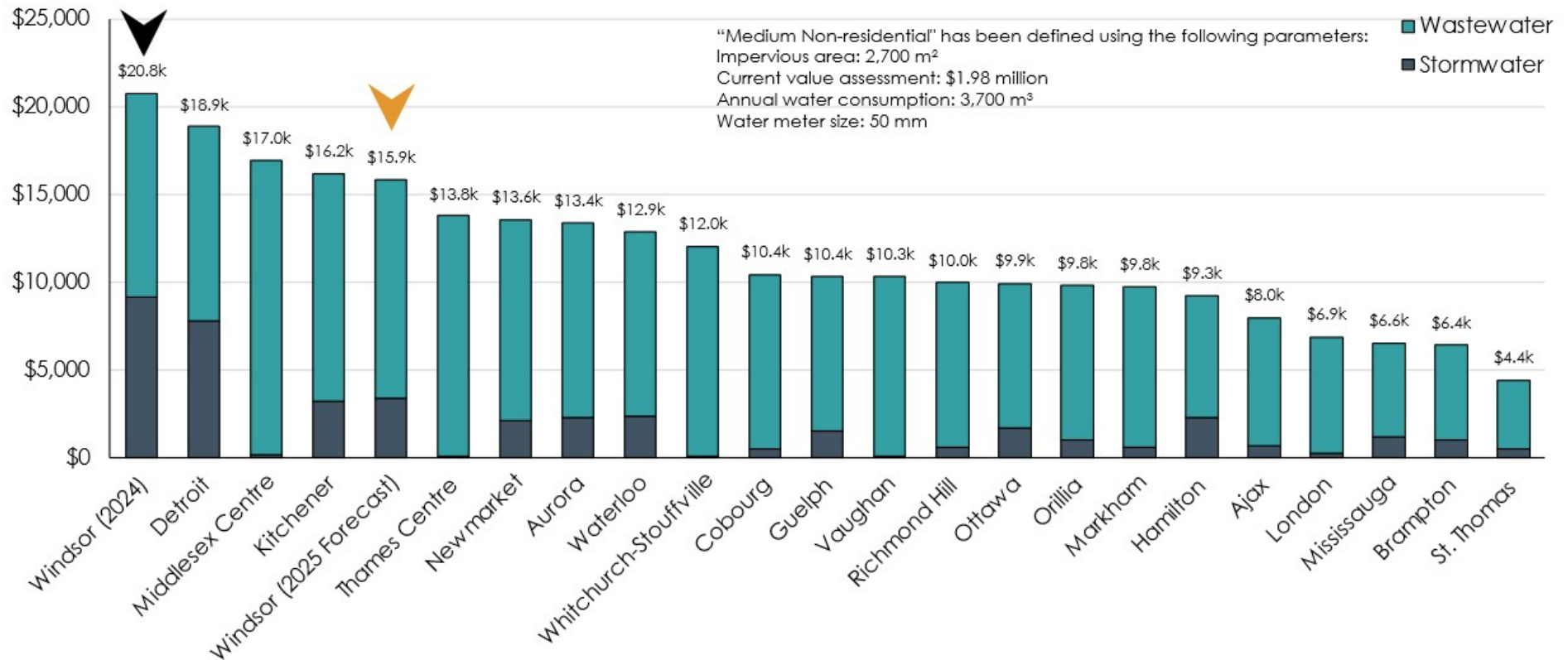
(e.g., car wash or manufacturing facility)



2024 wastewater and stormwater bill based on 2024 Sewer Surcharge rates.



2025 wastewater and stormwater bill based on projected 2025 Sewer Surcharge rates and Stormwater Fees with first year of phase-in to proposed Levels of Service.



Annual Wastewater & Stormwater Bills

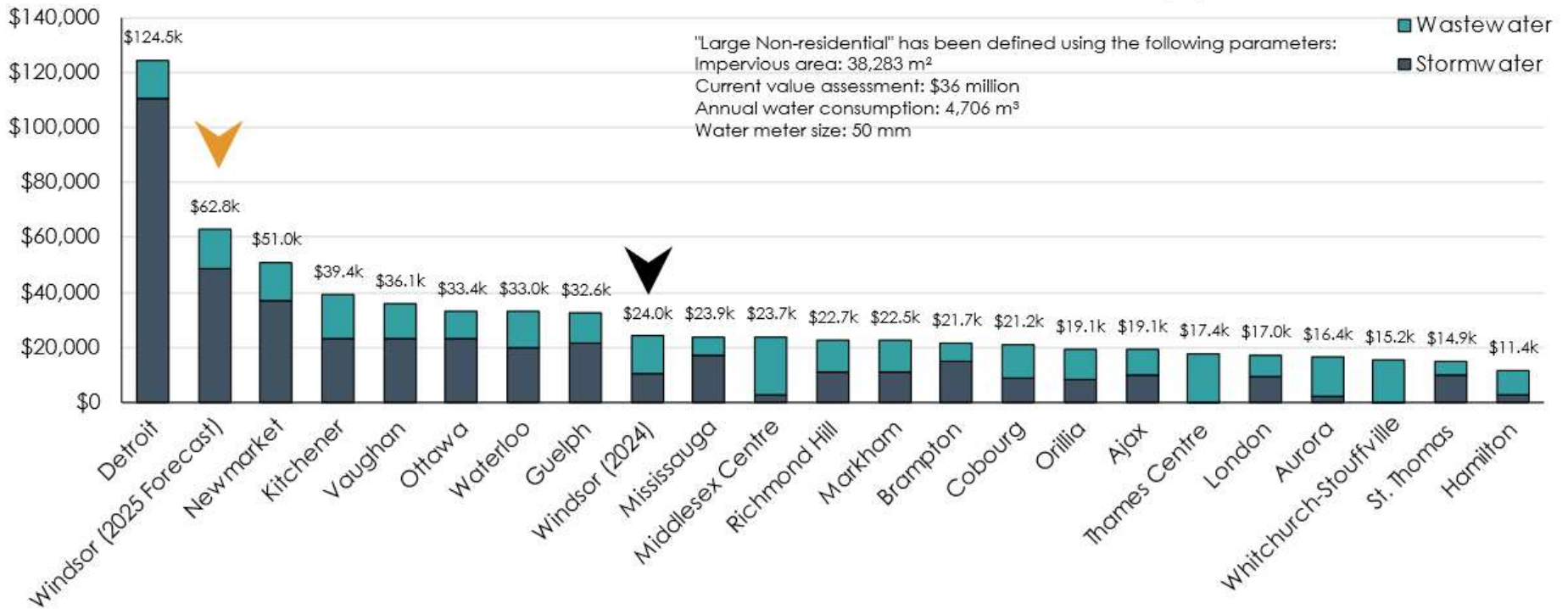
Large Non-residential Property (e.g., commercial plaza)



2024 wastewater and stormwater bill based on 2024 Sewer Surcharge rates.



2025 wastewater and stormwater bill based on projected 2025 Sewer Surcharge rates and Stormwater Fees with first year of phase-in to proposed Levels of Service.



BY-LAW NUMBER 153-2024

A BY-LAW TO AMEND BY-LAW NUMBER 15-2010 BEING A BY-LAW TO APPOINT CHIEF BUILDING OFFICIAL, DEPUTY CHIEF BUILDING OFFICIALS AND INSPECTORS TO ENFORCE THE BUILDING CODE ACT AND REGULATIONS IN WINDSOR

Passed the 28th day of October, 2024.

WHEREAS original By-law Number 15-2010 was passed on the 18th day of January, 2010;

AND WHEREAS it is deemed expedient to further amend By-law Number 15-2010;

THEREFORE the Council of the Corporation of the City of Windsor enacts as follows:

1. That By-law Number 15-2010 be amended by deleting Schedule "A" attached thereto and substituting Schedule "A" attached hereto.
2. That this By-law shall come into force and take effect on the day of the final passing thereof.

DREW DILKENS, MAYOR

CITY CLERK

First Reading - October 28, 2024
Second Reading - October 28, 2024
Third Reading - October 28, 2024

BY-LAW NUMBER 153-2024

SCHEDULE A

APPOINTMENTS

Department	Position	Name
Building Department	Chief Building Official	John Revell
Building Department	Senior Manager/Deputy Chief Building Official - Permits	Joe Baker
Building Department	Senior Manager/Deputy Chief Building Official – Permits (A)	Brandon Calleja
Building Department	Senior Manager/Deputy Chief Building Official - Inspections	Roberto Vani
Building Department	Manager of Inspections	Mike Arthur
Building Department	Manager, Building Engineer/Architect	David Leonard Dean
Building Department	Manager, Building Engineer/Architect	Philip Martin Glos
Building Department	Building Engineer/Architect	Mirella Allison
Building Department	Building Engineer/Architect	Junying Sun
Building Department	Plan Examiner II	Adam Meeker
Building Department	Building Engineer/Architect	Marwan Al-Ezzi
Building Department	Building Engineer/Architect	Walid Mustapha Hawilo
Building Department	Plan Examiner II	Laura Duncan
Building Department	Plan Examiner	Jessica Barlow
Building Department	Plan Examiner	Adrian Saroli
Building Department	Plan Examiner	Sukdeep Gill
Building Department	Plan Examiner	Patrick Golen
Building Department	Plan Examiner	Wendy Calito
Building Department	Plan Examiner	Leslie Therrien
Building Department	Inspector II	Marc Ronald Mantha
Building Department	Inspector II	Oliver Pozar
Building Department	Inspector I	Christopher Jedlinski
Building Department	Inspector I	Michael Mollica
Building Department	Inspector I	Brian Jackson
Building Department	Inspector II	George Eberhardt
Building Department	Inspector I	Nicola Gesuale
Building Department	Inspector I	Michael Forte
Building Department	Inspector I	Armando Cala
Building Department	Inspector I	Peter Quaglia
Building Department	Inspector I	Enrique Silveyra
Building Department	Mechanical Inspector	Marco Pellerito

BY-LAW NUMBER 154-2024

A BY-LAW TO FURTHER AMEND BY-LAW
188-2000, BEING A BY-LAW TO APPOINT PROVINCIAL OFFENCES
OFFICERS FOR THE CORPORATION OF THE CITY OF WINDSOR

Passed the 28th day of October, 2024.

WHEREAS it is deemed expedient to further amend By-law Number 188-2000 being a by-law to appoint provincial offences officers, to update the list of persons enforcing regulatory by-laws;

THEREFORE the Council of the Corporation of the City of Windsor enacts as follows:

1. That Schedule "A" of By-law Number 188-2000 be deleted and the attached Schedule "A" be substituted therefore.
2. This by-law shall come into force and take effect on the day of the final passing thereof.

DREW DILKENS, MAYOR

CITY CLERK

First Reading - October 28, 2024
Second Reading - October 28, 2024
Third Reading - October 28, 2024

SCHEDULE "A"
TO BY-LAW NUMBER 188-2000

APPOINTED PROVINCIAL OFFENCES OFFICERS

Department	Name
Building	John Revell
Building	Joe Baker
Building	Roberto Vani
Building	Oliver Pozar
Building	Frank Pasciuta
Building	Brandon Calleja
Building	Marco Pellerito
Building	Mike Kenneth Arthur
Building	Brian Jackson
Building	George Eberhardt
Building	Chris Girard
Building	Nicole Brush
Building	Michael Forte
Building	Jay McGuire
Building	Nicola Gesuale
Building	Christopher Jedlinski
Building	Ian Sakal
Building	Gentian Prifti
Building	Trevor Girard
Building	Armando Cala
Building	Michael Mollica
Building	Enrique Silveyra
Building	Peter Quaglia
Building	Stuart Robertson
Building	Mike Mollica
Fire Services	Malcolm Bondy
Fire Services	Carey Chase
Fire Services	Mike Coste
Fire Services	David Ethier
Fire Services	Sean Fabel
Fire Services	Jeff Goldthorpe
Fire Services	Karen Koski
Fire Services	Steve Laforet

Department	Name
Fire Services	Dave O'Neil
Fire Services	James Waffle
Licensing & By-law Enforcement	Dan Jenner
Licensing & By-law Enforcement	Don Balino
Licensing & By-law Enforcement	Rocco Iacobelli
Licensing & By-law Enforcement	Andrew Wong
Licensing & By-law Enforcement	Bart Pogorzelski
Licensing & By-law Enforcement	Michael Desjardins
Licensing & By-law Enforcement	Todd Hamilton
Licensing & By-law Enforcement	Craig Robertson
Licensing & By-law Enforcement	Rory Sturdy
Licensing & By-law Enforcement	Steve Vlachodimos
Licensing & By-law Enforcement	Kevin Kuprowski
Licensing & By-law Enforcement	Vedran Abidinovic
Licensing & By-law Enforcement	Gabrielle Fillion
Licensing & By-law Enforcement	Elie Houad
Licensing & By-law Enforcement	Patryk Michalik
Licensing & By-law Enforcement	Ian Blair
Office of the City Engineer	Bill Kralovensky
Office of the City Engineer	Phong Nguy
Office of the City Engineer	Shawn Barlow
Office of the City Engineer	Paul Hearn
Office of the City Engineer	Benjamin Byrne
Office of the City Engineer	Salvatore Vitale
Office of the City Engineer	John Colella
Office of the City Engineer	Andrew Lewis
Office of the City Engineer	Marc Ladouceur
Parks	Marc Edwards
Parks	Yemi Adeyeye
Parks	Gaspar Hovarth
Parks	Gaetan Taillon
Planning	Kristina (Chung Wah) Tang
Planning	Michael Cooke
Pollution Control	Kevin Webb
Pollution Control	George Michael Chernawski
Pollution Control	Justine Cloutier
Pollution Control	David Petten

Department	Name
Pollution Control	Kai Yuan Qui
Pollution Control	John Rohaly

BY-LAW NUMBER 155-2024

A BY-LAW TO FURTHER AMEND BY-LAW NUMBER 8600 CITED AS THE "CITY OF WINDSOR ZONING BY-LAW"

Passed the 28th day of October, 2024.

WHEREAS it is deemed expedient to further amend By-law Number 8600 of the Council of The Corporation of the City of Windsor, cited as the "City of Windsor Zoning By-law" passed the 31st day of March, 1986, as heretofore amended:

THEREFORE the Council of the Corporation of the City of Windsor enacts as follows:

1. By-law Number 8600 is further amended by changing the Zoning District Maps or parts thereof referred to in Section 1, of the by-law and made part thereof, so that the zoning district symbol of the lands described in Column 3 shall be changed from that shown in Column 5 to that shown in Column 6:

1. Item Number	2. Zoning District Map Part	3. Lands Affected	4. Official Plan Amendme nt Number	5. Zoning Symbol	6. New Zoning Symbol
1	4	Pt Lot 68, Concession 1, PIN 01219-0447 (located on the north side of Grove Avenue, between Josephine Avenue and Partington Avenue)	-	HRD2.1	RD2.5

2. That subsection 1 of Section 20, of said by-law, is amended by adding the following paragraph:

"511 NORTH SIDE OF GROVE AVENUE, BETWEEN JOSEPHINE AVENUE AND PARTINGTON AVENUE

For the land comprising Part Lot 68, Concession 1, PIN 01219-0447 LT, all permitted uses shall be subject to the following additional provisions:

- a) Main Building Height – maximum 11.0 m
- b) Front Yard Depth – maximum 20.3 m
- c) Rear Yard Depth – minimum 5.48 m
- d) Loading space – minimum 0
- e) Exterior finish for all dwelling types – minimum 50% face brick

[ZDM 4; ZNG/7206]"

3. The said by-law is further amended by changing the Zoning District Maps or parts thereof referred to in Section 1, of said by-law and made part thereof, so that the lands described in Column 3 are delineated by a broken line and further identified by the zoning symbol shown in Column 5:

1. Item Number	2. Zoning District Map Part	3. Lands Affected	4. Official Plan Amendme nt Number	5. Zoning Symbol
1	4	Pt Lot 68, Concession 1, PIN 01219-0447 (located on the north side of Grove Avenue, between Josephine Avenue and Partington Avenue)	-	S.20(1)511

DREW DILKENS, MAYOR

CITY CLERK

First Reading - October 28, 2024
 Second Reading - October 28, 2024
 Third Reading - October 28, 2024

BY-LAW NUMBER 156-2024

A BY-LAW TO ADOPT AMENDMENT NO. 185
TO THE OFFICIAL PLAN OF THE CITY OF
WINDSOR

Passed the 28th day of October, 2024.

WHEREAS pursuant to the provisions of Section 17(1) of the *Planning Act*, R.S.O. 1990, c. P.13 as amended, the Minister of Municipal Affairs and Housing (Minister) is the approval authority in respect of the approval of a plan as an official plan.

AND WHEREAS Section 17(9) of the said *Planning Act* provides that the Minister may by order exempt a proposed official plan amendment from his approval under Section 17(1) of the said Act.

AND WHEREAS pursuant to the provisions of Ontario Regulation 525/97 most amendments to the official plan of the City of Windsor commenced after January 19, 1998 are exempt from the approval of the said Minister.

THEREFORE the Council of the Corporation of the City of Windsor in accordance with the provisions of the said *Planning Act* hereby enacts as follows:

1. That Amendment No. **185** to the Official Plan of the City of Windsor, attached hereto, is hereby adopted.

DREW DILKENS, MAYOR

CITY CLERK

First Reading - October 28, 2024
Second Reading - October 28, 2024
Third Reading - October 28, 2024

AMENDMENT NO. 185
TO THE
OFFICIAL PLAN
CITY OF WINDSOR

Part D (Details of the Amendment) of the following text and attached Schedule A of the City of Windsor Official Plan constitute Amendment No. 185.

Also included, but not constituting part of the Amendment, are explanations of Purpose, Location, Background, and Implementation of the Amendment, and Appendix A (Results of Public Notification).

A. PURPOSE:

The purpose of Amendment No. 185 is to amend Schedule “A” of Volume I: The Primary Plan of the City of Windsor Official Plan by designating the subject parcels as a Special Policy Area and to add a Special Policy Area to Volume II: Secondary Plans and Special Policy Areas of the City of Windsor Official Plan to allow townhome dwelling and multiple dwelling as additional permitted uses on the subject parcels.

B. LOCATION:

The amendment applies to the land described as Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726, known municipally as 3930 and 3950 Sixth Concession Road (Roll No. 070-150-00801, 070-150-23126) situated on the north side of Ducharme St, east of Sixth Concession Rd.

C. BACKGROUND:

The Applicant is requesting amendments to the City of Windsor Official Plan and Zoning By-law 8600 to allow a multiple dwelling with a total of 24 dwelling units [16 dwelling units and 8 additional dwelling units (ADUs)] in four townhome dwellings with a maximum height of 12m over three storeys. The current front lot line is the lot line adjacent to Ducharme Street. Vehicular access is from Ducharme Street. Existing conditions include a residential dwelling, vegetation, a driveway and vehicular access to 6th Concession Road.

The subject properties are located within the Roseland Planning District in Schedule A – Planning Districts & Policy Areas of Volume I of the Official Plan. The parcels are designated as Residential on *Schedule D: Land Use* on the *City of Windsor Official Plan* and Low Profile Residential on *Schedule NR2-7: Land Use Designations* in the *North Roseland Secondary Plan* (“the Plan”) in Volume II Chapter 3 of the Official Plan. The Plan designation provides for single detached, semi-detached and on-street townhouse developments and only permits on-street townhouses along local roads.

The parcels are zoned Residential District 1.4 (RD1.4) and Residential District 1.2 (RD1.2) which permits one single unit dwelling, semi-detached dwellings and duplexes. Administration recommends to maintain the existing RD1.4 and RD1.2 zones and add a site-specific exception that allows the development to proceed as proposed, subject to additional provisions.

The development as proposed will be subject to site plan control.

When Official Plan Amendment 185 is approved, the requested zoning amendment will conform to the Zoning Amendment Policies in Section 11.6.3 of the Official Plan and conform to the general direction of the Official Plan.

D. DETAILS OF THE AMENDMENT:

- 1) THAT Schedule “A” of Volume I: The Primary Plan of the City of Windsor Official Plan **BE AMENDED** by designating Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726 (Roll No. 070-150-00801, 070-150-23126), situated on the north side of Ducharme Street, east of Sixth Concession Road, and known municipally as 3930 and 3950 Sixth Concession Road, as a Special Policy Area.
- 2) THAT Chapter 1 in Volume II: Secondary Plans and Special Policy Areas of the City of Windsor Official Plan **BE AMENDED** by adding a new Special Policy Area as follows:

1.X NORTHEAST CORNER OF SIXTH CONCESSION ROAD AND DUCHARME STREET

<i>LOCATION</i>	1.X.1	The property described as Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726, situated at the northeast corner of Sixth Concession Road and Ducharme Street is designated on Schedule A: Planning Districts and Policy Areas in Volume I - The Primary Plan.
<i>ADDITIONAL PERMITTED USES</i>	1.X.2	Notwithstanding the “Low Profile Residential” land use designation on Schedule NR2-7: Land Use Designations and the Low Profile Residential policies in Section 3.7.2 of the North Roseland Planning Area, a townhome dwelling or multiple dwelling having a maximum building height of 11 m shall be an additional permitted use.

E. IMPLEMENTATION:

- i. This amendment is to be implemented by an amendment to Zoning By-law 8600 as recommended in Report Number S 66/2024 (Z-008/24 ZNG/7184 & OPA 185 OPA/7185) and approved by Council by CR423/2024 DHSC 621.

- ii. The proposed development will be deemed a development per Section 41 (1) of the Planning Act and therefore, Site Plan Control will be an additional tool for the implementation of this amendment.

APPENDIX A

The following are the results of public notification of the amendments and the outcome of public meetings. Comments relate to the Official Plan Amendment and the associated rezoning amendment.

DEVELOPMENT & HERITAGE STANDING COMMITTEE (DHSC):

A meeting of the DHSC was held on June 3, 2024, to consider the applications (Z-008/24 ZNG/7184 & OPA 185 OPA/7185) and Staff Report S 66/2024. This is the statutory public meeting required by the Planning Act. 93 written submissions, 7 verbal objections, 11 delegations and a petition with 115 signatures were received. Below is an extract from the minutes of the meeting:

7.5. OPA and Rezoning – Generation Development Contractors Inc. – 3930 & 3950 Sixth Concession Road – OPA 185 OPA/7185 Z-008/24 ZNG/7184 - Ward 9

Adam Szymczak, Senior Planner – Development (co-author) - is available for questions.

Diana Radulescu, Planner II – Development Review (co-author) - is available for questions.

Michael Davis (agent), Siv-ik Planning and Design Inc. – is available for questions.

Andi Shallvari, Marc Masotti (applicants), Generation Development Contractors Inc. – are available for questions.

Sukhi Dhaliwal, Suzanne De Froy, Satvir Sandhu, Guramanjot Ranu, Mehakmeet Bal, Jagjeet Bal, Kathy Moreland, Gurlal Gill, Pavitarpal Randha, Heather Purdy, Kathy Moreland, Ian & Gloria Murphy, Brian Kukhta, Tim Purtill and Ruqaiya Siddiqui (area residents) are available for questions.

Mr. Davis states the project will create sixteen new townhomes, eight containing additional dwelling units (ADU), which will provide housing for an identified gap and catering to small families. Mr. Davis informs the Committee that the project is low profile in nature, has a balance of lot coverage versus open space, integrate parking with garages to accommodate the parking ratio, at grade ADUs for a wider demographic.

Councillor Jim Morrison leaves the meeting at 7:11 o'clock p.m. and Councillor Mark McKenzie assumes the chair.

Mr. Davis states that there were multiple concerns from the public regarding the volume of traffic, where a Traffic Impact Study was conducted and concluded that it supported the application with some suggested changes. Mr. Davis adds that a Site Line Analysis and Sanitary Capacity Study were completed and concluded that it was in support of the application, and that the surrounding schools have availability for additional students. Mr. Davis concludes he is in full support of the Planning Staff report.

Councillor Jim Morrison returns to the meeting at 7:17 o'clock p.m. and Councillor Mark McKenzie returns to his seat at the Council Table.

Satvir Sandhu (area resident) states she resides next to the proposed development. Ms. Sandhu has concerns of neighbourhood preservation, traffic impact and safety, multiplexes are not permitted, flooding, safety for children boarding school buses, overflowing surrounding school, and accidental fires spreading to proximity houses with short-staffed emergency services. Ms. Sandhu shares concerns of privacy, safety, and quality of life for her family.

Suzanne De Froy (area resident) inquires about the number of emails sent in opposition of the development. Chair Mark McKenzie states that the agenda is posted online and includes submissions received to date. Ms. De Froy states concerns of traffic flow and speed, public safety, the proposed application fails the Planning Act tests, virtual consultation with residents were not available for the elderly population, several housing units replacing one individual residence, parking, tree replacement. Ms. De Froy adds that this will increase the number of residents, set a precedence for future developers for three storey residence, and the intended need or hardship by the applicant has not been established. Ms. De Froy states quality of life, traffic noise, safety are also concerns and submits a petition with 170 signatures.

Jagjeet Bal (area resident) has concerns of high-volume traffic, decreased safety and increased motor vehicle accidents.

Kathy Moreland (area resident) has concerns of increasing housing density changing the neighbourhood, increased noise, traffic, litter, strain on transit and school system, lack of sidewalks, accessibility, and safety risks for persons with disabilities and elderly, lack of police enforcement for speeding, lack of public transit, and underdeveloped infrastructure. Ms. Moreland concludes asking for the Committee to deny the proposal.

Ian Murphy (area resident) has concerns of flooding, lack of public notification regarding development, large volume of traffic, car accidents and lack of safety for residents and special needs children. Mr. Murphy states concerns of lack of planning, infrastructure and sidewalks, installation of a round-about will increase traffic, the design and lack of parking for the new development and safety for children boarding school buses.

Brian Kukhta (area resident) states that the homes in the neighbourhood are not starter homes and developments over the years have complied with the by-laws and blended with the existing neighbourhood but this proposal does not. Mr. Kukhta has concerns of the lack of parking for residents of the new development and the safety of their visitors parking in other areas of the neighbourhood. Mr. Kukhta has concerns of the precedence this sets for surrounding neighbourhoods for high density and does not complement the neighbourhood.

Ruqaiya Siddiqui (area resident) has concerns of preserving the character and community of the neighbourhood and this proposal does not match the surrounding housing

Councillor Kieran McKenzie inquires what is being proposed and the difference between the development and high-density housing. Mr. Davis states that anything more than a three-storey building is not considered low profile. Councillor McKenzie inquires whether

the peak of the roof is the only difference between this development and the highest building in the area. Mr. Davis states that is correct.

Councillor Kieran McKenzie inquires about whether the proposal for parking exceeds the City's requirements. Mr. Davis agrees. Councillor McKenzie inquires about bicycle storage. Mr. Davis states the development does include indoor and temporary short-term bicycle storage.

Councillor Kieran McKenzie inquires about the market segment this development caters to. Mr. Davis states this development is for young families and multi-generational families with multiple levels.

Councillor Kieran McKenzie inquires if the characteristic of the development is consistent with a nearby townhome development. Mr. Davis states there have been approved developments within the area that are similar and following the Intesification Guidelines.

Councillor Kieran McKenzie inquires about the refuse management program for the development. Mr. Davis states that this will be addressed in Site Plan Control approval process.

Councillor Kieran McKenzie inquires about the measures to address impacts on infrastructure and storm water management. Mr. Davis states that requirements included a sanitary capacity study and storm water management with no issues identified.

Councillor Kieran McKenzie inquires about the Traffic Impact Study (TIS). Mr. Davis states the AM and PM peak hour impact is minimal, and no impact on surrounding intersections.

Councillor Kieran McKenzie inquires if Ms. De Froy has increased comfort after hearing Mr. Davis speak about the development. Ms. De Froy states she has no comfort from the previous statements and states that several problems have not been addressed over the years, and burden is placed on the neighbourhood.

Councillor Kieran McKenzie agrees that there are issues but is not convinced that twenty-four units is a major impact. Ms. De Froy states that near by developments have made the area very busy, and that there are other developments in the surrounding area to fulfill needs of smaller homes and not warranted at this site.

Councillor Kieran McKenzie asks Ms. Sandhu to address the traffic issues and extent of the accidents. Ms. Sandhu states that there are frequent accidents at Sixth Concession and Ducharme and the last one was two weeks ago. Ms. Sandhu states concerns of flooding.

Councillor Kieran McKenzie asks Ms. Bal to address traffic issues. Ms. Bal states there are countless accidents and causes a burden on the healthcare system.

Councillor Kieran McKenzie asks Mr. Kukhta if different types of housing belong in certain places, and a neighbourhood should not vary from the surrounding housing. Mr. Kukhta states that the proposed development does not comply with the secondary plan.

Councillor Kieran McKenzie inquires about the impact the development will have on water management capacity. Ms. Radulescu defers the question to the Engineering Department. Juan Paramo states that a Sanitary Sewer Study was received and that there is capacity to support the proposed development.

Councillor Kieran McKenzie asks Administration why flooding in the area and the impact of the proposed development. Patrick Winters states that there will be no impact, as there are standards that must be met and that flooding issues within the area is specific to individual properties. Councillor Kieran McKenzie inquires if Engineering Staff will attend individual homes to assess the reason for flooding and whether it's due to City related issue. Mr. Winters states there are City programs to prevent basement flooding such as the Basement Flooding Subsidy Program.

Councillor Kieran McKenzie inquires about the TIS and Administrations view. Shawna Boakes states an analysis of the TIS was conducted and states the impacts noted by the Developer are correct.

Councillor Kieran McKenzie inquires about transit services. Ms. Radulescu states that there are services at Sixth Concession and Provincial Road, and that Transit Windsor was circulated, and an additional route has been approved by City Council that will improve access to transit in the area and to this development.

Councillor Kieran McKenzie inquires about the extent to which the proposed development will impact potential developments in the area. Ms. Radulescu states each Planning Act application is reviewed individually.

Councillor Kieran McKenzie inquires about the City's authority with respect to land use and planning in relation to the Provincial Policy Statement (PPS), and if this development is denied at Council what is the process that follows. Adam Szymczak states that the applicant would have the right to appeal if Council does not follow the recommendations provided by Planning staff. Councillor K. McKenzie inquires whether the standard that is applied is consistent with the PPS in relation to the appeal. Mr. Szymczak agrees. Councillor K. McKenzie inquires whether Administration's recommendation is consistent with the PPS and what is being proposed. Mr. Szymczak agrees. Councillor K. McKenzie asks if the appeal would be presented to the Ontario Land Tribunal (OLT), where the applicant can state that Administration's recommendation aligns with the PPS despite the assumption that Council denies the application, and what happens in this situation. Mr. Szymczak states that it depends on what evidence is brought forward to the OLT. Thom Hunt states that the matter would be debated before the OLT. Councillor K. McKenzie inquires what the consequence are to the City if the decision at the OLT is to approve the amendments. Mr. Hunt defers the question to the Legal Department. Aaron Farough states the decision of the OLT would supersede any decision made by the City and applications go through an independent analysis and merit to determine consistency with the PPS, and if the decision of Council was overturned, the OLT may choose to award costs which would be payable by the City.

Councillor K. McKenzie inquires about the Ten-Year Capital Plan and whether the Sixth Concession project will be implemented in the plan at this time. Mr. Winters states that

there is funding for the implementation of the Environmental Assessment and there are two more phases to complete prior to the assessment of the Sixth Concession. Councillor McKenzie confirms that most of a section of the Sixth Concession has been completed. Mr. Winters states that it was completed as a part of the Provincial Road Project. Councillor McKenzie confirms that the remainder of the Sixth Concession requires funding to be completed. Mr. Winters agrees.

Councillor Francis inquires whether once an application is approved for rezoning, is it more likely that Planning Staff would recommend approval of similar developments in the area.

Mr. Szymczak disagrees and states that every application is reviewed on its own merits. Councillor Francis inquires whether the approval comes down to Council decision as Administration would recommend another proposal that is similar. Mr. Szymczak states that approval of applications is always at Council's discretion.

Councillor Marginani inquires whether the four units will be severed. Ms. Radulescu states that that is unknown currently and that the application only entails the Zoning By-Law and Official Plan Amendments.

Councillor Francis states he cannot support the recommendation as the characteristics of the neighbourhood will change and create a precedence with future developments.

Moved by: Councillor Fred Francis
Seconded by Member Anthony Arbour

THAT the application for OPA and Rezoning – Generation Development Contractors Inc. – 3930 & 3950 Sixth Concession Road – OPA 185 OPA/7185 Z-008/24 ZNG/7184 - Ward 9 BE DENIED.

The motion is put and is lost.

Aye votes: Councillors Fred Francis, Mark McKenzie, Angelo Marignani and Member Anthony Arbour.

Nay votes: Councillors Kieran McKenzie and Jim Morrison and Members Daniel Grenier and Robert Polewski.

Absent: None.

Abstain: None.

Councillor Kieran McKenzie opposes the motion and acknowledges the challenges of road infrastructure in the area, and states that traffic impact is negligible based on the TIS and the low impact of twenty-four units based on the studies conducted with little impact on surrounding neighbourhoods.

Chair Morrison opposes the motion.

The Recommendation in report S 66/2024 is moved by: Councillor Kieran McKenzie
Seconded by: Member Daniel Grenier

The motion is put and is lost.

Aye votes: Councillors Kieran McKenzie and Jim Morrison and Members Daniel Grenier and Robert Polewski.

Nay votes: Councillors Fred Francis, Mark McKenzie, Angelo Marignani and Member Anthony Arbour.

Absent: None.

Moved by: Councillor Angelo Marignani

Seconded by: Member Anthony Arbour

Decision Number: DHSC 621

That the report of the Planner II – Development dated May 16, 2024 entitled “OPA and Rezoning – Generation Development Contractors Inc. – 3930 & 3950 Sixth Concession Road – OPA 185 OPA/7185 Z-008/24 ZNG/7184 - Ward 9” BE RECEIVED.

Carried.

Decision Number: **DHSC 621**

1. THAT Schedule “A” of Volume I: The Primary Plan of the City of Windsor Official Plan **BE AMENDED** by designating Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726 (Roll No. 070-150-00801, 070-150-23126), situated on the north side of Ducharme Street, east of Sixth Concession Road, and known municipally as 3930 and 3950 Sixth Concession Road, as a Special Policy Area.

2. THAT Chapter 1 in Volume II: Secondary Plans and Special Policy Areas of the City of Windsor Official Plan **BE AMENDED** by adding a new Special Policy Area as follows:

1.X NORTHEAST CORNER OF SIXTH CONCESSION ROAD AND DUCHARME STREET

<i>Location</i>	1.X.1	The property described as Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726, situated at the northeast corner of Sixth Concession Road and Ducharme Street is designated on Schedule A: Planning Districts and Policy Areas in Volume I - The Primary Plan.
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<i>Additional Permitted Uses</i>	1.X.2	Notwithstanding the “Low Profile Residential” land use designation on Schedule NR2-7: Land Use Designations and the Low Profile Residential policies in Section 3.7.2 of the North Roseland Planning Area, a townhome dwelling or
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multiple dwelling having a maximum building height of 11 m shall be an additional permitted use.

3. THAT Zoning By-law 8600 **BE AMENDED** by changing the zoning of Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726; Roll No: 070-150-00801 and 070-150-23126, situated on the north side of Ducharme St, east of Sixth Concession Rd, and known municipally as 3930 and 3950 Sixth Concession Road, further identified as Parts 1, 2 and 3 on the draft reference plan attached as Appendix A to Report S 66/2024, by adding the following site specific exception:

502. NORTHEAST CORNER SIXTH CONCESSION ROAD AND DUCHARME STREET

For the lands described as Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726, the following additional provisions shall apply:

- 1) The following are an additional permitted *main use*:
 - Multiple Dwelling*
 - Townhome Dwelling*
- 2) The following additional provisions shall apply to an additional permitted *main use*:
 - a) Notwithstanding the definition of “*front lot line*” in Section 3, for the purpose of the additional provisions below, the *exterior lot line* adjacent to Sixth Concession Road shall be deemed to be the *front lot line*.
 - b) Dwelling units – maximum 24
 - c) Lot Width – minimum 20.0 m
 - d) Lot Area – minimum 135 m² per unit
 - e) Lot Coverage – maximum 45% of *lot area*
 - f) Main Building Height – maximum 11.0 m
 - g) Front Yard Depth – minimum 4.5 m
 - h) Rear Yard Depth – minimum 7.5 m
 - i) Side Yard Width – minimum 2.5 m
 - j) Gross Floor Area – *Main Building* – maximum 3,900 m²
 - k) Notwithstanding Section 25.5.10.1, tandem parking spaces are permitted.

- m) Notwithstanding Section 25.5.20.1.5, the minimum parking area separation from a *building* wall in which is located a main pedestrian entrance facing the *parking area* shall be 0.0 m.
- n) Notwithstanding Section 25.5.20.1.6, where a *building* is located on the same *lot* as the *parking area*, for that portion of a *building* wall not containing a *habitable room window* within 4.0 m of the *ground*, the minimum parking area separation from that portion of the *building* wall shall be 0.0 m.
- p) Sections 5.11.5 and 24.40 shall not apply.

Carried.

Report Number: S 66/2024

Clerk's File: Z/14777 & Z/14779

CITY OF WINDSOR COUNCIL MEETING:

A meeting of City Council was held on September 23, 2024, at which time the recommendations of the DHSC were considered (Report Number: S 66/2024). Below is an extract from the minutes of the meeting:

Marc Masotti, Masotti Group, Mike Davis, Siv-ik Planning & Design Inc., and Andi Shallvari

Marc Masotti, Masotti Group, Mike Davis, Siv-ik Planning & Design Inc., and Andi Shallvari appear before City Council regarding the administrative report dated May 16, 2024, entitled "OPA and Rezoning – Generation Development Contractors Inc. – 3930 & 3950 Sixth Concession Road – OPA 185 OPA/7185 Z-008/24 ZNG/7184 - Ward 9" and provide a brief history of the Masotti group background and their impact in the development of Windsor-Essex including past developments in the area and the proposed development.

Satvir Sandhu, area resident

Satvir Sandhu appears before City Council and expresses concern with the recommendation in the administrative report dated May 16, 2024, entitled "OPA and Rezoning – Generation Development Contractors Inc. – 3930 & 3950 Sixth Concession Road – OPA 185 OPA/7185 Z-008/24 ZNG/7184 - Ward 9" and concludes by outlining details related to safety risks, privacy, lack of proper infrastructure, and compatibility of the neighbourhood.

Dan Bussey, area resident

Dan Bussey appears before City Council and expresses concern with the recommendation in the administrative report dated May 16, 2024, entitled "OPA and Rezoning – Generation Development Contractors Inc. – 3930 & 3950 Sixth Concession Road – OPA 185 OPA/7185 Z-008/24 ZNG/7184 - Ward 9" and concludes by providing specific details related to safety risks for pedestrians, cyclists, and drivers, privacy, lack

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of proper infrastructure and traffic calming measures, and compatibility and continuity of the neighbourhood.

Suzanne DeFroy, area resident

Suzanne DeFroy appears before City Council and expresses concern with the recommendation in the administrative report dated May 16, 2024, titled “OPA and Rezoning – Generation Development Contractors Inc. – 3930 & 3950 Sixth Concession Road – OPA 185 OPA/7185 Z-008/24 ZNG/7184 - Ward 9” and concludes by providing information related to safety risks, privacy, lack of proper infrastructure, density, and compatibility of the neighbourhood.

Moved by: Councillor Fred Francis

Seconded by: Councillor Mark McKenzie

That the application for Official Plan Amendment and Rezoning – Generation Development Contractors Inc.– 3930 & 3950 Sixth Concession Road BE DENIED.

The motion is put and is lost.

At the request of Councillor Jim Morrison, a recorded vote is taken on this matter.

Aye votes: Councillors Kieran McKenzie, Gary Kashack, Fred Francis and Mark McKenzie.

Nay votes: Councillors Angelo Marignani, Jo-Anne Gignac, Renaldo Agostino, Jim Morrison, Fabio Costante, Ed Sleiman, and Mayor Drew Dilkens.

Abstain: None.

Abstain: None.

Moved by: Councillor Jim Morrison

Seconded by: Councillor Fabio Costante

Decision Number: CR423/2024 DHSC 621

1. That Schedule “A” of Volume I: The Primary Plan of the City of Windsor Official Plan **BE AMENDED** by designating Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726 (Roll No. 070-150-00801, 070-150-23126), situated on the north side of Ducharme Street, east of Sixth Concession Road, and known municipally as 3930 and 3950 Sixth Concession Road, as a Special Policy Area.

2. That Chapter 1 in Volume II: Secondary Plans and Special Policy Areas of the City of Windsor Official Plan **BE AMENDED** by adding a new Special Policy Area as follows:

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1.X NORTHEAST CORNER OF SIXTH CONCESSION ROAD AND DUCHARME STREET

- LOCATION* 1.X.1 The property described as Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726, situated at the northeast corner of Sixth Concession Road and Ducharme Street is designated on Schedule A: Planning Districts and Policy Areas in Volume I - The Primary Plan.
- ADDITIONAL PERMITTED USES* 1.X.2 Notwithstanding the “Low Profile Residential” land use designation on Schedule NR2-7: Land Use Designations and the Low Profile Residential policies in Section 3.7.2 of the North Roseland Planning Area, a townhome dwelling or multiple dwelling having a maximum building height of 11 m shall be an additional permitted use.

3. THAT Zoning By-law 8600 **BE AMENDED** by changing the zoning of Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726; Roll No: 070-150-00801 and 070-150-23126, situated on the north side of Ducharme St, east of Sixth Concession Rd, and known municipally as 3930 and 3950 Sixth Concession Road, further identified as Parts 1, 2 and 3 on the draft reference plan attached as Appendix A to Report S 66/2024, by adding the following site specific exception:

502. NORTHEAST CORNER SIXTH CONCESSION ROAD AND DUCHARME STREET

For the lands described as Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726, the following additional provisions shall apply:

- 1) The following are an additional permitted *main use*:
 - Multiple Dwelling*
 - Townhome Dwelling*
- 2) The following additional provisions shall apply to an additional permitted *main use*:
 - a) Notwithstanding the definition of “*front lot line*” in Section 3, for the purpose of the additional provisions below, the *exterior lot line*

adjacent to Sixth Concession Road shall be deemed to be the *front lot line*.

- b) Dwelling units – maximum 24
- c) Lot Width – minimum 20.0 m
- d) Lot Area – minimum 135 m² per unit
- e) Lot Coverage – maximum 45% of *lot area*
- f) Main Building Height – maximum 11.0 m
- g) Front Yard Depth – minimum 4.5 m
- h) Rear Yard Depth – minimum 7.5 m
- i) Side Yard Width – minimum 2.5 m
- j) Gross Floor Area – *Main Building* – maximum 3,900 m²
- k) Notwithstanding Section 25.5.10.1, tandem parking spaces are permitted.
- m) Notwithstanding Section 25.5.20.1.5, the minimum parking area separation from a *building* wall in which is located a main pedestrian entrance facing the *parking area* shall be 0.0 m.
- n) Notwithstanding Section 25.5.20.1.6, where a *building* is located on the same *lot* as the *parking area*, for that portion of a *building* wall not containing a *habitable room window* within 4.0 m of the *ground*, the minimum parking area separation from that portion of the *building* wall shall be 0.0 m.
- p) Sections 5.11.5 and 24.40 shall not apply.

Carried.

Councillors Kieran McKenzie, Fred Francis, and Mark McKenzie voting nay.

Moved by: Councillor Kieran McKenzie

Seconded by: Councillor Mark McKenzie

Decision Number: CR429/2024

That Administration BE DIRECTED to bring forward a capital infrastructure investment plan identified in the Environmental Assessment along the 6th Concession and North Talbot corridor in the 2025 capital budget.

Carried

Councillors Jim Morrison, Jo-Anne Gignac and Ed Sleiman voting nay.

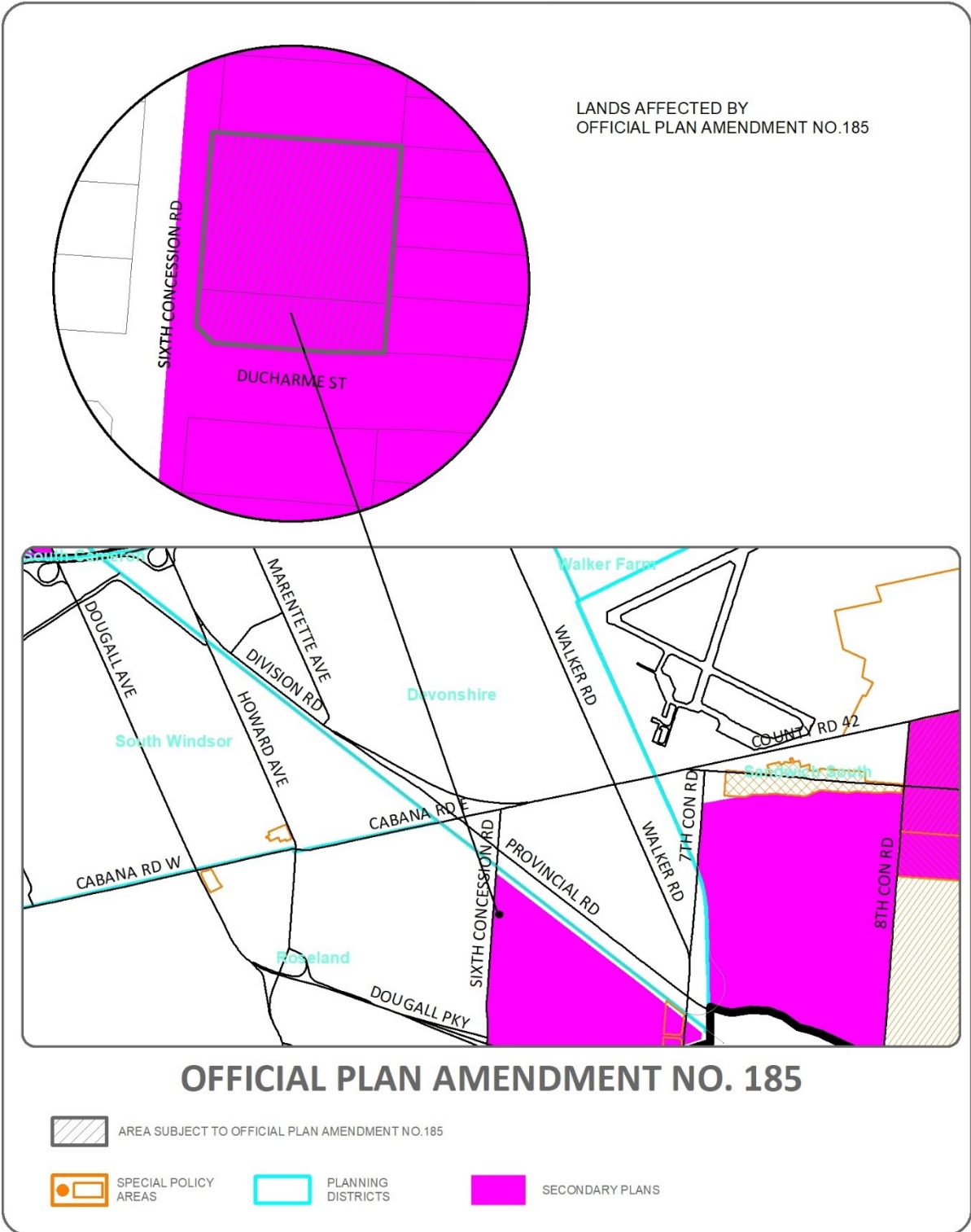
Report Number: SCM 187/2024 & S 66/2024

Clerk's File: Z/14777 & Z/14779

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SCHEDULE A

LANDS AFFECTED BY
OFFICIAL PLAN AMENDMENT NO.185



BY-LAW NUMBER 157-2024

A BY-LAW TO FURTHER AMEND BY-LAW NUMBER 8600 CITED AS THE "CITY OF WINDSOR ZONING BY-LAW"

Passed the 28th day of October, 2024.

WHEREAS it is deemed expedient to further amend By-law Number 8600 of the Council of The Corporation of the City of Windsor, cited as the "City of Windsor Zoning By-law" passed the 31st day of March, 1986, as heretofore amended:

THEREFORE the Council of the Corporation of the City of Windsor enacts as follows:

1. That subsection 1 of Section 20, of said by-law, is amended by adding the following clause:

502. NORTHEAST CORNER SIXTH CONCESSION ROAD AND DUCHARME STREET

For the lands described as Part of Lot 14, Concession 6, Sandwich East and Part 3, Plan 12R-14860 (PIN 01560-0993), and Lot 104, Plan 12M-524 (PIN 01560-2471), further identified as Parts 1, 2, and 3, Plan 12R-28726, the following additional provisions shall apply:

- 1) The following are an additional permitted *main use*:
 - Multiple Dwelling*
 - Townhome Dwelling*
- 2) The following additional provisions shall apply to an additional permitted *main use*:
 - a) Notwithstanding the definition of "*front lot line*" in Section 3, for the purpose of the additional provisions below, the *exterior lot line* adjacent to Sixth Concession Road shall be deemed to be the *front lot line*.
 - b) Dwelling units – maximum 24
 - c) Lot Width – minimum 20.0 m
 - d) Lot Area – minimum 135 m² per unit
 - e) Lot Coverage – maximum 45% of *lot area*
 - f) Main Building Height – maximum 11.0 m
 - g) Front Yard Depth – minimum 4.5 m
 - h) Rear Yard Depth – minimum 7.5 m
 - i) Side Yard Width – minimum 2.5 m
 - j) Gross Floor Area – *Main Building* – maximum 3,900 m²
 - k) Notwithstanding Section 25.5.10.1, tandem parking spaces are permitted.
 - m) Notwithstanding Section 25.5.20.1.5, the minimum parking area separation from a *building wall* in which is located a main pedestrian entrance facing the *parking area* shall be 0.0 m.

- n) Notwithstanding Section 25.5.20.1.6, where a *building* is located on the same *lot* as the *parking area*, for that portion of a *building* wall not containing a *habitable room window* within 4.0 m of the *ground*, the minimum parking area separation from that portion of the *building* wall shall be 0.0 m.
 - p) Sections 5.11.5 and 24.40 shall not apply.
- [ZDM 13; ZNG/7184]

2. The said by-law is further amended by changing the Zoning District Maps or parts thereof referred to in Section 1, of said by-law and made part thereof, so that the lands described in Column 3 are delineated by a broken line and further identified by the zoning symbol shown in Column 5:

1. Item Number	2. Zoning District Map Part	3. Lands Affected	4. Official Plan Amendment Number	5. Zoning Symbol
1	13	CON 6 PT LOT 14, Sandwich East, RP 12R14860 PART 3 (PIN 01560-0993); and Lot 104, Plan 12M-524 (PIN 01560-2471), Parts 1, 2, and 3, Plan 12R-28726 (located on the north side of Ducharme St, east of 6th Concession Rd)	185	S.20(1)502

DREW DILKENS, MAYOR

CITY CLERK

First Reading - October 28, 2024
 Second Reading - October 28, 2024
 Third Reading - October 28, 2024

BY-LAW NUMBER 158-2024

A BY-LAW TO FURTHER AMEND BY-LAW NUMBER 8600 CITED AS THE "CITY OF WINDSOR ZONING BY-LAW"

Passed the 28th day of October, 2024.

WHEREAS it is deemed expedient to further amend By-law Number 8600 of the Council of The Corporation of the City of Windsor, cited as the "City of Windsor Zoning By-law" passed the 31st day of March, 1986, as heretofore amended:

THEREFORE the Council of the Corporation of the City of Windsor enacts as follows:

1. That subsection 1 of Section 20, of said by-law, is amended by adding the following clause:

512. NORTHEAST CORNER OF ALBERT ROAD AND RICHMOND STREET

For the lands comprising of Lot 106, Plan 865; the following additional regulations shall apply:

- 1) The following are an additional permitted *main use*:

One *Multiple Dwelling* containing a maximum of four *dwelling units*

- 2) The following additional provisions shall apply to an additional permitted *main use*:

- a) Lot Width – minimum 9.0 m
- b) Lot Area – minimum 327.0 m²
- c) Lot Coverage – maximum 55%
- d) Main Building Height – maximum 7.60 m
- e) Front Yard Depth – minimum 4.5 m
- f) Rear Yard Depth – minimum 7.5 m
- g) Side Yard Width – minimum 0.25 m
- h) Gross Floor Area – *Main Building* – maximum 364 m²
- i) Notwithstanding Section 5.2.20.20, a refuse bin shall be stored in a required *rear yard*.
- j) Notwithstanding section 24.20.5., three parking spaces shall be provided.
- k) Section 24.30.20.3.2 shall not apply

2. That Section 95.20, of said by-law, is amended by adding the following clause:

- (10) a) Conveyance of a 4.6 m by 4.6 m corner cut-off at the northeast corner of Albert Road and Richmond Street to the satisfaction of the City Engineer.

[ZDM 6; ZNG/7215]

3. The said by-law is further amended by changing the Zoning District Maps or parts thereof referred to in Section 1, of said by-law and made part thereof, so that the lands described in Column 3 are delineated by a broken line and further identified by the zoning symbol shown in Column 5:

1. Item Number	2. Zoning District Map Part	3. Lands Affected	4. Official Plan Amendment Number	5. Zoning Symbol
1	6	Lot 106, Plan 865 (located on the northeast corner of Albert Road and Richmond Street)	N/A	RD1.3, S.20(1) H(10)512

This by-law shall come into force and take effect on the day of the final passing thereof.

DREW DILKENS, MAYOR

CITY CLERK

First Reading - October 28, 2024
 Second Reading - October 28, 2024
 Third Reading - October 28, 2024

BY-LAW NUMBER 159-2024

A BY-LAW TO DESIGNATE THE LANDS AND PREMISES SITUATE WITHIN
THE CITY OF WINDSOR, MUNICIPALLY KNOWN AS 1958-1998
WYANDOTTE STREET EAST, TO BE OF CULTURAL HERITAGE VALUE OR
INTEREST UNDER THE PROVISIONS OF THE ONTARIO HERITAGE ACT,
R.S.O. 1990, CHAPTER O.18, AS AMENDED

Passed the 28th day of October, 2024.

WHEREAS by virtue of the provisions of the Ontario Heritage Act, R.S.O. 1990, Chapter O.18, as amended, the Council of a municipality may, by by-law, designate a property within the municipality to be of cultural heritage value or interest.

AND WHEREAS upon consideration of the recommendation of the Development & Heritage Standing Committee, The Corporation of the City of Windsor deems it desirable and expedient to designate the lands municipally known as *1958-1998 Wyandotte Street East*, more particularly described in Schedule "A" annexed hereto and forming part of this by-law (the subject lands), to be of cultural heritage value or interest, for the reasons stated in Schedule "B" annexed hereto and forming part of this by-law.

AND WHEREAS notice of intention to so designate the subject lands, was served on the owner(s) of the said subject lands and upon the Ontario Heritage Trust and such notice was published in a newspaper having general circulation in the municipality, on the 17th day of August, 2024.

AND WHEREAS no Notice of Objection has been served on the Clerk of the Municipality within thirty (30) days after the date of publication of the Notice of Intention in a newspaper having general circulation in the municipality.

THEREFORE the Council of the Corporation of the City of Windsor enacts as follows:

1. That the lands municipally known as *1958-1998 Wyandotte Street East*, more particularly described in said Schedule "A" annexed hereto, be and the same is hereby designated to be of cultural heritage value or interest, for the reasons stated in said Schedule "B" annexed hereto.

2. This by-law shall come into force and take effect after the final passing thereof on the day upon which it is electronically registered in the Land Registry Office for the County of Essex (No. 12), if no appeals are received after 30 days of the publication of the bylaw.

DREW DILKENS, MAYOR

CITY CLERK

First Reading - October 28, 2024
Second Reading - October 28, 2024
Third Reading - October 28, 2024

SCHEDULE "A"

LT 8 BLK F PL 211 SANDWICH EAST; LT 10 BLK F PL 211 SANDWICH EAST
SUBJECT TO AN EASEMENT OVER PART LT 8 BLK F PL 211 SANDWICH
EAST; DESIGNATED AS PART 1 ON PLAN 29098 AS IN CE1131829 CITY OF
WINDSOR

1958-1998 Wyandotte Street East

SCHEDULE "B"

Statement of Cultural Heritage Value and Interest Strathcona Building 1958-1998 Wyandotte Street East

Description of Historic Place:

The Strathcona Building is a two-storey commercial building located at 1958-1998 Wyandotte Street East, on the prominent corner of Devonshire Road and Wyandotte Street East. It was constructed in 1907 for Hiram Walker & Sons and was designed by Detroit architect Albert Kahn during the Edwardian Period. The Strathcona Building features red brick facades with purple undertones, an articulated parapet, ornate cornices, pronounced window projections, decorative stone surrounds, and storefronts.

Design/Physical value:

The Strathcona Building is a two-storey commercial building designed during the Edwardian Period. The building features a balanced design, with an articulated stone parapet raised at corners. The pediment at Wyandotte Street includes a stone plate etched with the work "Strathcona", while the arched parapet portions feature shield-shaped stone accents. A single row of rowlock brick beneath the stone capping reinforced the parapet design. The second-floor ornate cornice stretches across the street-facing elevation. Four bay windows with brackets, interspaced with double and triple sets of sash windows with pronounced projections, provide texture and variety to the facade. The cornice pattern repeats above the storefront system, and together with soldier brick course on the sides, delineates between floors.

Two entrances with arched cut stone voussoirs, keystone, and surrounds were constructed and retained on the Wyandotte elevation. The original 1906 drawings show the storefront system wrapping around the corner of Devonshire Road, truncated below the first bay window of the corner, some recessed ground floor entrances with ornate doors, and decorative brick pattern on the east façade. These features were either not constructed per drawing or later modified.

One of the greatest impacts from the redevelopment is the removal of paint from the brick façade, which revealed the stretcher red brick façade with purple undertones. The parapet was flashed over. Bay windows are reintroduced as aluminum glazing systems without the vertical muntin's. As with the main-street appropriate storefront systems, transoms were returned. The new black insulated aluminum panel storefront system is compatible to the original wood glass storefront (long-gone). The openings on the ground floor west elevations still feature stone sills. Awnings and new compatible signage have been proposed on the property. The rear north elevation had a variety of openings of irregular rhythm and are replaced with some new glazing or painted black metal pan. Due to the porous nature of the brick on the rear elevation on the west side, the Owners commissioned a wall mural limited to that location.

Historical/Associative Value

The subject property is located in the former Town of Walkerville, founded by Hiram Walker (1816-1899), the industrial entrepreneur from the United States. What is now Southwestern Ontario was inhabited by First Nations peoples, including the Ottawas. Following unsuccessful attempts to resist the French newcomers (who had settled earlier than the British), the Ottawa leader Pontiac granted lands to the settlers in the vicinity of what became Walkerville. By the mid 1850's, Hiram Walker had bought several farm parcels. Walkerville was a planned community, almost entirely owned by the Walker family until the early 20th century.

As Hiram Walker's distillery business prospered, he developed the first five north-south streets of Walkerville starting from the First Street (now Kildare Road) and east-west streets starting from Sandwich Street (now Riverside Drive). Development generally occurred systematically on north-south streets from Walker Road on the east to streets further west, and southward. Ferry services,

rail lines, and street railways introduced by Walker spurred the growth of the distillery village further into a town with diversified businesses.

By 1890, Walkerville had obtained town status and was a self-sufficient model town. The Walker family separated the distillery and other industrial uses from commercial and residential uses and engaged distinguished architects to design the early development in the community.

The subject property is located within Registered Plan 211, one of the earliest subdivision plans registered in 1879, creating lots from First (Kildare Road) to Fifth Streets (Walker Road) and from the Greatest Western Railway to Cataraqui Street. The subject building is located on Lot 10 of Block F, and like many of the vacant lots during the early 1900's, the property was originally owned by Hiram Walker and was transferred to the Walkerville Land & Building Co. (W. L. & B. Co.) with Edward Chandler Walker, Hiram Walker's oldest son, as president. After Hiram Walker's death in 1899, the remaining Walkers & associated companies led the second phase of development of the former Town of Walkerville. Devonshire Road was the main north-south street in Walkerville, while Wyandotte Street was the commercial "main street" lined with a mixture of residential dwellings, commercial block buildings, and prominent banks.

Early Tenants and Uses

The Strathcona Building was designed in 1906 and constructed in 1907 as "Stores for Walker Sons" (Strathcona Original Drawings). In a newspaper clipping from the Windsor Evening Record dated March 20, 1907, the building was referred to as the "new Walker block" and was anticipated to be "one of the handsomest business blocks in the town" when finished. The original architectural drawings show four commercial storefront units on the main floor and offices and a library on the second floor. The building finished construction c. April 1907. Upon completion, two established businesses moved in - F.J. Miller (druggist) and R.A. Holland (dry goods). Both businesses had moved from the Crown Inn on Devonshire Road. In July 1907, it was publicly announced in the Windsor Evening Record that the new building will be called "Strathcona Block".

Early tenants of the Strathcona Building include Walkerville Hardware Co., Nairn & Co. Grocers, and F.J. White (jeweler and dry goods) on the main floor and the Walkerville Public Library on the second floor. The Walkerville Public Library occupied the second floor of the Strathcona Building from its completion in 1907 until 1922, when the library moved to the main floor of Willistead Manor which had then become the property of the Town. After the library vacated the second floor space of the Strathcona Building, it was commonly used as a community gathering and event space for various local organizations' chapters, such as the Sons of England, the Women of Mooseheart, and the Walkerville Football Club.

Another notable tenant during the building's early years was longtime tenant Lanspeary's Ltd. (druggist), and the offices of architects Stahl and Kinsey (construction supervisors of the Bank of Montreal building, 1799 Wyandotte).

Later Tenants and Uses

Through the decades after, the primary uses of the building largely remained a mix of commercial and offices. Some of the uses included: communications/telegraph offices, real estate offices, and printing and stationary services. Post mid-century, the uses changed to become more manufacturing in nature, including a cutting tools machine specialist and an industrial safety supply store. The Strathcona Building remains a valued commercial office building within Walkerville.

Architect Albert Kahn

The design of the Strathcona Building is attributed to the internationally recognized architect Albert Kahn. Although he was most famous for being a leading industrial architect, Kahn's portfolio of works includes a variety of office, commercial, public, and residential buildings. His elaborate designs and details are based in the use of historical period architectural styles, and he was best remembered for bringing natural light into industrial buildings during the auto manufacturing boom.

Kahn was a significant architect in the design of the former Town of Walkerville. While employed with Detroit firm Mason & Rice Architects, Kahn designed the beautiful interior of the Hiram Walker & Sons Office Building, which was instrumental in showcasing his talent and elevating his career. He started up his own firm "Kahn and Associates" in 1895 and was based in Detroit. The Walker family and company were major patrons of his services, and he was their choice architect commissioned to design notable properties for them. Properties designed by Kahn and Associates for the Walkers include the Willistead Manor (1899 Niagara Street), the Harrington Walker Manor (1948 St Mary's Gate), Walkerville Town Hall, and the Canadian Bank of Commerce. Kahn was responsible for the design of several listed or designated properties on Windsor's Municipal Heritage Register.

Throughout his career, he was credited with over 1000 buildings. Some of his most celebrated works in the United States are the Fisher Building, the Conservatory on Belle Isle, the Edsel and Eleanor Ford House, and the Detroit Athletic Club.

CONTEXTUAL VALUE

The Strathcona Building is a long-standing landmark and is highly visible from its location on the corner of Devonshire Road and Wyandotte Street East. It is evocative of the early "main street" streetscape of the former Town of Walkerville and supports the heritage main street character of Wyandotte Street East. The Strathcona Building was strategically located a short distance away from the historic Detroit-Walkerville Ferry Terminal docks and the Pere Marquette train station. It also reflects the supremacy of Wyandotte Street East as the commercial area for the Town since the early twentieth century, where the Strathcona Building was located along with several other banks and heritage buildings. The subject property is a notable example of early commercial buildings constructed within the core areas of Walkerville and reflects the early economic prosperity of the former Town of Walkerville and the growing commercial needs of residents.

Heritage Attributes:

Exterior attributes that contribute to the design/physical value of the Strathcona Building:

- Built in 1907
- Two-storey building of stretcher red brick with purple undertones.
- Edwardian period commercial building, featuring:
 - o Articulated stone parapet raised at corners, with single course rowlock brick beneath reinforcing parapet design.
 - o Pediment at Wyandotte Street includes stone plate with “Strathcona” etching.
 - o Arched parapet features shield-shaped stone accents; two on Wyandotte St. E. elevation and one on Devonshire Rd. elevation.
 - o Second floor ornate cornice which stretched across the street facing elevations above openings.
 - o Four bay windows with brackets, interspaced with double and triple sets of sash windows with pronounced projections.
 - o Originally wood sash windows with vertical muntins.
 - o Ornate cornice above the storefront system.
 - o Soldier brick course delineating between floors.
 - o Two of the entrances with arched cut stone voussoirs, keystone, and surround.
 - o Storefront glazing with transom glass.
 - o Stone sills at west elevation ground floor openings and north elevation.

Attributes that contribute to the historical or associative value of the Strathcona Building:

- Developed during a time of early economic prosperity and rapid growth for the former Town of Walkerville to accommodate the growing commercial and community needs of residents.
- Owned by the Walkerville Land & Building Company, the real estate arm of the Walker Enterprise and main developer and landholder of the former Town of Walkerville.
- Designed by internationally renowned and locally significant architect Alber Kahn.

Attributes that contribute to the contextual value of the Strathcona Building:

- Landmark building located at the highly visible corner on the northwest of Devonshire Road and Wyandotte Street East, two historic “main streets”.
- Supports the continuous commercial street frontage, physically, visually, and historically linked to many heritage buildings along the Wyandotte Street East Main Street, forming a major part of the former Town of Walkerville streetscape.

BY-LAW NUMBER 160-2024

A BY-LAW TO CONFIRM PROCEEDINGS OF THE COUNCIL OF THE CORPORATION OF THE CITY OF WINDSOR AT ITS MEETING HELD ON THE 28TH DAY OF OCTOBER, 2024

Passed the 28th day of October, 2024.

WHEREAS it is deemed expedient that the proceedings of the Council of The Corporation of the City of Windsor at this meeting be confirmed and adopted by by-law;

THEREFORE the Council of the Corporation of the City of Windsor enacts as follows:

1. The action of the Council of The Corporation of the City of Windsor in respect to each recommendation contained in the Report/Reports of the Committees and the local Boards and Commissions and each motion and resolution passed and other action taken by the Council of The Corporation of The City of Windsor at this meeting is hereby adopted and confirmed as if all such proceedings were expressly in this by-law.

2. The Mayor and the proper officials of The Corporation of the City of Windsor are hereby authorized and directed to do all things necessary to give effect to the action of the Council of The Corporation of the City of Windsor referred to in the preceding section hereof.

3. The Mayor and the City Clerk are authorized and directed to execute all documents necessary in that behalf and to affix thereto the seal of The Corporation of the City of Windsor.

This by-law shall come into force and take effect on the day of the final passing thereof.

DREW DILKENS, MAYOR

CITY CLERK

First Reading - October 28, 2024
Second Reading - October 28, 2024
Third Reading - October 28, 2024

Item No. 18.1



Council Questions: SCM 317/2024

Subject: Summary of Outstanding Council Questions as of October 16, 2024

As of October 16, 2024

OUTSTANDING COUNCIL QUESTIONS

Just a reminder that this is quoted from the 2004 Council report:

“overdue Council Questions (i.e., outstanding for 30 days or more) be responded to immediately.”

Outstanding:

2020 – 3
2021 – 3
2022 – 1
2023 – 13
2024 – 30

2020

Total Outstanding: 3

COUNCIL MEMBER		QUESTION – ISSUES RAISED	
Kieran McKenzie	Comm. Human Health & Services and Comm. Economic Development	CQ4-2020 That Administration prepare a comparative analysis of the Affordable Housing frameworks and incentives that are in place in comparable municipalities. To the extent that the data is available the analysis should consider all forms of affordable housing and the composition of the affordable housing marketplace in the communities analyzed. SS2020 (February 3, 2020)	Type of Response Required -Written Report
Fabio Costante	Comm. Corporate Services (Executive Director Human Resources)	CQ17-2020 It is important that we recognize and acknowledge the historic and systemic nature of racism and discrimination in our country and our City. We understand that to move forward and promote equity and eliminate anti-racism requires reaching out to and hearing from the voices of those in our community and Corporation most impacted by discrimination and racism. In this pursuit, it is also essential that we work towards having a Corporation that is representative of the people it serves and that everyone is treated with respect. As such, I am	Type of Response Required -Written Report

		<p>seeking the input and recommendations of Administration and our Diversity Advisory Committee on the viability of:</p> <ol style="list-style-type: none"> 1. Including community-led consultations on systemic racism, under Phase 2 of the City of Windsor Diversity and Inclusion Initiative. 2. Seeking the input of those in our Corporation and related entities and our community most affected by racism and discrimination, regarding barriers to hiring and advancement in our Corporation and related entities as part of the Diversity and Inclusion Initiative. 3. Including recommendations and input regarding providing historical information and educational materials for City owned statues, buildings and streets named with racist histories as part of the Diversity and Inclusion Initiative, and further developing a plan for inclusive street and property naming practices in the future. <p>APM2020 (July 13, 2020)</p>	
McKenzie	Comm. Economic Development	<p>CQ32-2020</p> <p>That Administration review and report back to Council on tree protection and replacement policies as it relates to the City of Windsor’s land development bylaws. The review should include information pertaining to replacement ratios and the mechanisms by which trees are protected and required to be protected through the development process as well as the extent to which development is impacting the total tree count under our current framework along with options for Council to consider in terms of protecting trees and increasing tree cover through land development policy.</p> <p>SRT2020 (December 7, 2020)</p>	<p>Type of Response Required -Written Report</p>

Total Outstanding: 3

COUNCIL MEMBER		QUESTION – ISSUES RAISED	
Jo-Anne Gignac	Comm. Corporate Services (Executive Director of Human Resources)	<p>CQ7-2021 Asking Administration to provide a report to Council outlining the policy that regulates procedures after an accident involving City vehicles and any amendments they might propose to update it.</p> <p>ACD2021 & AL2021 18.2 (March 29, 2021)</p>	<p>Type of Response Required -Written Report</p>
Kieran McKenzie	Comm. Corporate Services	<p>CQ17-2021 Asks that, to promote greater public safety for all people, that Administration work to develop a by-law for Council consideration to provide the City of Windsor with additional tools within the licensing framework for enforcement agencies to address unsafe and illicit activity in hotels and motels across the community that create dangerous and undesirable situations for motel guests, neighbours, and community members alike. The bylaw development process should include consultation process with industry stakeholders and social service providers, social agencies and health providers from both within and external to the City of Windsor as well as any other stakeholder group deemed appropriate by Administration.</p> <p>AB2021 & MH2021 18.1 (July 26, 2021)</p>	<p>Type of Response Required -Written Report</p>
Jo-Anne Gignac	Comm. Economic Development	<p>CQ26-2021 Asks that Administration research what municipal zoning bylaws may be in place in other municipalities in Ontario or across Canada that regulate Cannabis retail outlets/consumption areas.</p> <p>GP/13047 18.3 (November 1, 2021)</p>	<p>Type of Response Required -Written Report</p>

Total Outstanding: 1

COUNCIL MEMBER		QUESTION – ISSUES RAISED	
Fabio Costante	Comm. Community Services	CQ14-2022 Asks that, as part of the Urban Forest Management Plan, Administration should include information about the following: How a tree is determined to be either public or privately owned. Reason(s) for potential change in ownership status. The impacts of change in ownership status for the municipality and the private property owner with respect to liability, maintenance and replacement costs. ACOQ2022 & SRT2022 (August 8, 2022)	Type of Response Required -Written Report

Total Outstanding: 13

COUNCIL MEMBER		QUESTION – ISSUES RAISED	
Kieran McKenzie	Comm. Economic Development	<p>CQ1-2023</p> <p>Asks that given Council's declaration of a Climate Change Emergency informing the need to address climate change through municipal policy frameworks;</p> <p>And further, given the energy capacity challenges and opportunities faced by our community over the short, medium and long term;</p> <p>That Administration report back to Council with proposals for Council consideration to create a Green Energy Community Energy Plan (CIP) with the goal of creating a favourable energy investment climate for sustainable energy proposals.</p> <p>ACOQ2023 (January 16, 2023)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
Kieran McKenzie	Comm. Economic Development (City Planner)	<p>CQ5-2023</p> <p>Given the significant housing crisis challenging municipalities across Canada, including the City of Windsor</p> <p>And noting, the objective stated by the Government of Ontario to add 1.5 Million home across the province over the next 10 years, including 13,000 in our Community.</p> <p>And Whereas, the City of Windsor has already recognized the benefits of adding housing capacity through Additional Dwelling Units (ADUs) by enacting Planning Act amendments thereby eliminating some barriers to investment.</p> <p>That Administration report back with further options for Council to consider that would include a range of financial tools including (but not necessarily limited to) a targeted Community Improvement Plan or Grant program that would address industry challenges to help promote greater uptake of the opportunity to augment housing stock through investments in ADUs.</p> <p>SS2023 (February 13, 2023)</p>	<p>Type of Response Required</p> <p>-Written Report</p>

Kieran McKenzie	Comm. Corporate Services (City Clerk)	<p>CQ6-2023</p> <p>That, given the City of Windsor’s stated objective in Council’s approved Diversity and Inclusion Initiative to: continually take steps to learn and grow as a community and to recognize that “diversity adds to our strength and creates an important opportunity for fostering understanding, acceptance and innovation”, and,</p> <p>The City’s publicly articulated commitment to an Agency, Board and Committee (ABC) appointments process that is transparent, fair and consistent;</p> <p>That Administration undertake a review of the city’s appointment policy, including a comparison to processes and policies adopted in peer municipalities such as (but not limited to) London, Kitchener and Cambridge and report back with options for Council consideration in terms of best practices or improvements that can be made in the context of Equity, Diversity, Inclusion, Transparency and Accountability.</p> <p>ACO2023 (February 13, 2023)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
Angelo Marignani	Comm. Community Services	<p>CQ10-2023</p> <p>That Administration report back to City Council on a collaboration with Detroit City Council in creating a new International Freedom Festival. This world class civic event will promote international investment while improving the quality of life in our city. It will showcase our rich heritage and shared identity of our two cities. The focal point of this new annual festival will be the new Gordie Howe International Bridge, opening in 2024. There is more than a bridge that connects us and it is in our advantage to strengthen these connections.</p> <p>SR2023 (February 27, 2023)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
Mark McKenzie	Comm. Community Services	<p>CQ12-2023</p> <p>Asks that Administration develop new policies and provide report back to tamp down on “frivolous, dangerous and unreasonable” behaviour at City Hall and other City owned facilities, similar to Essex County Council. Also, report back on feasibility of installing metal detectors at City Hall and WFCU Centre.</p> <p>ACO2023 (May 29, 2023)</p>	<p>Type of Response Required</p> <p>-Written Report</p> <p>Referred to 2025 Budget</p>

Mark McKenzie	Comm. Infrastructure Services	CQ13-2023 Asks Administration re-examine the Driveway Requirement Policy regarding 2.2.1 which deals with not allowing front parking, as well as the Official Plan to allow front driveways with report back to Council. SB2023 & ACOQ2023 (May 29, 2023)	Type of Response Required -Written Report
Gary Kaschak	Comm. Infrastructure Services	CQ14-2023 Asks that Administration investigate the use of rumble strips in an urban environment within the City of Windsor through a pilot installation on Grand Marais Avenue between Plymouth and Pillette Road and that information as to their effectiveness be collected, analyzed and reported back to Council once sufficient data has been collected to determine both the benefits and concerns of their use in an urban setting and that the cost of the pilot be funded through the Expedited Temporary Traffic Calming Program. ST2023 & ACOQ2023 (May 29, 2023)	Type of Response Required -Written Report
Mark McKenzie	Comm. Corporate Services	CQ22-2023 Asks that Administration be directed to provide options on targeted and pro-active enforcement in paved alleys to address garbage, vandalism, encampments, and land maintenance concerns up to and including any possible collaborative efforts that can be initiated with other City departments and resources. ACOQ2023 & ACO2023 (July 10, 2023)	Type of Response Required -Written Report
Angelo Marignani	Comm. Corporate Services (Deputy Licence Commissioner)	CQ23-2023 Asks that administration report back to city council regarding the rise in popularity of smoker barbecues and the nuisance that it causes in the community with air pollution and concerns from neighbors who no longer can enjoy their outdoors as a result of smoke. ACO2023(August 8, 2023)	Type of Response Required -Written Report

Renaldo Agostino	Comm. Infrastructure Services / Comm. Economic Development	<p>CQ26-2023</p> <p>Certain cities across North America have introduced pre-approved housing and primary/secondary/ADU galleries/permits to streamline the process and lower construction costs for residential and accessory dwelling units in order to boost their city's housing supply without dramatically altering neighbourhoods.</p> <p>Raleigh, Stockton and Los Angeles to name a few.</p> <p>The City of Enderby, British Columbia hosted a competition for drawings. The winners' drawings are now for sale by the city to builders for \$1000 each. The drawings are pre-approved and in compliance.</p> <p>Asks that Administration look at these models which could help standardize rules, save time and money and speed up the building of more homes in our city.</p> <p>ACO2023 (September 18, 2023)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
Fred Francis	Comm. Infrastructure Services	<p>CQ29-2023</p> <p>Asks that Administration report back to City Council about a policy regarding capital improvements at city gateways to provide options for further enhancements when budget allotments do not allow for them.</p> <p>ACO2023 (October 30, 2023)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
Jo-Anne Gignac	Comm. Economic Development	<p>CQ33-2023</p> <p>Asks that Administration report back with tools that we, as a municipality, have to protect areas of our city that we have designated or identified, such as historic districts, historic neighbourhoods or even roadways, such as the Riverside Vista, as developments and intensification occurs in order to ensure that these developments compliment these identified areas.</p> <p>ACO2023 (October 30, 2023)</p>	<p>Type of Response Required</p> <p>-Written Report</p>

Renaldo Agostino	Comm. Infrastructure Services	<p>CQ35-2023</p> <p>Recently I've had reports from concerned citizens in regards to the operations from out of town buses. I myself was almost involved in a car accident in-front of the police station where a bus just randomly stopped to drop off passengers. I've also had reports concerning seniors being left out in the cold waiting hours for a bus to pick them up with no shelter. Asks that Administration report back regarding out of town buses not utilizing our bus station and what steps can be taken to motivate them to do so.</p> <p>ACO2023 (October 30, 2023)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
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Total Outstanding: 30

COUNCIL MEMBER		QUESTION – ISSUES RAISED	
Gary Kaschak	Chief Administrative Officer	<p>CQ1-2024 Asking that Administration provide a comprehensive report regarding all of the activities, situations, interactions & ramifications involved that occur within our Municipality from having the two current Federal border crossings & soon to be 3 located in our City. All financials, use of City employees & monies involved with Windsor hosting these Federal border crossings are required to be outlined for City Council.</p> <p>ACO2024 & GF2024 (January 15, 2024)</p>	<p>Type of Response Required -Written Report</p>
Renaldo Agostino	Comm. Infrastructure Services	<p>CQ4-2024 Asks that Administration look into removing parking metres across the city and replacing them with modern technology. I would like to know the costs of upgrading our system and the savings we could realize or any additional revenue sources.</p> <p>ACO2024 (January 15, 2024)</p>	<p>Type of Response Required -Written Report</p>
Mark McKenzie	Comm. Community Services	<p>CQ5-2024 Asks that administration report back with a variety of operating models & options for Lakeview park marina, including potential divestment options.</p> <p>ACO2024 & SR2024 (January 15, 2024)</p>	<p>Type of Response Required -Written Report</p>
Renaldo Agostino	Comm. Infrastructure Services	<p>CQ7-2024 Asks that Administration look into changing some one-way streets downtown back into two-way streets. This has the potential to make our roads safer and bring more business downtown on Pellissier and McDougall, for example.</p> <p>ACO2024 & ST2024 (February 12, 2024)</p>	<p>Type of Response Required -Written Report</p>
Angelo Marignani	Comm. Community Services	<p>CQ12-2024 Asks that Administration consider instituting an annual citizen recognition award in Windsor to honour hard-working individuals who contribute to our community's well-being. This award would celebrate their effort, inspiring others and reinforce our city's values of compassion and dedication.</p> <p>ACO2024 & APR2024 (February 26, 2024)</p>	<p>Type of Response Required -Written Report</p>

Gary Kaschak	Comm. Community Services	CQ13-2024 Asks that Administration prepare a report in regards to the potential of City installing a couple squash courts at a City owned facility for residents to rent & use moving forward. I understand there are no squash courts or facilities any longer in the City. ACO2024 & SR2024 (February 26, 2024)	Type of Response Required -Written Report
Jo-Anne Gignac	Comm. Community Services	CQ16-2024 Asks that Administration provide a report on the feasibility of adding indoor pickle ball courts to our facilities where space allows, utilizing the space as much as possible. ACOQ2024 & SR2024 (March 18, 2024)	Type of Response Required -Written Report
Jo-Anne Gignac	Comm. Economic Development	CQ17-2024 Asks that Administration prepare a report on feasibility of a residential “outdoor lighting by-law”, similar to those in Muskoka, Tecumseh and Lakeshore. ACOQ2024 & AB2024 (March 18, 2024)	Type of Response Required -Written Report
Renaldo Agostino	Comm. Human & Health Services	CQ19-2024 Asks that Administration report back to City Council on the current status of the warming bus initiative, including current statistics and also explore the feasibility of expanding this to a full year service, including all costs and resources required. ACOQ2024 & MT2024 (March 18, 2024)	Type of Response Required -Written Report
Fabio Costante	Comm. Corporate Services	CQ21-2024 Asks that Administration report back on the Short-Term Rental License By-law, what is working and what is not, especially from an enforcement perspective. Further, report back on potential strategies, taking into account what other municipalities are doing, in addition to advocacy proposals to upper level government. ACOQ2024 & ACL2024 (March 18, 2024)	Type of Response Required -Written Report
Kieran McKenzie	Comm. Infrastructure Services	CQ23-2024 Asks that Administration report back to Council on the feasibility, financial and service level implications of adding snow removal services on residential roads for Transit Windsor School Bus Extra routes. ACOQ2024 & SW2024 (March 18, 2024)	Type of Response Required -Written Report

Kieran McKenzie	Comm. Infrastructure Services	<p>CQ25-2024</p> <p>Asks that given the significant public safety and public nuisance concerns raised in our community related to illegal car rallies and excessive noise from motor vehicles;</p> <p>That Administration analyze and report back to Council on all available tools for Council consideration including strengthening bylaws as well as investments in new technologies including camera and sound detection devices and other hardware that can help to address these reckless driving behaviours;</p> <p>And Further that Administration conduct a review of what other municipalities have implemented to address this concern and undertake this analysis in collaboration with the Windsor Police Service and any other pertinent stakeholder.</p> <p>Carried.</p> <p>SP2024 & ACOQ2024 (April 22, 2024)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
Kieran McKenzie	Comm. Infrastructure Services	<p>CQ26-2024</p> <p>Asks that Administration Report back to Council with strategies for Council consideration to address transportation and transit services related challenges in the Twin Oaks Industrial Park.</p> <p>MT2024 & ACOQ2024 (April 22, 2024)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
Kieran McKenzie	Comm. Economic Development	<p>CQ27-2024</p> <p>Asks that given the City of Windsor positioning itself as a global leader in the production of Electric Vehicles, that Administration report back to Council on the City's Electric Vehicle charging capacity in both public and private spaces;</p> <p>And that the Administration propose recommendations for Council consideration to augment that capacity through direct investment, policy/bylaw change or incentive programs in order to further encourage EV adoption across the community.</p> <p>SW2024 & ACOQ2024 (April 22, 2024)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
Renaldo Agostino	Comm. Economic Development	<p>CQ28-2024</p> <p>Asks that Administration report back to examine the opportunities to eliminate or reduce parking requirements for new residential developments in the downtown core.</p> <p>ST2024 & ACOQ2024 (May 13, 2024)</p>	<p>Type of Response Required</p> <p>-Written Report</p>

Angelo Marignani	Comm. Community Services	CQ30-2024 When responding to the CQ 16-2024 regarding indoor pickle ball courts asks that administration report back on limiting Pickleball bookings and making it more open to more users. SR2024 & ACOQ2024 (May 27, 2024)	Type of Response Required -Written Report
Kieran McKenzie	Comm. Infrastructure Services	CQ31-2024 Asks that Administration bring forward a Capital Plan for Council consideration, to construct appropriate cycling facilities along Riverside Drive from Ford Ave. to Strabane Ave. along a concurrent timeline as the Riverside Vista Phase 2A and that the project be funded through the Bikeways Development Fund. SW/8513 & ACOQ2024 (June 10, 2024)	Type of Response Required -Written Report
Kieran McKenzie	Comm. Economic Development	CQ32-2024 Asks that Administration report back on options that will help address scenarios where tenants in rental accommodations in the City of Windsor may be at risk for heat exposure in their dwelling unit. ACO2024 & ACOQ2024 (July 8, 2024)	Type of Response Required -Written Report
Renaldo Agostino	Comm. Economic Development	CQ33-2024 Asks that given over the past month, our downtown has unfortunately seen some long-standing businesses leave their location due to landlord/tenant issues including earlier eviction then may be necessary. Acknowledging that administration is currently undergoing a review of all CIPs, I ask that when the final report comes back, it includes a review of potential CIP options that could help mitigate such situations in the downtown core. ACO2024 & ACOQ2024 (July 8, 2024)	Type of Response Required -Written Report
Angelo Marignani	Comm. Community & Corporate Services	CQ34-2024 Asks that Administration report back to Council on the potential of naming or dedicating one of the currently unnamed storm water ponds found within the Little River Corridor park in recognition of Teachers and Mentors. SR2024 & ACOQ2024 (July 22, 2024)	Type of Response Required -Written Report

Mark McKenzie	Comm. Infrastructure Services	CQ35-2024 Asks that Administration report back to Council on the potential of removing underused street parking meters including, but not limited to, Tecumseh Road East. ST2024 & ACOQ2024 (July 22, 2024)	Type of Response Required -Written Report
Kieran McKenzie	Comm. Infrastructure Services	CQ36-2024 Asks that Administration report back on traffic volumes and public safety at the intersection of Lauzon Parkway and Twin Oaks Drive and propose any mitigation measures that could improve the intersection from both a functionality and public safety standpoint. ST2024 & ACOQ2024 (September 9, 2024)	Type of Response Required -Written Report
Gary Kaschak	Comm. Community & Corporate Services	CQ37-2024 Asks that Administration prepare a report for City Council outlining what it would entail from an Administrative & Financial standpoint to potentially have the similar 'Supie Program' at one Park in all 10 Wards starting in the spring/summer of 2026. The Councillor along with Administration would determine the Ward Park location. SR2024 & ACOQ2024 (September 9, 2024)	Type of Response Required -Written Report
Renaldo Agostino	Comm. Community & Corporate Services	CQ38-2024 Asks that Administration examine the existing sign bylaw to include provisions for temporary graffiti, applied by paint or power washed to create a reverse graffiti look on municipal sidewalks. Additionally, request the administration allows WIFF to install temporary graffiti on the municipal sidewalks under a right-of-way permit from October 1st to November 4th, 2024, notwithstanding the current sign bylaw. ACO2024 & ACOQ2024 (September 9, 2024)	Type of Response Required -Written Report
Jo-Anne Gignac	Comm. Community & Corporate Services	CQ39-2024 Asks Administration for a report on funds that are available for waterfront property that could become parkland. There are two sites in Riverside being brought forward by residents: Shores Park and the former Abars site SR2024 & ACOQ2024 (September 9, 2024)	Type of Response Required -Written Report

Kieran McKenzie	Comm. Community & Corporate Services	<p>CQ40-2024 Asks that Administration report back on the open data frameworks we have at the City of Windsor and report back on best practices observed in comparable communities across Ontario.</p> <p>ACOQ2024 & ACO2024 (September 23, 2024)</p>	<p>Type of Response Required -Written Report</p>
Renaldo Agostino	Comm. Infrastructure Services	<p>CQ 41-2024 Asks that Administration review the current encroachment policy, landscaping best practice, and if needed, by-law 25 to provide options to property owners with lower risk encroachments.</p> <p>ACOQ2024 & ACO2024 (September 23, 2024)</p>	<p>Type of Response Required -Written Report</p>
Fred Francis	Comm. Human & Health Services	<p>CQ 42-2024 Asks that Administration report back to City Council with respect to options for homelessness, specifically the logistics and costs for creating tiny home villages, similar as to what has been done in other Ontario cities. This report should also include any pros and cons of doing so, based on best practices and testimonials from the other City's governments, if applicable.</p> <p>SS2024 & ACOQ2024 (September 23, 2024)</p>	<p>Type of Response Required -Written Report</p>
Fabio Costante	Comm. Community & Corporate Services	<p>CQ 43-2024 Asks that Administration report back on the status of the Barron Bowl Project at the Ryan Barron Memorial Skate Park located in Atkinson Park. The project update to include the current funding, projected costs, design, and feasibility. Additionally, Administration to report back on alternative Ryan Barron Memorial Skate Park improvements determined through stakeholder engagement that could be completed within the current available funding and include options for a funding source to at least match the current available funds that have been raised by the Community.</p> <p>SR2024 & ACOQ2024 (September 23, 2024)</p>	<p>Type of Response Required -Written Report</p>

Renaldo Agostino	Comm. Infrastructure Services	<p>CQ 44-2024</p> <p>Asks that Administration report back on parking capacity and usage in the downtown lots and on the riverfront with potential opportunities to repurpose riverfront lots consistent with the spirit and content of the central riverfront implementation plan to generally and positively activate these parts of our riverfront. Examples would be a Ferris wheel / Christmas Market / Container Park.</p> <p>SR2024 & ACOQ2024 (September 23, 2024)</p>	<p>Type of Response Required</p> <p>-Written Report</p>
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/sg
as of October 16, 2024

Item No. 18.2



Council Directives: SCM 318/2024

Subject: Outstanding Council Directives as of October 16, 2024

Page 1 of 1

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
December 17, 2012	CR293/2012	16287	Corporate Services	That the report of the City Planner dated November 21, 2012 entitled "Exemption from Sandwich Demolition Control By-law 20-2007 — 508, 520, 540, 556, 570, 590, 604, 612, 615, 622, 623, 631, 639, 646, 663, 670, 673, 686, 704, 710, 718, 724, 730, 738, 744, 750, 753, 758-760, 759, 765, 764, 769, 772, 777, 778, 781, 784, and 790 Indian Road, 812 and 862 Mill Street, and 764, 770, 780 and 788 Rosedale Avenue" BE DEFERRED as requested by the Canadian Transit Company, to allow for further discussions with administration on this matter.	Report remains deferred as per City Solicitor.
August 24, 2015	CR159/2015	17893	Corporate Services	That City Council APPROVE the award of the Workforce Management Solution RFP 69-14 to the successful proponent, WorkForce Software; and... That the final FTE staffing changes reductions and resultant project savings and completions, BE REPORTED to City Council as part of or prior to the 2018 budget process.	
May 16, 2016	CR334/2016	S 76/2016	Finance & City Treasurer	THAT City Council AUTHORIZE the CFO/City Treasurer (or delegate) to sign Minutes of Settlement as it relates to the Centralized Property Appeals. THAT the CFO/City Treasurer (or delegate) BE REQUIRED to report the results of the Minutes of Settlement to City Council once all appeals have been finalized.	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
January 15, 2018	B32/2018	S 184/2017	Community Services	<p>THAT the report from the City Forester regarding an update on the progress of a City-wide Tree Inventory Project, a Preventative Tree Maintenance Program and a Urban Forest Management Plan BE RECEIVED; and further,</p> <p>...That Administration PROVIDE information on any available subsidized programs which may exist by investigating best practices used in other municipalities; and that this information BE PROVIDED during the 2019 Budget deliberation process.</p>	
March 26, 2018	CR155/2018	C 52/2018	Infrastructure Services	<p>THAT City Council APPROVE all required expenditures to complete the deliverables of the demolition and development of 6700 Raymond Avenue, as per CR366/2017, and...</p> <p>That once the tender results are known that a report be submitted to City Council relative to the award of the contract and identifying a funding source for any projected funding shortfalls that may arise.</p>	
May 07, 2018	CR275/2018	C 77/2018	Infrastructure Services	<p>That Council PROVIDE Riverwest with the City's copyright permission to use banners... and further,</p> <p>That Council APPROVE the requested \$5000 indemnity and that this BE CHARGED to the Budget Stabilization Reserve Fund (BSR) and that Administration BE DIRECTED to prepare a draft policy for Council's consideration regarding banners (how they can be requested, all costs associated, etc.) outlining what would be expected.</p>	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
September 17, 2018	CR503/2018	S 122/2018	Community Services	<p>That the report of the Manager Parks Development, dated July 20, 2018, responding to CQ27-2017 regarding first responders signage for parks, BE RECEIVED for information; and,...</p> <p>That Administration BE DIRECTED to develop a wayfinding standards policy based on the results of the Little River Corridor wayfinding signage and markers, as a pilot project, to be brought to City Council for approval.</p>	
October 01, 2018	CR550/2018	C 165/2018	Community Services	<p>That the report from Glos Associates Inc. titled "Proposed Relocation/Construction of Lanspeary Park Greenhouse Feasibility Study" and dated September 10, 2018 BE RECEIVED; and further,...</p> <p>That Administration BE DIRECTED to offer options for the expansion of the demonstration house on the site within the re-development plans for Lanspeary Park (options showcasing the low impact re-development); and further,</p> <p>That Administration BE DIRECTED to provide information on production numbers for having this in-house versus externally for this service (how much does the taxpayer benefit from having this in- house.</p>	
February 04, 2019	CR35/2019	C 11/2019	Finance & City Treasurer	<p>That City Council APPROVE, as per the requirements of the Leadership Asset Management Program (LAMP), the use of the tools and guidelines for Triple bottom line plus (TBL+), Whole life-cycle (WLC) and Business Case Evaluation (BCE) as developed through the LAMP grant and approved by the Asset Planning Steering Committee; and...</p> <p>That Administration BE DIRECTED to prepare a report for Council's consideration on methods that could be used to accelerate the process for implementation.</p>	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
March 25, 2019	CR120/2019	C 43/2019	Corporate Services	<p>That the report of the City Treasurer regarding the Mayor, Councillors and Appointees 2018 Statement of Remuneration and Expenses BE RECEIVED for information; and further,...</p> <p>That Administration BE DIRECTED to prepare a report for Council's consideration on a process that would allow all members of Council to access conference materials and summary notes for information purposes, from those Councillors that attend conferences.</p>	
April 01, 2019	B8/2019	C 226/2018	Finance & City Treasurer	<p>That City Council RECEIVE the 2019 Capital Budget 7-Year Plan documents reflective of approx. \$845.104 M in total funding; and...</p> <p>That Administration BE DIRECTED to REPORT BACK to Council regarding the infrastructure deficit and a high-level plan to address it;</p>	
July 08, 2019	CR322/2019	C 68/2019	Economic Development	<p>That a vacant building registry NOT BE IMPLEMENTED at this time and the vacant building initiative (VBD) BE EXTENDED to July 2020; and...</p> <p>That administration BE DIRECTED to report back in 2020 for a more fulsome breakdown of statistics including types of orders issued, which were successful, which were complied with, and that the report ALSO INCLUDE options for a vacant building registry that expressly includes the topic of access, cost recovery, identification, highest fees possible under the law and the shortest timelines.</p>	
December 02, 2019	CR608/2019	S 200/2019	Health & Human Services	<p>That Administration REPORT BACK to the Community Services and Parks Standing Committee once further analysis is completed regarding the causal data related increase in vulnerability as reported in the Early Development Instrument (EDI) and further analysis in terms of breakdowns of EarlyON programs and usage.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
April 27, 2020	CR149/2020	C 76/2020	Finance & City Treasurer	That administration BE DIRECTED to prepare a report for Council’s consideration, as soon as possible, on options available for the City of Windsor to use the Municipal Accommodation Tax (MAT) to help the local hospitality industry as a result of the ongoing COVID-19 pandemic.	
November 09, 2020	CR553/2020	S 53/2020	Economic Development	That Administration BE REQUESTED to give notice of intention to designate the property located at 436 Askin Ave...and, That Administration REPORT BACK to Council regarding initiation of a Heritage Conservation District Area Study for this area; and, that the report include suggestions related to potential boundaries, optional designation of a Heritage Conservation District Study Area Bylaw, timing of the study and funding considerations.	In queue; to be started once Walkerville HCDS is completed.
November 09, 2020	CR559/2020	S 111/2020	Infrastructure Services	That the report of the Transportation Planning Senior Engineer dated October 5, 2020 entitled "CQ7-2020 40 km/h Residential Speed Limits" BE REFERRED to Administration to allow for a report within 120 days on a comprehensive strategy, looking at speed limits as an alternative, in addition to speed bumps and any alternative traffic calming measure that makes sense, for Council’s consideration in a fulsome manner; and that administration ALSO INCLUDE any outstanding CQ’s on traffic calming at the same time for Council’s consideration.	
November 23, 2020	CR585/2020	C 220/2020	Corporate Services	That the report of the Senior Manager – Facilities dated November 6, 2020 entitled “Corporate Security Plan and Risk Assessment” BE DEFERRED to allow for additional information from administration.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
November 23, 2020	CR588/2020	C 221/2020	Infrastructure Services	<p>That Council ENDORSE the establishment of a Mandatory Downspout Disconnection Zone for the area bounded by Norfolk St. to the North, Dougall Ave/Howard Avenue to the East and the Herb Grey Parkway to the West and South; and,</p> <p>That a Mandatory Downspout Disconnection Pilot Project, the boundaries to be determined by the City Engineer, BE UNDERTAKEN within the Mandatory Downspout Disconnection Zone with an upset limit of \$250,000 funded by Project ID#7199004 – Sewer Master Plan Implementation Project; and,</p> <p>That the results of the Mandatory Downspout Disconnection Pilot Project BE COMMUNICATED to Council once sufficient data is available;</p>	
November 23, 2020	CR588/2020	C 221/2020	Infrastructure Services	That the City Engineer BE DIRECTED to bring forward a dedicated inflow and infiltration funding program to address inflow and infiltration measures;	
December 07, 2020	CR616/2020	C 54/2020	Finance & City Treasurer	<p>...That City Council INDICATES ITS INTENT that the future excess capacity identified in the Development Charges Background Study, dated November 5, 2020, prepared by Hemson Consulting Ltd., shall be paid for by development charges or other similar charges; ...</p> <p>That administration BE DIRECTED to report back at a high level on the economic impact and any perceived impacts on development if Council were to revisit eliminating the industrial exemption.</p>	
December 21, 2020	CR655/2020	S 164/2020	Community Services	That Administration BE REQUESTED to report back to Council outlining the costs associated with undertaking an invasive species management strategy citywide.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
January 18, 2021	CR40/2021	S 155/2020	Infrastructure Services	That the report of the Environment, Transportation and Public Safety Standing Committee of its meeting held December 16, 2020 regarding "Wyandotte Street East Corridor Review" BE REFERRED back to Administration to narrow the focus as soon as possible, and to satisfy the Active Transportation Master Plan by providing cycling infrastructure along Wyandotte Street East and further, that in-person public meetings BE HELD once permitted, as part of a consultation process that would include residents and businesses in the subject area.	
March 29, 2021	CR119/2021	C 220/2020 & C 32/2021	Chief Administrative Officer	That the update from the Senior Manager of Facilities on the Corporate Security Plan and Risk Assessment BE RECEIVED; and further, That City Council APPROVE the hiring of one Temporary Coordinator of Security Services at an estimated cost at \$122,314 to be charged to the Budget Stabilization Reserve, for the development of Corporate security policies, protocols, and a draft implementation plan with options for a centralized Security Division, with a report back to City Council at the 2022 Budget deliberations.	
April 19, 2021	CR169/2021	S 13/2021	Infrastructure Services	That the Report of the Environment, Transportation and Public Safety Standing Committee regarding "Follow-up – CQ7-2020 40 km/h Residential Speed Limits" BE REFERRED to administration so that the matter can be considered in relation to the development of the Vision Zero Policy.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
May 03, 2021	CR179/2021	C 51/2021	Corporate Services	That the report of the Senior Legal Counsel and Student-at-Law dated April 9, 2021 entitled "Response to CR591/2020 – Cannabis Odour" BE DEFERRED to allow for a further report once the enforceability of the Town of Leamington's Cannabis Regulation By-law is considered by the Superior Court of Justice and the Normal Farm Practices Protection Board, and that the report also include possible enforcement options that would be available for Council's consideration.	
May 17, 2021	CR213/2021	CMC 8/2021	Economic Development	That the correspondence from Paul Mullins on behalf of Assumption Parish dated April 23, 2021 requesting support from the City of Windsor to be recognized by Parks Canada as a Nationally Significant Historic Site, BE REFERRED to administration for review and a report back to Council for consideration, specifically as it would pertain to the ramifications designation would have on city property.	
July 19, 2021	CR331/2021	S 80/2021	Community Services	That the report from the Cultural Development Coordinator regarding the expansion of the City of Windsor's Poet Laureate program BE RECEIVED; and further, That the Poet Laureate program, established as an ongoing program, BE REBRANDED as the 'Poet Laureate and Storytellers' program; and further, ...That the administrative report BE REFERRED to the Diversity Committee for review and comment; and, That additional consultations BE CONDUCTED as appropriate.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
July 26, 2021	CR363/2021	S 71/2021	Economic Development	<p>That Report No. S 71/2021 updating City Council on the use and implementation of the Brownfield Redevelopment Community Improvement Plan (CIP) and tabling issues to be addressed as part of the CIP update BE RECEIVED for information; and,</p> <p>That the City Planner BE DIRECTED to consult with stakeholders regarding potential changes to the Brownfield Redevelopment CIP outlined in Report No. S 71/2021 and prepare any necessary CIP amendments for Council's consideration.</p>	
September 27, 2021	CR387/2021	C 116/2021	Finance & City Treasurer	<p>...That City Council SUPPORT the following actions with regards to the development and implementation of an enhanced investment strategy:</p> <p>That Administration BE AUTHORIZED to prepare a Request for Proposal (RFP) for Investment Advisory services; and further,</p> <p>That Administration BE DIRECTED to explore alternative options to traditional financial instruments to maximize overall investment returns for the City; and further,</p> <p>That Administration BE AUTHORIZED to prepare an Expression of Interest (EOI) to seek interest in the development of an in-house solution for managing current and projected cash flows more efficiently through the use of technology; and further,</p> <p>That Administration BE DIRECTED to report back to City Council the results of the above noted actions.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
October 04, 2021	CR429/2021	S 41/2020 & AI 7/2021 & AI 10/2021	Economic Development	That the report of the Senior Planner – Policy and Special Studies dated February 27, 2021 entitled “Closure of Part of Dodsworth Street, Between Kay Street and Malden Road, Between 5168 and 5180 Malden Road - Applicant: T. Fasan - SAS/5917 - Ward 1” BE REFERRED back to administration to allow administration the opportunity to work with the Applicant to come to an amenable resolution for everyone involved.	
October 04, 2021	CR448/2021	S 110/2021	Infrastructure Services	That the addition of signage at pedestrian inter-block walkways in the wintertime BE APPROVED; and, That administration BE DIRECTED to monitor the effectiveness for a period of 2 years;	
October 25, 2021	CR476/2021	C 129/2021	Community Services	That City Council APPROVE the design of the building and the terraces for the Legacy Beacon as the new home for Streetcar No. 351, located on the waterfront North of Riverside Drive at the foot of Caron Avenue in Legacy Park (Appendix A); and,... That Administration REPORT BACK to Council with a business case for the concession/terrace area prior to the 2022 budget deliberation meetings or as soon as possible thereafter.	
November 01, 2021	CR496/2021	S 51/2021	Community Services	...That Administration REPORT BACK to Council with a six month interim report to provide a status update, and after one year with the results of the pilot program to request annual operating funds through the 2023 budget process.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
November 01, 2021	CR497/2021	S 132/2021	Community Services	<p>That the report of the Cultural Development Coordinator and Manager of Culture & Events dated September 16, 2021 entitled "Update of Round 2 of the Arts, Culture and Heritage Fund 2021 – City Wide" BE RECEIVED for information; and,...</p> <p>That Administration BE DIRECTED to investigate the possibility of private sector partnerships to augment the funding envelope that this program delivers to the community.</p>	
December 13, 2021	B34/2021	C 113/2021	Community Services	<p>That the report of the Project Administrator dated August 27, 2021 entitled "Proposed Artificial Turf Sports Field - Ward 6 & 7" BE REFERRED back to Administration to continue to explore artificial turf options with stakeholders for Council's consideration.</p>	
December 13, 2021	B38/2021	C 171/2021	Finance & City Treasurer	<p>...That Administration BE DIRECTED to conduct further research in terms of designing and implementing a Vacant Residential Unit Tax program inclusive of community consultation and that a fully developed program be brought back to City Council for approval prior to implementation;</p>	
December 20, 2021	CR555/2021	C 154/2021 & AI 19/2021	Finance & City Treasurer	<p>That City Council APPROVE Administration proceeding with identified strategies for 2021/2022 including:Form an internal Sustainable Purchasing Team;Update current purchasing procedures/documents to ensure environmental sustainability and climate change is being considered;Update the City's Sustainable Purchasing Guide (2015) to reflect updates for climate change considerations; andJoin the Canadian Collaboration for Sustainable Procurement for 2021/2022; and,</p> <p>That Administration REPORT BACK to City Council by the third quarter (Q3) 2022 with a report on achievements and possible next steps.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
February 14, 2022	CR57/2022	C 18/2022	Infrastructure Services	...That administration BE DIRECTED to report back at a future date on the data collected and potential strategies to target the issue of rodents in our community;	
February 14, 2022	CR57/2022	C 18/2022	Infrastructure Services	That Administration BE DIRECTED to initiate an education and awareness campaign so residents are more aware of the existing Rodent Extermination Program.	
February 28, 2022	CR88/2022	C 142/2021	Community Services	<p>That the report of the Landscape Architect dated September 23, 2021 entitled "Response to CQ 32-2020: Tree Protection and Replacement Policies Related to Development – City Wide" BE REFERRED back to Administration; and further,</p> <p>That Administration REPORT BACK to Council to provide information related to options for a regulatory framework to ensure overall tree coverage across the community is not diminished due to the new development of private lands by requiring the replacement of trees removed on a caliper per caliper basis as deemed appropriate by the City Forester and City Planner.</p>	
March 21, 2022	CR102/2022	C 187/2020 & AI 21/2021	Health & Human Services	<p>That the report of the Senior Legal Counsel dated September 18, 2020 entitled "Council Question CQ23-2019 - Payday Loan Establishments - City Wide" BE RECEIVED for information; and further,</p> <p>That Administration PROCEED with establishing a cross-sectoral committee with the appropriate partners and representatives to acquire local information and develop a strategy to distribute education materials regarding alternative financial options and supports; and,</p> <p>That Administration REPORT BACK to the Community Services Standing Committee after one year with a summary of work completed to date.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
April 11, 2022	CR150/2022	S 29/2022	Infrastructure Services	That Administration BE AUTHORIZED to initiate a Home Flood Protection Program on a pilot basis; and further, That Administration REPORT BACK to City Council on completion of the pilot program.	
April 25, 2022	CR171/2022	C 54/2022	Corporate Services	That the report of the (Acting) Licence Commissioner and the Executive Initiatives Coordinator dated March 25, 2022 entitled "Residential Rental Licensing By-law— Wards 1 & 2" and draft by-law, "A By-law Respecting the Licensing of Residential Rental Housing Units," attached as Appendix A, BE RECEIVED for information; and, ... That Administration REPORT BACK TO COUNCIL on the results of the two-year pilot study within Wards 1 and 2.	
April 25, 2022	CR184/2022	S 39/2022	Community Services	That the report of the Manager of Culture & Events dated March 15, 2022 entitled "City of Windsor Lancaster Bomber FM 212 Progress Report 2019-2021 – Ward 3" BE RECEIVED for information; and further, That Administration BE DIRECTED to report to City Council regarding a fundraising strategy, a plan for assembly of the aircraft, and options to display the aircraft to the public once the assembly portion has been completed.	
May 09, 2022	CR195/2022	C 1/2022	Infrastructure Services	That the report of the Engineer II dated January 5, 2022 entitled "Response to CQ13-2021 – Basement Flood Risk Reduction Update – Ward 7" BE RECEIVED for information; and further, That administration BE DIRECTED to report back to Council on what effective monitoring program can be put in place to give early warning in order to mitigate future flooding events and make proper adjustments to the system as needed.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
May 09, 2022	CR208/2022	S 14/2022	Infrastructure Services	That the report of the Environment, Transportation & Public Safety Standing Committee of its meeting held April 27, 2022 entitled "Ward 9 Ditch Survey and Inspection of Private Culverts and Private Catch Basins ---Ward 9" BE DEFERRED to a future meeting of Council to allow for affected residents to meet with Administration regarding their specific issues.	
May 09, 2022	CR209/2022	S 42/2022	Infrastructure Services	<p>...That City Council APPROVE IN PRINCIPLE Windsor's Science Based Targets of a 68% reduction in city-wide emissions (scope 1 and 2) and a 55% reduction in corporate-wide emissions (scope 1 and 2) below 2005 baseline by 2030; and,</p> <p>That City Council APPROVE IN PRINCIPLE a NET ZERO Target for 2050; and,</p> <p>That Administration BE DIRECTED to report back with an updated strategy to reach these targets by November 2023 that considers implementation timelines, resourcing and financial impacts of meeting science-based targets;</p>	
May 09, 2022	CR222/2022		Corporate Services	That Administration BE DIRECTED to bring back a report before the next winter season, on possible ways that we can address the large gap between the demand for Snow Angels and the number of residents that are assisted. Options should include, but not be limited to improving our recruiting efforts of volunteers and/or providing the service with a set fee or no fee.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
May 30, 2022	CR228/2022	C 82/2022	Community Services	<p>That the report of the Executive Initiatives Coordinator dated May 4, 2022 entitled "CQ 7-2022 - Response to CQ 7-2022 - Expansion of Dog Parks within the City - City Wide" BE RECEIVED for information; and,</p> <p>That Administration BE DIRECTED to begin the process of adding two additional dog parks at Oakwood Park and Elizabeth Kishkon Park after the community has BEEN CONSULTED as outlined in the Dog Park Policy; and, ...</p> <p>That Administration REPORT BACK to Council with potential edits to the Dog Park Policy to allow smaller, urban parks to be used as dog parks as well.</p>	
June 13, 2022	CR272/2022	C 98/2022	Community Services	<p>That the results of the Consultant's report for a new outdoor ice rink at City Hall BE REFERRED to the 2023 budget for funding required; and further,</p> <p>That Administration BE DIRECTED to work with representatives from All Saints Church for alternatives/options for the next skating season.</p>	
June 13, 2022	CR273/2022	S 14/2022	Infrastructure Services	<p>That WSP Canada Inc. firm BE APPOINTED as the Drainage Engineer to make an examination of, and prepare a Drainage Report for the repair and improvement to, the Dawson Drain between Division Road and the O'Neil Drain and to the O'Neil Drain from south of Hallee Crescent to Division Road under section 78 of the Drainage Act; and further,</p> <p>That Administration BE DIRECTED to report back to Council once the Drainage report for the repair and improvement of the Dawson Drain is complete.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
July 11, 2022	CR284/2022	C 105/2022	Finance & City Treasurer	Whereas City Council previously approved the capital cost of land acquisitions being Point East Development ("Land Acquisitions") to be financed through long-term borrowing by issue of debentures to Ontario Infrastructure and Lands Corporation (OILC), City Council APPROVES the following with respect to the financing of the Land Acquisitions: ... That the CFO/City Treasurer BE INSTRUCTED to report back to City Council the results of the long-term borrowing at the earliest opportunity following completion;	
July 25, 2022	CR311/2022	C 118/2022	Finance & City Treasurer	That the 2021 Annual Investment Compliance Report for the year ending December 31, 2021 BE RECEIVED for information; and further, That Administration REPORT BACK on ways to broaden the City of Windsor's portfolio and access other Joint Investment Boards (JIBs) that are endorsed by the Association of Municipalities of Ontario (AMO) and the Municipal Finance Officers' Association of Ontario (MFOA), including the benefits and drawbacks of investing in these other financial vehicles.	
July 25, 2022	CR327/2022	C 85/2022	Health & Human Services	That the report of the Coordinator of Housing Administration & Policy dated May 9, 2022 entitled "Rent Supplement Program Expiries and Mitigation Update - City Wide" BE RECEIVED for information; and, ...That Administration REPORT BACK to Council with options on how to address those funding shortfalls.	
July 25, 2022	CR334/2022	C 123/2022	Corporate Services	That the report of the Executive Director of Human Resources dated July 11, 2022 entitled "Salary Market Review 2019 - 2020 - Non-Union and CAO/CLT - City Wide" BE REFERRED back to administration to allow for the 2019/2020 and the 2021/2022 salary market review to be conducted by a new consultant.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
September 06, 2022	CR374/2022	S 76/2022	Infrastructure Services	That Administration BE REQUESTED to report back to a future meeting of Council to provide a review of the Speed Hump Policy and options to approve the same.	
September 06, 2022	CR390/2022	C 112/2022	Health & Human Services	That the Executive Director, Housing & Children's Services REPORT BACK on: <ul style="list-style-type: none"> - potential sites for the Housing Hub - the findings of the preliminary work completed to support a recommendation to enter into negotiations to acquire and/or build and/or renovate a property - the outcome of applications made related to capital and/or operating funding - any capital funding required for the acquisition, renovation or construction of the proposed Hub, as well as for any ongoing operating funding required to maintain the asset and deliver the services; 	
September 06, 2022	CR393/2022	SCM 172/2022	Health & Human Services	That the additional information memo of the Executive Director of Housing & Children's Services dated August 3, 2022 regarding the motion from the Housing & Homelessness Advisory Committee of their meeting held June 21, 2022 and Report No. 14 of the Housing & Homelessness Advisory Committee entitled "Barriers faced by the 2SLGBTQIA+ community in finding appropriate housing and housing services" from their meeting held June 21, 2022 BE RECEIVED; and, That Administration BE DIRECTED to provide a report in 2023 outlining the next steps regarding the proposed training initiative;	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
September 06, 2022	CR399/2022	C 150/2022	Health & Human Services	That the report of the Coordinator of Housing Administration and Development regarding the Social Services Relief Fund ("SSRF") Phase 5 Windsor Essex Community Housing Corporation Capital Project BE RECEIVED for information, and, ... That the Executive Director of Housing and Children's Services or their designate REPORT to City Council on the outcome of the capital developments;	
September 26, 2022	CR424/2022	C 157/2022	Infrastructure Services	That Administration REPORT BACK to Council on proposed options to collect costs from the benefiting properties related to servicing charges for municipal services (mainline sewers and private drain connections) that would offer options for payment terms similar to local improvement payments.	
November 28, 2022	CR501/2022	C 191/2022	Economic Development	That City Council RECEIVE the Investing in Canada Infrastructure Plan (ICIP) Grant Application report dated November 17, 2022, along with the report from IBI Group titled "Transit Windsor Garage Feasibility Study" dated October 28, 2021 provided in Schedule A; and further, ... That given the dramatically higher cost estimate for the Transit Garage emanating from the detailed study recently completed by the IBI Group, City Council DIRECT Administration to re-evaluate the Transit Windsor Master Plan to determine how to best achieve the goals of the Master Plan and report back to Council as part of the Transit Master Plan Implementation Project update.	
January 16, 2023	CR8/2023	C 222/2022	Economic Development	That Administration REPORT BACK with a supplemental report providing details on emerging technologies and strategies related to decarbonization of the electrical grid;	
January 30, 2023	CR36/2023	C 10/2023	Corporate Services	...That administration BE DIRECTED to bring forward a by-law for Council's consideration to reduce aggressive, intimidating, and dangerous panhandling practices.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
February 27, 2023	CR103/2023	C 225/2022	Economic Development	That the Planning Division PROVIDE Council with recommendations for Amendments to the Sign By-law related to Paper Copy Billboard and Electronic Change Copy Billboard Ground and Wall Signs, for a decision by Council prior to the expiry date of the moratorium.	
February 27, 2023	CR103/2023	C 225/2022	Economic Development	...That Administration PROVIDE a status update of the review being undertaken at the August 23rd, 2023 meeting of the Development & Heritage Standing Committee meeting.	
February 27, 2023	CR106/2023	C 18/2023	Finance & City Treasurer	That City Council DIRECT Administration to monitor operations subsequent to the changes implemented as a result of Bill 109, and provide reports on any cross-departmental impacts with recommendations to address those impacts; ... That Administration BE DIRECTED to track all variances and local costs that are required to put the legislation into effect, and that the information BE FORWARDED to a future meeting of Council.	
February 27, 2023	CR107/2023	C 19/2023	Finance & City Treasurer	That report C 19/2023 regarding the More Homes Built Faster Act – Bill 23 BE RECEIVED for information; and further, ... That Administration BE DIRECTED to track all variances and local costs that are required to put the legislation into effect, and that the information BE FORWARDED to a future meeting of Council.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
April 03, 2023	B18/2023	C 188/2023	Community Services	<p>That a priority wait list for City residents BE ESTABLISHED for Lakeview Marina; and,</p> <p>That Administration BE DIRECTED to report back to Council to provide information regarding charging different fees for non-City of Windsor residents using the Lakeview Marina facility; and,</p> <p>That Administration BE DIRECTED to provide information outlining options for establishing a priority wait list at other City owned facilities for Councils consideration.</p>	
April 03, 2023	B29/2023		Finance & City Treasurer	<p>That Administration BE DIRECTED to report back with regards to the University Avenue West Project # (ECP-14-07) road reconstruction, with information related to Potential Funding or other options that can be utilized to complete the entire road reconstruction, without affecting the current Capital Budget allocations;</p>	
April 03, 2023	B2/2023		Infrastructure Services	<p>...That Council DIRECT Administration to prepare a report for the Environment, Transportation & Public Safety Committee outlining specific strategies and rationale for local road rehabilitation selection and prioritization.</p>	
April 11, 2023	CR162/2023	C 49/2023	Chief Administrative Officer	<p>...That City Council DIRECT Administration to develop a process and fee structure to allow temporary patios on private property in the future to ensure compliance with legislation and regulations, and mitigate any risks to the Corporation of the City of Windsor; and further,</p> <p>That Administration SUBMIT a process to approve temporary patios on private property for City Council's consideration by the end of 2023.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
April 24, 2023	CR172/2023	S 17/2023	Infrastructure Services	<p>That Administration BE DIRECTED to continue discussions with Transport Canada, The Transportation Minister, the Member of Parliament and the Federal Government to continue to look into grant funding that is available to fund warning system upgrades at the affected crossings, and fund safety measures in and around these crossings; and,</p> <p>That the Essex Terminal Railway (ETR) BE REQUESTED to have an independent organization conduct a study on decibel levels in the subject area; and,</p> <p>That the information BE PROVIDED to Council at a future meeting for their consideration.</p>	
April 24, 2023	CR176/2023	S 27/2023	Infrastructure Services	<p>That the report of the Transportation Planning Senior Engineer dated March 1, 2023 entitled "South National Street (Pilette to Jefferson) Traffic Calming," BE RECEIVED for information; and,</p> <p>That Administration BE DIRECTED to report back to Council with costs, and feasibility of adding traffic calming measures including physical separators with barriers along South National Street, enhancing the cyclist crossing at South National Street and Balfour Avenue and explore a pedestrian crossover at West Minster Avenue and South National Street into the Riverside area.</p>	
May 29, 2023	CR198/2023	CMC 7/2023	Health & Human Services	<p>That Administration BE REQUESTED to report back to Council with a status report, related to Human Services issues that the Windsor Police Services are currently experiencing, to identify gaps and to provide the Windsor Police Service with assistance that they may require from Community Partners, Ministry of Health or others, for Councils consideration.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
June 12, 2023	CR258/2023	C 67/2023	Infrastructure Services	That the report of the Commissioner, Infrastructure Services dated May 4, 2023 entitled "Traffic Noise along the E.C. Row Corridor Close to Sensitive Land Uses without Sound Mitigation Measures – City Wide – CQ 17-2022" BE RECEIVED for information; and, That Administration BE REQUESTED to work with the Parks Department and City Forester to investigate opportunities to add trees along E.C. Row Expressway on the North and South sides between Walker Road and Howard Avenue.	
June 12, 2023	CR260/2023	C 77/2023	Infrastructure Services	That the report of the Engineer II dated May 29, 2023 entitled "Update Regarding Council Decision B14/2019 and Proposed Local Improvement Policy Amendment for Shoreline Structures – City Wide" BE DEFERRED to a future meeting of Council to allow for further information and consultation with the residents.	
July 10, 2023	CR273/2023	CMC 9/2023	Corporate Services	That administration BE REQUESTED to report back regarding a framework including communications, education, transparency and accountability options related to the usage of Strong Mayor Powers.	
July 10, 2023	CR289/2023	C 88/2023	Economic Development	...That the results of the City's Housing Accelerator Fund application BE COMMUNICATED to City Council, and if successful, such report to include a Housing Accelerator Fund Implementation Plan that specifically includes how the awarded funds will be allocated in alignment with the requirements of the Housing Accelerator Fund Program.	
August 08, 2023	CR316/2023	C 107/2023	Community Services	That administration BE REQUESTED to report back with statistics related to open air burning.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
August 08, 2023	CR337/2023	C 116/2023	Community Services	<p>...That administration BE DIRECTED to bring forward more information to a future meeting of City Council regarding the future location of curling, after further consultation with community groups has taken place for Councils consideration; and further,</p> <p>That administration BE DIRECTED to investigate options related to a private enterprise that would be interested in offering curling in the City of Windsor.</p>	
September 05, 2023	CR356/2023	C 120/2023	Infrastructure Services	<p>That Council APPROVE bi-weekly garbage collection, weekly organic collection, and bi-weekly leaf and yard waste collection from April until November, and that this service level BE IMPLEMENTED with the next waste collection contract expected to begin in 2025; and,</p> <p>That Administration BE DIRECTED to report back to Council the results of the collection tender(s) and any additional costs related to the new SSO program, once available;</p>	
September 05, 2023	CR356/2023	C 120/2023	Infrastructure Services	<p>That administration REPORT BACK to Council regarding the implementation of a comprehensive communication plan and process which includes community partners including post secondary institutions and communication mediums for residents who may not speak English.</p>	
September 05, 2023	CR359/2023	C 69/2023 & S 82/2023 & AI 12/2023	Infrastructure Services	<p>That Administration BE DIRECTED to issue a Request for Proposal for curbside garbage collection and optional bidding for alley garbage collection in the alleys that garbage collection is being provided currently; and,</p> <p>That Administration BE DIRECTED to report back to Council the results of the collection Request for Proposal and any additional costs related to the new SSO program, once available;</p>	

Outstanding Directives

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
September 05, 2023	CR359/2023	C 69/2023 & S 82/2023 & AI 12/2023	Infrastructure Services	That Administration BE DIRECTED to conduct a pilot project in the Pelissier/Victoria alley between Tecumseh Rd. W. and Jackson St, as well as the Dougall/Church alley between Tecumseh Rd. W. and Wahketa St. whereby garbage will be temporarily relocated from alley collection to curbside collection for a minimum of 8 weeks; and, That Administration REPORT BACK on the information learned during the pilot project; and,	
September 05, 2023	CR359/2023	C 69/2023 & S 82/2023 & AI 12/2023	Infrastructure Services	That administration BE DIRECTED to provide a report during the 2024 budget deliberation process for a plan to increase funding for alley maintenance for paved alleys.	
September 05, 2023	CR361/2023	C 106/2023	Infrastructure Services	That the report of the Executive Direction, Operations, dated July 6, 2023 entitled Alley Maintenance Standards-City Wide BE RECEIVED; and, That Scenario 1: One-time funding from Reserves as outlined in the administrative report of the Executive Director, Operations BE APPROVED; and further, That Administration BE REQUESTED to report back to City Council with a specific proposed framework and work plan for the previously approved Alley Standards and Development Committee.	
September 05, 2023	CR385/2023	S 92/2023	Infrastructure Services	That Administration PREPARE for Council's consideration a plan to complete the engineering and design work for Howard Avenue between South Cameron and Cabana Road; and, That Administration CREATE an accelerated financing option to be considered during the 2024 Capital Budget Process.	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
October 16, 2023	CR421/2023	S 96/2023	Infrastructure Services	That administration BE REQUESTED to conduct a traffic analysis of the immediate surrounding neighbourhood and to come forward with recommendations for Councils consideration to address parking concerns and general traffic issues.	
October 16, 2023	CR428/2023		Infrastructure Services	That the petition presented by Councillor Gary Kaschak on behalf of Parents of St. Therese School children looking for crossing guard improvements, signage, road improvements and potentially a sidewalk in that area BE RECEIVED by the Clerk and the Clerk BE DIRECTED to forward the petition to the Commissioner, Infrastructure Services for the purpose of an examination of the requested works or undertakings.	
October 16, 2023	CR429/2023		Infrastructure Services	That the petition presented by Councillor Kieran McKenzie on behalf of residents of Windsor asking for an increase in buses during peak hours and a review of bus schedules BE RECEIVED by the Clerk and the Clerk BE DIRECTED to forward the petition to the Commissioner, Infrastructure Services and the Executive Director of Transit Windsor for the purpose of an examination of the requested works or undertakings, and that this be tabled as part of the public record.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
October 30, 2023	CR432/2023	S 107/2023	Community Services	<p>That the report from the Manger, Culture and Events, dated August 21, 2023, entitled "Response to Open Streets Petition" BE RECEIVED for information; and further, ...</p> <p>That in future years, the City CONTINUE to alternate between the newly proposed east-side route and the previously approved downtown/west-side route; and further,</p> <p>That administration BE REQUESTED to provide information related to options regarding holding Open Streets events twice a year including feasibility and costs, one in the downtown/west-side route and one in the new east-side route.</p>	
October 30, 2023	CR433/2023	S 118/2023	Health & Human Services	<p>That the report of the Manager, Homelessness and Housing Support in response to CQ 20-2023 Feasibility of Expanding Outreach Services and 311 Operating Hours BE RECEIVED for information; and, ...</p> <p>That City Council DIRECT Administration to report back to Council with more data and information about the impact of recent improvements to the Homelessness Street Outreach team's schedule and after-hours homelessness response initiated through 311, before deciding if further expansion is needed;</p>	
October 30, 2023	CR433/2023	S 118/2023	Health & Human Services	<p>That administration BE REQUESTED to report back to the Community Services Standing Committee, as to how the City will attempt to draw the various organizations together in an effort to collaborate and capitalize on the programs that they are prepared to offer.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
October 30, 2023	CR444/2023	C 77/2023 & C 149/2023	Infrastructure Services	That Administration BE REQUESTED to implement a private Local Improvement Policy (LIP) option through Ontario regulation 586/06 to allow for those property owners who own their portion of the East Riverside shorewall along Riverside Drive to access the LIP process.	
October 30, 2023	CR447/2023		Economic Development	That the petition presented by Councillor Fred Francis on behalf of concerned citizens requesting a public consultation regarding Transit Windsor Proposed Route 330 BE RECEIVED by the Clerk and the Clerk BE DIRECTED to forward the petition to the Executive Director of Transit Windsor for the purpose of an examination of the requested works or undertakings.	
November 27, 2023	CR461/2023	C 168/2023	Economic Development	<p>That the report from the Senior Economic Development Officer requesting a Letter of Support for intercity passenger rail service BE RECEIVED FOR INFORMATION; and further,</p> <p>That City Council ENDORSE a Letter of Support from the Mayor to the Minister of Transport supporting the proposed Amtrak-VIA Rail Intercity Passenger Rail Connection; and further,</p> <p>That City Council AUTHORIZE Administration to represent the City of Windsor at future stakeholder meetings for this project; and further,</p> <p>That Administration BE DIRECTED to report status updates to City Council as soon as is practical.</p>	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
November 27, 2023	CR471/2023	S 31/2023	Infrastructure Services	That the report of the Manager of Homelessness and Housing Support and the Deputy Licence Commissioner, dated July 24, 2023 entitled "Response to Council Decision ETPS 942 – Options for Addressing Panhandling - City Wide" submitted in response to direction provided through Council Decision ETPS 942 BE RECEIVED for information; and, That Administration REPORT BACK with infrastructure related strategies to discourage unsafe behaviours in the public roadway.	
November 27, 2023	CR491/2023	C 141/2023	Finance & City Treasurer	That City Council SUPPORT the Administrative recommendation to not provide Municipal Support Resolutions at this time for non-storage installations as part of the IESO LT1 RFP submission; and That Administration BE DIRECTED to report back to Council in the event that either of the two projects identified in this report receive an IESO contract award for further consideration for municipal support.	
November 27, 2023	CR493/2023	C 94/2023	Finance & City Treasurer	That administration BE REQUESTED to report back to council after one year of the vacant home tax program being in place to provide information related to the effectiveness and/or opportunities for improvement including the possibility of a repeat offender fee.	
December 11, 2023	CR506/2023	C 146/2023	Finance & City Treasurer	That the report of the Executive Initiatives Coordinator, Office of the CAO dated October 5, 2023 entitled "Temporary Patios on Private Property – Application and Approval Process – City Wide" BE DEFERRED to a future City Council meeting to allow for a further review regarding possible options for Council's consideration.	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
January 15, 2024	CR3/2024	CMC 1/2024	Infrastructure Services	That administration BE DIRECTED to report back on what is available to the municipality in terms of that section of road where that critical infrastructure, the Ambassador Bridge, is located and has to be kept open and maintained.	
January 15, 2024	CR11/2024	S 150/2023	Infrastructure Services	That the report of the Environment, Transportation & Safety Standing Committee of its meeting held November 29, 2023 entitled "CQ 13-2023 - Front Yard Parking Best Practice 2.2.2" BE REFERRED back to administration to provide more options to amend the by-law regarding front yard parking related to residential districts near business districts.	
January 15, 2024	CR31/2024	SCM 314/2023	Community Services	<p>That the correspondence of the President Les Amis Duff-Bâby dated August 29, 2023 and the memo of the Manager, Culture & Events dated November 20, 2023 regarding the Les Amis Duff Baby Annual Report BE RECEIVED for information; and,</p> <p>That administration BE REQUESTED to provide a fulsome report regarding 2023 and 2024 attendance numbers and staffing possibilities to a future meeting of Council for their consideration.</p>	
January 15, 2024	CR38/2024	S 159/2023	Community Services	That the report of the Community Services Standing Committee of its meeting held December 6, 2023 entitled "Response to CQ Regarding the Dog Park Policy – City Wide" BE REFERRED back to administration to provide a report which includes information regarding municipalities that have smaller dog parks in residential areas and how they have achieved the same.	

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as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
January 29, 2024	B8/2024	C 189/2023	Community Services	<p>That the report of the Executive Initiatives Coordinator, Community Services dated December 28, 2023 entitled "Jackson Park Bandshell Feasibility Study Update - Ward 3" BE REFERRED back to administration; and,</p> <p>That administration BE DIRECTED to undertake a formal procurement process related to a feasibility study whereby the scope of the study be limited to heritage and technical attributes of the facility at the current location and further that a city led community consultation be part of the scope of the study; and, ...</p> <p>That administration BE REQUESTED to report back to Council with the results of the procurement process.</p>	
January 29, 2024	B11/2024	C 188/2023	Infrastructure Services	<p>That administration BE DIRECTED to engage with St. Clair College administration and the administration at the University of Windsor to discuss possible ongoing partnerships related to funding for Transit Services in the City of Windsor.</p>	
January 29, 2024	B12/2024	C 188/2023	Infrastructure Services	<p>That administration BE REQUESTED to report back to Council related to the impact to transit revenues if the proposed transit fare increase being contemplated were not applied to individuals who qualified for the affordable pass program.</p>	
January 29, 2024	B14/2024	C 188/2023	Corporate Services	<p>That administration BE DIRECTED to report back to Council for the 2025 budget deliberations regarding an analysis related to Dog Licensing fees and the impact that a one-time voluntary registration fee may have on administrative resources.</p>	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
January 29, 2024	B15/2024	C 188/2023	Infrastructure Services	That with regard to "Parking Fee Adjustments for Parking Lots and Meters" that the collection of fees from 6:00 o'clock p.m. to 9:00 o'clock p.m. BE NOT APPROVED; and, That administration BE DIRECTED to report back on other ways to improve technology and bring in parking revenue.	
January 29, 2024	B17/2024	C 188/2023	Community Services	That with regard to "Summer Drop-In Recreation Program in Parks" that the amount of up to \$20,000 BE APPROVED for another year of programming in Mitchell Park; and, ... That administration BE REQUESTED to report back on adding additional parks and explore potential funding from community partnerships for Council's consideration.	
January 29, 2024	B18/2024	C 188/2023	Finance & City Treasurer	That the following recommended motion by Councillor Francis from the January 29, 2024—Special Meeting of Council BE DEFERRED to a future meeting of Council: That administration BE DIRECTED to provide 10% efficiencies as opposed to 5% efficiencies as part of the 2025 Budget preparation process for Council's consideration.	
January 29, 2024	B19/2024	C 188/2023	Economic Development	That with regard to "New Service: Route 250 (Rhodes/Twin Oaks/NextStar Industrial)" that administration BE DIRECTED to report back on the participation or arrangement to assist with transit funding by other municipalities or corporations; and, That administration BE DIRECTED to explore opportunities across the community for sponsors to assist with transit funding.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
January 29, 2024	B25/2024	C 188/2023	Infrastructure Services	That administration BE DIRECTED to incorporate traffic calming measures on Wyandotte Street as opposed to the narrowing of the roadway option that was approved by Council previously; and, That an amount of \$225,000 from the surplus \$246,240 in the Budget Stabilization Reserve Fund (BSR) for the Paul Martin Building BE APPROVED for this project.	
January 29, 2024	B7/2024	C 182/2023	Community Services	That the report of the Project Administrator dated December 20, 2023 entitled "Festival Plaza Improvement - Update - Ward 3" BE REFERRED back to administration; and, That administration BE DIRECTED to provide another more cost effective option for Council's consideration.	
February 26, 2024	CR76/2024	C 19/2024	Infrastructure Services	That the report of the Senior Manager Traffic and Parking dated February 9, 2024 entitled "Red Light Camera Update – City Wide" BE REFERRED to a future Environment, Transportation and Public Safety Standing Committee Meeting for further review and consideration.	
February 26, 2024	CR81/2024	S 168/2023	Economic Development	That the report of the Community Energy Plan Administrator dated December 19, 2023 regarding the Energy and Poverty Pillar (EAPP) Report Requirement from the Global Covenant of Mayors for Climate and Energy BE RECEIVED for information; and, ... That Administration BE DIRECTED to report back to Council with the finalized Energy Access and Poverty Assessment, Targets, and Plan.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
February 26, 2024	CR85/2024	S 7/2024 & AI 3/2024	Infrastructure Services	That the report of the Senior Manager, Traffic Operations & Parking dated January 12, 2024 entitled "Traffic Signal at Tecumseh Road E and Robinet Road – Ward 7" BE REFERRED to a future Council meeting; and, That administration BE REQUESTED to provide information regarding adding signage related to no left turn onto Tecumseh Road from Robinet Road.	
February 26, 2024	CR96/2024	S 11/2024	Community Services	That the report of the Executive Initiatives Coordinator, Community Services dated January 21, 2024 entitled "Response to CQ 12-2022 & 22-2022 – Solar Lights on City Trails – City Wide" BE RECEIVED for information; and, ... That Administration BE DIRECTED to investigate more cost effective solar lighting options.	
March 18, 2024	CR127/2024	C 33/2024	Finance & City Treasurer	III. That subject to written confirmation from the grant provider that the City's application has been successful, Administration REPORT BACK to Council regarding the proposed financing strategy required to carry out this project and execute the Agreement.	
April 22, 2024	CR146/2024	CMC 6/2024	Infrastructure Services	That the administrative memo from the from the Commissioner, Infrastructure Services & City Engineer dated March 14, 2024 regarding City of Windsor Feedback Regarding ERO-019-7891 and the letter from the Executive Director, Municipal Engineers Association dated February 26, 2024 regarding the Ministry of the Environment, Conservation & Parks (MCEP) Announcement of new Regulation to Replace Municipal Class EA BE RECEIVED; and, That administration BE REQUESTED to report back outlining the impact of the changes to the Conservation Authorities Act on the City of Windsor as it relates to the measures that are being contemplated in the legislation that the Province is bringing forward.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
April 22, 2024	CR153/2024	S 31/2024	Health & Human Services	<p>That this updated report from the Coordinator, Housing Administration & Policy and the Social Housing Analyst dated February 16, 2024 entitled "Rent Supplement Program Expiries and Mitigation Update - City Wide" BE RECEIVED; and further,</p> <p>That the Executive Director, Housing & Children's Services REPORT BACK on the outcome of the expiring rent supplement and any other mitigation strategies post completion; and, ...</p>	
April 22, 2024	CR155/2024	S 30/2024	Health & Human Services	<p>That this report of the Acting Manager, Homelessness & Housing Support dated February 16, 2024 entitled "Legislated Five Year Review of the 10-year Housing and Homelessness Master Plan, 2024" BE ACCEPTED; and further,...</p> <p>That the Executive Director of Housing and Children's Services or their designate ENSURES the updated Windsor Essex 10-year Housing and Homelessness Master Plan aligns with the direction set by the Ministry of Municipal Affairs and Housing, addresses local needs and, REPORT BACK to Council to present the updated plan; and further...</p>	
April 22, 2024	CR158/2024	SCM 75/2024	Economic Development	<p>That the verbal update to Municipal Heritage Register: Strategies in response to Provincial Bill 23 provided by the Heritage Planner BE RECEIVED; and,</p> <p>That the Heritage Planner BE DIRECTED to report back to a future Development & Heritage Standing Committee meeting on the viability of a bylaw for Council consideration aimed at protecting existing Municipal Heritage assets beyond the Province's 2024 deadline; and that should a bylaw be determined viable, TO PROPOSE within the response appropriate language and to report back prior to the Provincial deadline elapsing.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
April 22, 2024	CR165/2024	S 169/2023	Economic Development	That the report of the Community Energy Plan Administrator dated February 19, 2024 entitled "Community and Corporate Greenhouse Gas Emissions and Energy Monitoring Report – 2022 – City Wide" BE FORWARDED to the Environment & Climate Change Advisory Committee for their review and comment.	
April 22, 2024	CR166/2024	S 33/2024	Economic Development	That the report of the Environment Sustainability Coordinator dated March 7, 2024 entitled "Windsor's 2023 Report On the State of the Environment" BE FORWARDED to the Environment & Climate Change Advisory Committee for their review and comment.	
April 22, 2024	CR167/2024	S 35/2024	Infrastructure Services	That the report of the Coordinator, Parking Services dated March 11, 2024 entitled "CQ 36-2023 – Repurposing Lot 16" BE RECEIVED for information; and, That administration BE DIRECTED to investigate different techniques and changes that can potentially assist the surrounding residents with issues related to this parking lot including but not limited to noise detection cameras, speed humps, and an increase to parking fees; and that the information BE BROUGHT forward to Council for their consideration.	
April 22, 2024	CR176/2024	S 133/2023 & AI 5/2024	Community Services	That the report of the Executive Initiative Coordinator dated October 13, 2023, entitled, "Report CQ 2-2023 - Moving the Location of Bright Lights – Ward 3" BE RECEIVED for information; and, That administration BE REQUESTED report back to Council and continue to work on a plan to illuminate downtown Windsor with year round decorative lighting working in collaboration with the DWBIA, Council and Administration; and that the information INCLUDE infrastructure costs, security and integration with the City Hall Esplanade; as well as the possibility to allow local artists, through a permitting process, to be able to sell their goods during the summer months at the Riverfront.	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
April 22, 2024	CR182/2024		Corporate Services	That the petition presented by Councillor Fred Francis on behalf of the residents of the Roseland neighbourhood and surrounding area in opposition of the City of Windsor's current housing proposal on the Roseland Golf and Curling Club Property BE RECEIVED by the Clerk for the purpose of an examination of the requested works or undertakings.	
April 22, 2024	CR183/2024		Economic Development	That the petition presented by Councillor Angelo Marignani on behalf of residents on the corner of Derek Street and Radcliff Avenue in opposition to the implementation of Bus Route 335 being added to Radcliff Avenue BE RECEIVED by the Clerk and the Clerk BE DIRECTED to forward the petition to the Executive Director, Transit Windsor for the purpose of an examination of the requested works or undertakings.	
May 13, 2024	CR198/2024	C 49/2024	Economic Development	<p>That Council ENDORSE the Strengthen the Core - Downtown Windsor Revitalization Plan; and further, to address the Immediate Action Strategy: ...</p> <p>That Council DIRECT Administration to monitor and report on additional action items which have been identified within this report but have no financial cost to the City; and further,</p> <p>That Council DIRECT Administration to report on the effectiveness of the efforts made by way of the Immediate Action Strategy; and further, ...</p> <p>That administration BE DIRECTED to report back to Council on data that would measure the success of the plan and this would also include data coming to Council from the community partners.</p>	

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as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
May 27, 2024	CR207/2024	CMC 8/2024	Corporate Services	That the letter from Assisted Living Southwestern Ontario dated April 29, 2024, regarding Short-Term Rental Licensing for 11636 Riverside Drive East - Request for Exemption BE RECEIVED for information; and, That administration BE DIRECTED to report back with information related to the possibility of a By-law amendment or exemptions regarding the Short-Term Rental License By-Law, and that this information include considerations for community services providers, not for profit (NFP) groups and other organizations that are looking to provide this service in addition to other services.	
May 27, 2024	CR227/2024	S 49/2024	Infrastructure Services	... That administration BE REQUESTED to provide options to mitigate traffic impacts in the area and in the neighbourhood, to address the concerns of traffic entering the neighbourhood as a result of this proposed development.	
May 27, 2024	CR235/2024	S 155/2023 & S 44/2024	Infrastructure Services	That the report of the Commissioner of Infrastructure Services dated November 10, 2023 entitled "Response to CQ 24-2023 Regarding Minimum Standards, Vendor Warranties, and Construction Policies for Road Repair, Sewer Infrastructure, and Road Rehab Projects - City Wide" BE REFERRED to the 2025 Budget Deliberation meeting to provide options to increase the quality control program; and,	
May 27, 2024	CR235/2024	S 155/2023 & S 44/2024	Infrastructure Services	That administration BE REQUESTED to conduct a thorough review of the 2025/2026 projects to determine whether there may be an opportunity to adopt an expedited schedule, including working off hours and weekends, especially on the main thoroughfares.	

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as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
May 27, 2024	CR236/2024	S 45/2024	Infrastructure Services	<p>...That Council APPROVE the development of a new Ad Hoc Alley Standards Committee as outlined in the report with the deliverables to support Council's goal of developing and enforcing a set of alley standards as amended; and,</p> <p>That the Alley Standards Committee REVIEW and CONSIDER best practices to promote safety and security as an additional deliverable; and,</p> <p>That asset management plans BE INCLUDED in the analysis of activating those alley spaces; and,</p> <p>That administration BE DIRECTED to report back to Council on an annual basis.</p>	
May 27, 2024	CR238/2024	S 43/2024	Infrastructure Services	<p>Asks that Administration report back regarding a strategy with option to rectify current deficient roads that are not part of our 10-year Capital Budget, while adhering to the budget constraints of the Asset Management Plan – In addition as an interim solution for roads designated as a "like for like" policy without service upgrades. Helping Neighbourhoods where LIP option is financially challenging, this approach aims to enhance constituents' well-being by offering clearer insight to city policy and ensuring equitable solutions to our residents.</p>	
June 10, 2024	CR246/2024	C 58/2024	Community Services	<p>That Council APPROVE the award of RFT 46-24, City Hall Square Ice Rink to the low bidder Oscar Construction Company Limited for the amount of \$11,742,255 (excluding HST); and further, ...</p> <p>That Administration BE REQUESTED to continue to review the potential to offset costs for this project by finding ways to secure revenue streams, including but not limited to, potential naming rights and other sponsorship opportunities.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
June 10, 2024	CR248/2024	C 64/2024	Economic Development	That Council SUPPORT the continuing development, implementation, and monitoring of the EMP to reduce the Corporation's energy consumption and greenhouse gas emissions; and, That Administration REPORT BACK to Council on the development of a Corporate Energy Management Policy, once finalized.	
June 10, 2024	CR249/2024	C 66/2024	Community Services	That administration BE REQUESTED to report back to Council regarding the funding required for free skates for the 2025 season; and that the information BE BROUGHT forward to the 2025 Budget Meeting.	
June 10, 2024	CR256/2024	S 146/2023	Infrastructure Services	That administration BE DIRECTED to review the Drouillard Road underpass to ascertain whether it can be designated as a recreational trail to legally allow usage by cyclists.	
June 10, 2024	CR258/2024	S 46/2024	Infrastructure Services	That the report of the Environment, Transportation & Public Safety Standing Committee of its meeting held May 29, 2024 regarding "Response to CQ 4-2024 – Options for Modernizing Parking Operations – City Wide" BE REFERRED back to administration to allow for administration to respond to issues brought forward and provide payment options and details related to implementation location; to allow for consultation with the BIAs and that the information BE BROUGHT forward to a future Council Meeting (within 4 months) for Council's consideration.	
June 10, 2024	CR263/2024	S 64/2024	Infrastructure Services	That based on the content and discussion of this Report, City Council DIRECT Administration to develop a "Policy for Municipal Electric Vehicle (EV) Charging Stations"; and,	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
June 10, 2024	CR263/2024	S 64/2024	Infrastructure Services	That in an effort to support the expansion of EV charging station infrastructure throughout the municipality, that City Council DIRECT Administration continue to explore proposed projects facilitating third-party ownership of EV charging stations in municipally-owned parking lots and garages; and,	
June 10, 2024	CR263/2024	S 64/2024	Infrastructure Services	That City Administration PROVIDE SUPPORTS for the installation of privately-owned EV Charging Infrastructure for residential, commercial, and municipally-owned properties through: <ul style="list-style-type: none"> a. The support and facilitation of third-party ownership of EV charging infrastructure in municipally-owned parking lots and garages on municipally-owned properties; and, b. Exploring amendments to the Zoning By-law for new residential development; and, c. Exploring amendments to Zoning By-law for new multi-residential and non-residential development; and, 	
June 10, 2024	CR263/2024	S 64/2024	Infrastructure Services	That administration BE REQUESTED to report back with information related to a fee model and enforcement options for not moving vehicles from the charging station after being fully charged.	
June 10, 2024	CR264/2024	C 19/2024 & AI 10/2024	Finance & City Treasurer	... That Administration BE REQUESTED to report back prior to the end of 2024 related to the budget impacts as it relates to redirecting funds of the net profits from the City's red light camera program to specific speed calming and traffic calming initiatives.	

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as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
July 08, 2024	CR281/2024	CMC 10/2024	Health & Human Services	<p>That the email of the Briefings and Correspondence Unit, Corporate Secretariat, Women and Gender Equality Canada dated May 31, 2024 regarding the acknowledgement regarding intimate partner violence BE RECEIVED for information; and,</p> <p>That administration BE DIRECTED to report back on the availability of funding, what it is allocated towards, what the parameters are and what conditions have to be met to be able to secure the funding; and that the information INCLUDE a status report of accessed available funding.</p>	
July 08, 2024	CR284/2024	C 72/2024	Finance & City Treasurer	<p>That administration BE DIRECTED to request a clarification letter from AMO in terms of moving forward regarding the Built Canada Fund and what it is going to cover, and how sustainable it is for municipalities moving forward.</p>	
July 08, 2024	CR286/2024	SCM 181/2024	Economic Development	<p>That the letter from the Ministry of Citizenship & Multiculturalism dated May 27, 2024 regarding the changes made to the Ontario Heritage Act (OHA) as part of Bill 23, More Homes Built Faster Act, 2022 BE RECEIVED; and,</p> <p>That administration BE REQUESTED to report back to the Development & Heritage Standing Committee related to what the current resource capacities would yield, in terms of how far into the heritage list is practical to get through with the 2-year extension deadline.</p>	

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Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
July 08, 2024	CR294/2024	C 73/2024	Finance & City Treasurer	<p>That City Council APPROVE the proposed pilot project in partnership with a third-party owner-operator to assess the requirements of public-private partnerships and expanding electric vehicle charging station infrastructure; and,</p> <p>That the Chief Administrative Officer and City Clerk BE AUTHORIZED to enter into an agreement with the partnership herein described as FLO-TELUS for the installation of electric vehicle charging stations at the locations detailed in this report, ... and,</p> <p>That City Council DIRECT Administration to return with the preliminary results of the pilot project after one year of operation to describe the feasibility of the public-private partnership model for expanding electric vehicle infrastructure.</p>	
July 08, 2024	CR302/2024	CMC 10/2024	Corporate Services	<p>That the report of the Director, Technology Services, Windsor Police Services dated June 19, 2024 responding to Council Question CQ 31-2023 regarding installation of CCTV-enabled emergency police call boxes in public areas BE RECEIVED for information; and,</p> <p>That Administration BE DIRECTED to report back to Council regarding developing a privacy impact study and the cost involved.</p>	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
July 22, 2024	CR319/2024	S 75/2024	Infrastructure Services	<p>That the report of the Manager, Environmental Services dated June 10, 2024 entitled "Response to CQ 20-2024 Bulk Collection Program in BIAs" BE RECEIVED for information; and,</p> <p>That Council APPROVE the inclusion of commercial businesses within BIAs in the existing Bulk Collection Program on a one-year pilot program beginning in the fall of 2024; and,</p> <p>That Administration REPORT the results of the pilot project to Council in the fall of 2025; and,</p> <p>That Administration BE DIRECTED to report back regarding the feasibility of expanding the bulk item pick up program into non BIA commercial districts during the final analysis or at any time within the pilot project timeline.</p>	
July 22, 2024	CR325/2024	S 22/2024	Economic Development	<p>That Volume 1: The Primary Plan of the City of Windsor Official Plan BE AMENDED ...; and,</p> <p>That Administration continue to give consideration to matters which could further assist with streamlining the development approval process and REPORT BACK on any options or parameters regarding the delegation of authority to Administration.</p>	
July 22, 2024	CR327/2024	S 71/2024	Economic Development	<p>That the report of the Development & Heritage Standing Committee Meeting dated May 31, 2024 entitled "Approval of a Draft Plan of Subdivision and Zoning By-law Amendment for properties known as 4170 and 4190 Sixth Concession Rd; Applicant: 2863167 Ontario Inc.; File Nos. SDN-001/24 [SDN/7194] and Z-012/24 [ZNG/7195]; Ward 9" BE DEFERRED to the September 9, 2024 City Council meeting to allow for the surrounding residents to be notified again and provide time for delegates to confer with their neighbours.</p>	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
July 22, 2024	CR333/2024	S 15/2024 & S 16/2024 & AI 13/2024	Economic Development	That Council DIRECT Administration to DEVELOP Corporate Procedures to implement the Windsor Archaeological Management Plan (WAMP); and further, That Administration BE DIRECTED to undertake a search for an appropriate location to study, curate, store and display significant archaeological resources resulting from future archaeological investigations within the municipal limits of Windsor and report back to City Council on options which may be available should a future need arise; and further,...	
July 22, 2024	CR333/2024	S 15/2024 & S 16/2024 & AI 13/2024	Economic Development	That administration BE REQUESTED to report back with an update related to the implementation of the Windsor Archaeological Management Plan prior to the end of 2024;...	
July 22, 2024	CR334/2024	S 46/2024 & AI 14/2024	Infrastructure Services	That the report of the Environment, Transportation & Public Safety Standing Committee dated April 25, 2024 entitled "Response to CQ 4-2024 – Options for Modernizing Parking Operations – City Wide" BE DEFERRED to a future City Council meeting to allow for administration to provide more information regarding app fees, and statistics related to the City of Windsor Parking app.	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
July 22, 2024	CR341/2024	C 60/2024	Infrastructure Services	<p>That City Council RECEIVE FOR INFORMATION the International Charles Brooks Memorial Peace Fountain Replacement Project Update outlined in this report; and further,</p> <p>That City Council DIRECT Administration to proceed with Option 1 and Option 2 as identified herein, for the International Charles Brooks Memorial Peace Fountain Replacement Project; and further, ...</p> <p>That Administration BE DIRECTED to undertake consultation with relevant stakeholders including the local labour community and the Brooks family as the feasibility process moves forward.</p>	
September 09, 2024	CR356/2024	C 101/2024	Finance & City Treasurer	<p>... That in the event the City receives written confirmation from Housing, Infrastructure and Communities Canada (HICC) that the Expression of Interest (EOI) submitted has been approved, Administration REPORT BACK to Council with all required information necessary to submit a Capital Plan Application (stage 2) to the Canada Public Transit Fund (CPTF) – Baseline Funding stream.</p>	
September 09, 2024	CR364/2024	S 94/2024	Infrastructure Services	<p>...That administration BE DIRECTED to meet with the school boards through the City & School Board Liaison Committee regarding alternatives to the Kiss and Ride Program and their pilot project at Queen Victoria School currently being discussed; ...</p>	
September 09, 2024	CR379/2024	S 93/2024	Infrastructure Services	<p>That the report of the Environment, Transportation and Public Safety Standing Committee dated July 12, 2024 entitled "Response to CQ 10-2024 - Property Owner sign-off on Permit Applications - City Wide" BE REFERRED back to administration to allow for further discussion regarding options that will satisfy the identified concerns; and,</p> <p>That the information BE FORWARDED to a future meeting of Council for their consideration.</p>	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
September 23, 2024	CR389/2024	CMC 13/2024	Chief Administrative Officer	<p>That the letter from the Member of Parliament, Windsor West dated September 6, 2024 regarding the decision by the Michigan Department of Transportation (MDoT) to allow additional hazardous materials on the Ambassador Bridge BE RECEIVED for information; and,</p> <p>That Administration BE DIRECTED to send a letter of support to MP Masse and to the Minister of Transport expressing concerns, requesting reimbursement costs, and that the hazardous materials be identified prior to crossing; and,</p> <p>That comments from Windsor Police Service, Windsor Fire, the Windsor Essex County Health Unit, the University of Windsor, and the Canadian Border Services Agency BE INCLUDED in the correspondence; and,</p> <p>That administration BE DIRECTED to report back to Council related to any options to address this concern.</p>	
September 23, 2024	CR390/2024	CMC 13/2024	Infrastructure Services	<p>That the communication from the Town of Tecumseh dated September 4, 2024 regarding a "Notice of Public Meeting for Proposed Official Plan Amendment to incorporate the Tecumseh Hamlet Secondary Plan into the Tecumseh Official Plan" BE RECEIVED for information; and,</p> <p>That Administration BE DIRECTED to report back on the impact of the services that the city provides to neighbouring municipalities in terms of potable water and sewage, and whether or not we will be required to increase the numbers that we are currently providing to them.</p>	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
September 23, 2024	CR391/2024	S 86/2024	Chief Administrative Officer	THAT the report of the Director, Corporate Security, Executive Initiatives Coordinator Corporate Services, and Executive Initiatives Coordinator Community Services dated July 4, 2024 entitled "Response to CQ 12-2023: Public conduct policy and security screening options for City Hall and other municipal facilities," BE REFERRED to the 2025 Budget Meeting for Council's consideration.	
September 23, 2024	CR413/2024	S 109/2024	Community Services	That Council ENDORSE the Walker Homesite Park Master Plan as noted in Appendix A of this report which would require additional expenditures that are not currently included in the 10-year capital plan; and, That the City Treasurer BE DIRECTED to bring forward a capital budget issue in the amount estimated to be \$3,313,367 as part of the 2025 10-year capital plan for consideration.	
September 23, 2024	CR414/2024	S 107/2024 & AI 19/2024	Community Services	<p>That the administrative report dated August 16, 2024 and the Additional Information Memo entitled "Response to CQ 3/2024 Geese Management - City Wide" BE RECEIVED for information; and,</p> <p>That the City Treasurer BE DIRECTED to bring forward a \$30,000 budget issue as part of the 2025 budget process for consideration; and,</p> <p>That subject to approval of this request in the 2025 budget, that Administration BE DIRECTED to work with a Goose Management Company on egg/nest removal at the seven (7) locations identified within this report; and further,</p> <p>That Administration BE DIRECTED to apply for any required permits with the Canadian Wildlife Service for the removal of eggs/nests; and further,</p> <p>That Administration BE DIRECTED to report the results to Council after a one-year trial is completed.</p>	

Outstanding Directives

as of October 16, 2024

Meeting Date	Resolution	Report No.	Portfolio	Action	Notes
September 23, 2024	CR415/2024	S 108/2024	Community Services	That the report of the Community Services Standing Committee at its meeting held September 4, 2024 entitled "Response to CQ 13-2024, CQ 16-2024 and CQ 30-2024-Pickleball & Squash Courts within the City - City Wide" BE REFERRED to the next Council meeting to allow for further review.	
September 23, 2024	CR429/2024	S 66/2024	Infrastructure Services	That Administration BE DIRECTED to bring forward a capital infrastructure investment plan identified in the Environmental Assessment along the 6th Concession and North Talbot corridor in the 2025 capital budget.	

Clerk's Note: The listing of items prior to January 1, 2011 should not be considered complete at this point in time.

Clerk's Note: This summary chart is not intended to replace the actual minutes of all proceedings.